

TRACT A BLOCK 1
EAST CENTRAL BUSINESS ADDITION

CENTRAL AVENUE

SITE NOTES

- EVERY ACCESSIBLE PARKING SPACE MUST BE IDENTIFIED BY A SIGN, CENTERED AT THE HEAD OF THE PARKING SPACE. THE SIGN MUST INCLUDE THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AND STATE "RESERVED" OR EQUIVALENT LANGUAGE. CHARACTERS AND SYMBOLS ON SUCH SIGNS MUST BE LOCATED 60" MINIMUM ABOVE THE GROUND SO THAT THEY CANNOT BE OBSCURED BY A VEHICLE PARKED IN THE SPACE.
- PARKING SPACE DIMENSIONS:
STANDARD - 9'x20'
HANDICAPPED - 14'x20'
- AT EVERY PRIMARY PUBLIC ENTRANCE AND AT EVERY MAJOR JUNCTION ALONG OR LEADING TO AN ACCESSIBLE ROUTE OF TRAVEL, THERE MUST BE A SIGN DISPLAYING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY. SIGNS MUST INDICATE THE DIRECTION TO AN ACCESSIBLE BUILDING ENTRANCE.
- PARKING SURFACE TO BE ASPHALT.
- FOR DRIVEWAY CONSTRUCTION: THE OWNER IS RESPONSIBLE FOR ALL COSTS FOR RELOCATION OF, OR DAMAGE TO UTILITIES.
- ALL ELECTRICAL AND SEWER STUBS TO BE REMOVED.
- POWER TO BE REDIRECTED UNDERGROUND.
- NEW CURB AND GUTTER TO BE MOUNTABLE TYPE TO FACILITATE MOVEMENT OF MODEL HOMES AROUND SITE.
- AREAS NOT IN LANDSCAPING SHALL BE SURFACED IN FINE AGGREGATE OR ASPHALT MILLINGS.
- ADDITIONAL FIRE HYDRANTS LOCATED AT THE INTERSECTIONS OF COCHITI AND ELIZABETH APPROX. 350 LF EAST AND WEST. FIRE MARSHALL'S OFFICE TO FIELD VERIFY.
- OWNER TO PROVIDE SUPPLEMENTAL WATER TO ALL VEGETATION TO MAINTAIN GROWTH, IN LIEU OF INSTALLING IRRIGATION SYSTEM. OWNER IS RESPONSIBLE FOR REPLACING ANY LANDSCAPING WHICH DIES.

TABULATION

LIMITS OF CONSTRUCTION = 88,326 S.F. = 2.03 ACRES.
FRONT LOT AREA = 60,118 S.F. = 1.38 ACRES.
REAR LOT AREA = 28,208 S.F. = 0.65 ACRES.
TOTAL SIZE AREA = 88,326 S.F. = 2.03 ACRES
FRONT ZONING - C2
REAR ZONING - C3
PERMANENT STRUCTURES:
SALES OFFICE - 2,240 S.F.
DESIGN CENTER - 960 S.F.
SERVICE BLDG. - 800 S.F.
TOTAL - 4,000 S.F.
USE - RETAIL SERVICE
PARKING REQUIRED:
RETAIL SERVICE - 4,000 S.F. @ 1 SPACE PER 200 S.F. = 20 SPACES
PARKING PROVIDED:
STANDARD - 18 SPACES
HANDICAPPED - 2 SPACES
TOTAL - 20 SPACES

CITY OF ALBUQUERQUE FIRE MARSHAL OFFICE

Shirley Sue Bana 761-8142
CITY OF ALBUQUERQUE SOLID WASTE MANAGEMENT DIVISION

AFD PLANS CHECKING OFFICE
924-3611
APPROVED/DISAPPROVED
HYDRANT(S) ONLY
1/25/99
SIGNATURE & DATE

KEYED NOTES:

- EXISTING CHAIN LINK FENCE TO BE REMOVED AND REPLACED WITH NEW 6" CHAIN LINK FENCE WITH BARBED WIRE TOP.
- EXISTING CHAIN LINK FENCE TO BE REMOVED.
- NEW CURB AND GUTTER.
- EXISTING CINDER BLOCK WALL TO REMAIN.
- NEW CHAIN LINK FENCE.
- INSTALL 18" SLIDING CHAIN LINK GATE FOR EMERGENCY FIRE ACCESS.
- INSTALL TWIN 25" SLIDING CHAIN LINK GATE.
- EXISTING BUILDING TO BE REMOVED.
- EXISTING TREE TO BE REMOVED.
- EXISTING FIRE HYDRANT
- INSTALL 2" CALLIPER CATALPA SPECIOSA (CATALPA)
- INSTALL 2" CALLIPER ROBINA PSEUDOACACIA (BLACK LOCUST).
- INSTALL 24" SLIDING CHAIN LINK GATE.
- INSTALL TWIN 20" SLIDING CHAIN LINK GATE.
- TO BE REMOVED
- DUMPSTER
- INSTALL 3-24" SIDEWALK CULVERTS PER COA STANDARD DETAIL 2236, FL=5490.30
- INSTALL 3-24" SIDEWALK CULVERTS PER COA STANDARD DETAIL 2236, FL=5490.08

EXISTING	PROPOSED	LEGEND
●	●	BENCHMARK
○	○	1/2" IRON ROD FOUND (UNLESS NOTED)
○	○	1/2" IRON ROD SET
○	○	IRON PIPE FOUND
○	○	NAIL FOUND
○	○	MONUMENT FOUND
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○	○	TREE TO REMAIN
○	○	1 GALLON CHRYSOTHAMNUS NAUSEOSUS (RABBIT BUSH)
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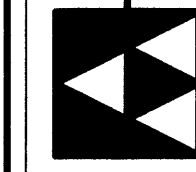
SITE PLAN
10804 CENTRAL AVE. S.E.
ALBUQUERQUE, N.M.

ENGINEER: J.E.L.
DRAWN BY: M.W.M.
DATE: 1/99
JOB NO.: 98006
FIELD BOOK: -
FILE NAME: MCC-C1
SCALE: 1"=20'

SHEET:

C2 OF 3

JEL & Associates
6605 HARPER N.E.
ALBUQUERQUE, NEW MEXICO 87109
PHONE: (505) 823-1556



Austin McComb Commercial, Inc.
GENERAL CONTRACTORS ENGINEERS CONSTRUCTION MANAGERS
P.O. Box 8888, Austin, Texas 78768 512-385-5401
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SCALE: 1" = 20'

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DRAINAGE PLAN

Site Location - As shown by the Vicinity Map L-21, the 2 acre site is located approximately 400 feet east of the intersection of Central Avenue and Britt Road SE. The property contains two parcels which are separated by Cochiti Ave SE and measure approximately 141 feet wide by 200 feet long and 200 feet wide by 300 feet long respectively.

Legal Description - Lots 8, 9, 10, 11, 2B, 26 and 27, Block 1, East Central Business Addition and Lots 7, 8, 9 and 10, Block 11, East Central Business Addition, Filed July 15, 1946, Bernalillo County, New Mexico. The property boundary shown on this Plan is given for information only to describe the project limits. Property boundary information shown hereon does not constitute a boundary survey.

Benchmark - Station is BM No. 5-K20 located at the northeast intersection of Central Avenue and Moon Avenue NE, M.S.L. Elevation = 5427.36.

Flood Zone - As shown by Panel 359 of 825 of the National Flood Insurance Program Flood Boundary and Floodway Maps for the City of Albuquerque, New Mexico, dated September 20, 1996, this site lies within Zone X: Areas outside the 500-year flood plain.

Hydrologic Methods - The calculations which appear hereon analyze both existing and developed conditions for the 100-year, 6-hour rainfall event and the 10-year, 6-hour rainfall event. The process outlined in the DPM, Section 22.2 for Zone 3 was used to quantify the peak flow rates and volumes. As shown by these calculations, the proposed improvements will not effect the site discharge volumes.

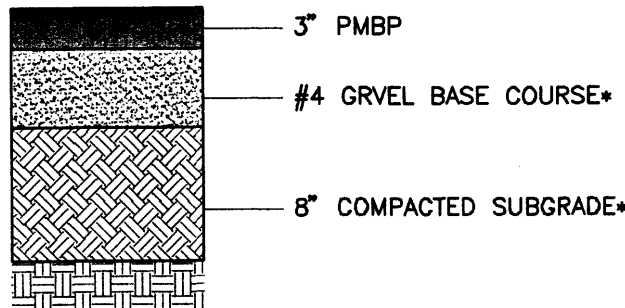
Existing Conditions - No offsite runoff impacts the project site. The site is protected on the east by solid center block walls which prevents offsite waters from entering the site. The Basin Map provided shows the proposed lot layout and the resulting basins created on the property. Basins 1 and 2 are currently developed with 100 % of the surface area being asphalted. A single family residence exists on subbasin 1 which previously served as a watchman/caretakers quarters. Flows generated on the subject property are unattenuated and drain to the west totaling 10.29 cfs, of which 3.26 cfs are generated and discharged into Cochiti Avenue and 7.03 cfs are discharged onto Central Avenue. This flow remains is conveyed via sheet flow as the sites are very flat (on the order of 1/8 %).

Proposed Conditions - Under fully developed conditions the basins are considered to discharge all existing flows as no credit can be taken for the ponds which are included as a result of the proposed improvements and corresponding landscaping plan. Onsite improvements consist of the addition of parking areas, mobile home displays, landscaping improvements, a sales office and a design center. The lots which abut Central Avenue will house the sales portion of the development while the lots which abut Cochiti Avenue will serve as the prep area for arriving units prior to delivery to the customers property. Flows will continue to be conveyed across the site via sheet flows but will be collected in drainage swales along the westerly property boundary to ultimately discharge via sidewalk culverts onto Central Avenue and Cochiti Avenue. Based on the site investigation, it has been determined that the free discharge of the existing and proposed improvements (as shown on the plan hereon) have no adverse affect on downstream improvements as no increase in flows will be observed upon completion of the proposed improvements.

Erosion Control Measures - The contractor shall ensure that no soil erodes from the site into public right-of-way or onto private property. This can be achieved by constructing temporary berms at the property lines and wetting the soil to keep it from blowing. The contractor shall promptly clean up any material excavated within the public right-of-way so that the excavated material is not susceptible to being washed down the street. The contractor shall secure "Topsoil Disturbance Permits" prior to beginning construction.

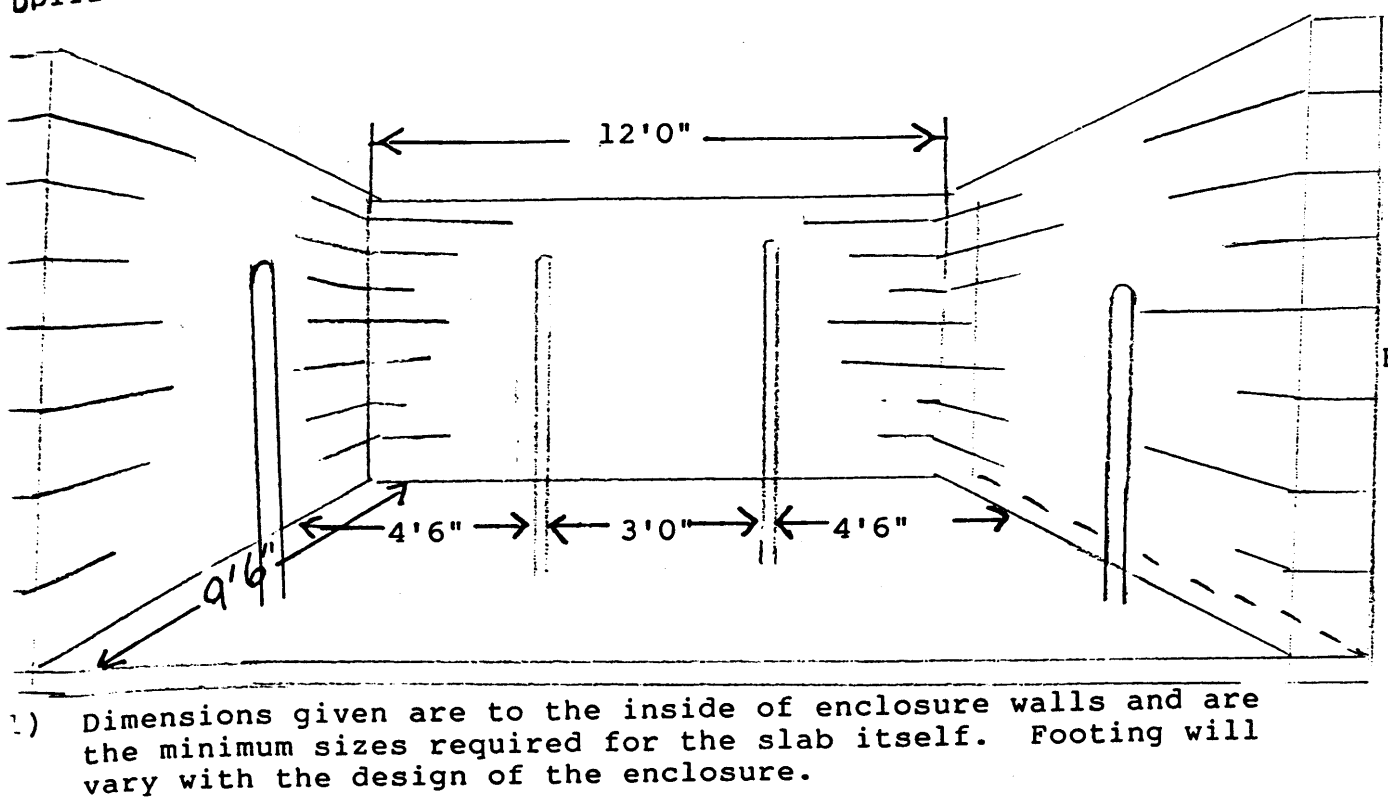
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10804 Central Avenue SE					
Precipitation	P60	P360	P1440	P4days	P10days
Zone 3	2.14	2.6	3.1	3.95	4.9
Excess	(inches)				
Precipitation	0.66	0.92	1.29	2.36	
Peak	(cfs/acre)				
Discharge	1.87	2.6	3.45	5.02	
Onsite					
Land Treatments - Undeveloped Conditions					
Areas	A=43%	B=20%	C=20%	D=17%	Area (ac)
Subbasin 1	0.00	0.00	0.00	0.65	0.65
Subbasin 2	0.00	0.00	0.00	1.40	1.40
100-Year					
Peak Flow Rate - Undeveloped Condition					
Discharge	A	B	C	D	100 yr Q (cfs)
Subbasin 1	0.00	0.00	0.00	3.26	3.26
Subbasin 2	0.00	0.00	0.00	7.03	7.03
Volume					
Runoff Volume - Undeveloped Condition					
Six Hour Storm	V (ac-ft)				
Subbasin 1	0.13				
Subbasin 2	0.28				

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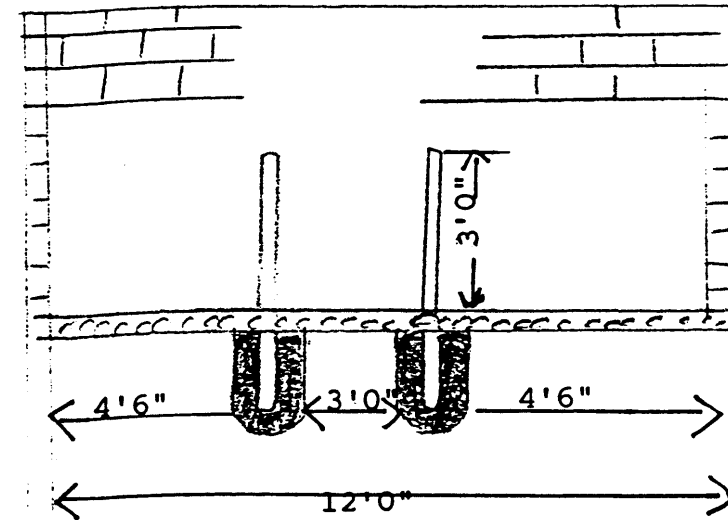


TYPICAL PAVING DETAIL
* ALL COMPACTION IN ACCORDANCE WITH ASTM D-1557, AT 95% OF MAXIMUM

ADDITIONAL INFORMATION CONCERNING THESE SPECIFICATIONS MAY BE OBTAINED BY CALLING THE SOLID WASTE MANAGEMENT DEPARTMENT @ 761-8100



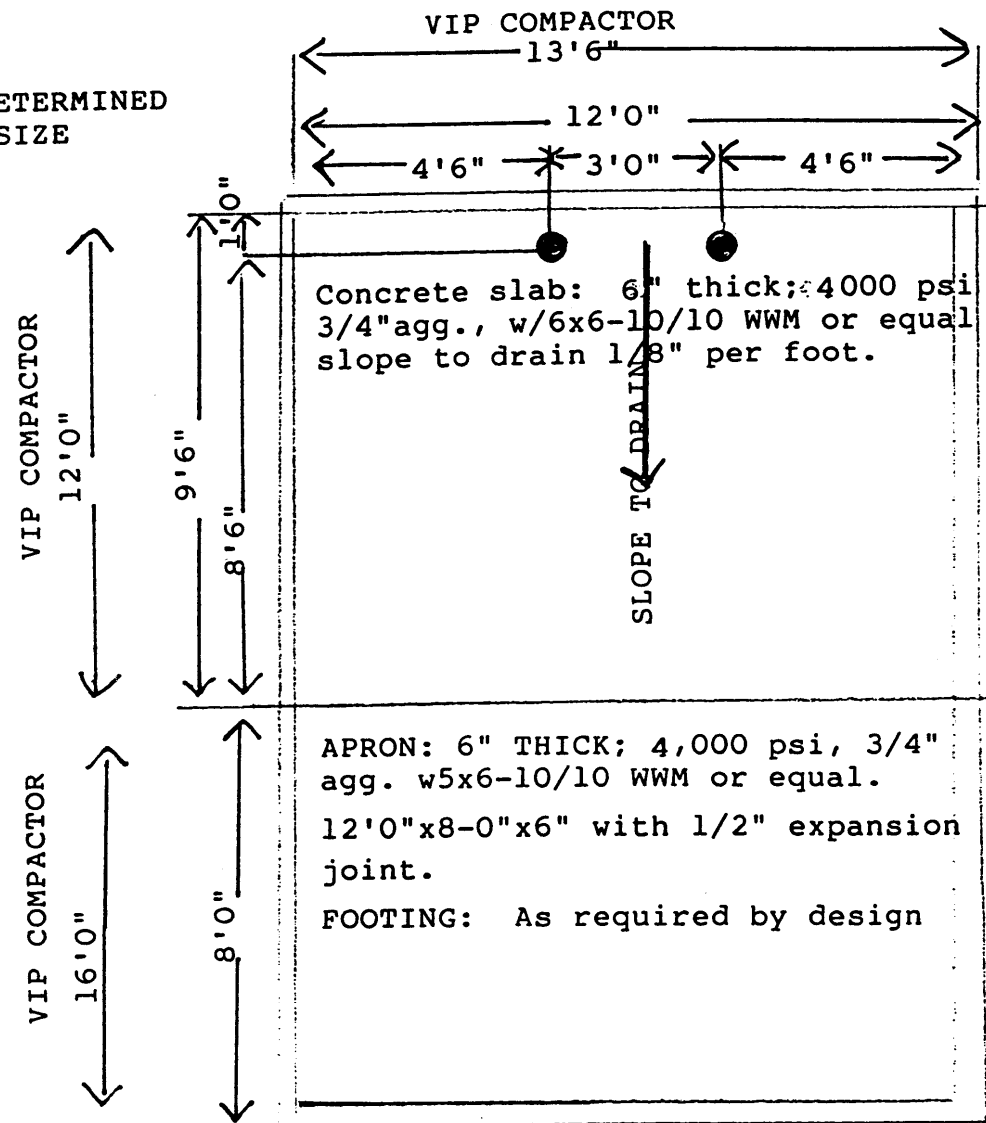
1) Dimensions given are to the inside of enclosure walls and are the minimum sizes required for the slab itself. Footing will vary with the design of the enclosure.



2) Side ballards may be required
Ballards are to be 6-12" from wall

3) 4" O.D. concrete filled pipe shall be encased in 6" concrete all around and embedded 2'0".

It is not the intention of the Solid Waste Department to control the design of an enclosure. It is the intent to give the minimum width, length and height for varied types of enclosures.



APRON REQUIRED IN FRONT OF EACH ENCLOSURE (6" WITH REINFORCING TO WITHSTAND 57,000 lbs)

NATIONAL FLOOD INSURANCE PROGRAM

FIRM

FLOOD INSURANCE RATE MAP

BERNALILLO COUNTY, NEW MEXICO AND INCORPORATED AREAS

PANEL 359 OF 825

(SEE MAP INDEX FOR PANELS NOT PRINTED)

CONTAINS:

COMMUNITY

NUMBER

PANEL

SUFFIX

ALBUQUERQUE CITY OF

350002

0289

D

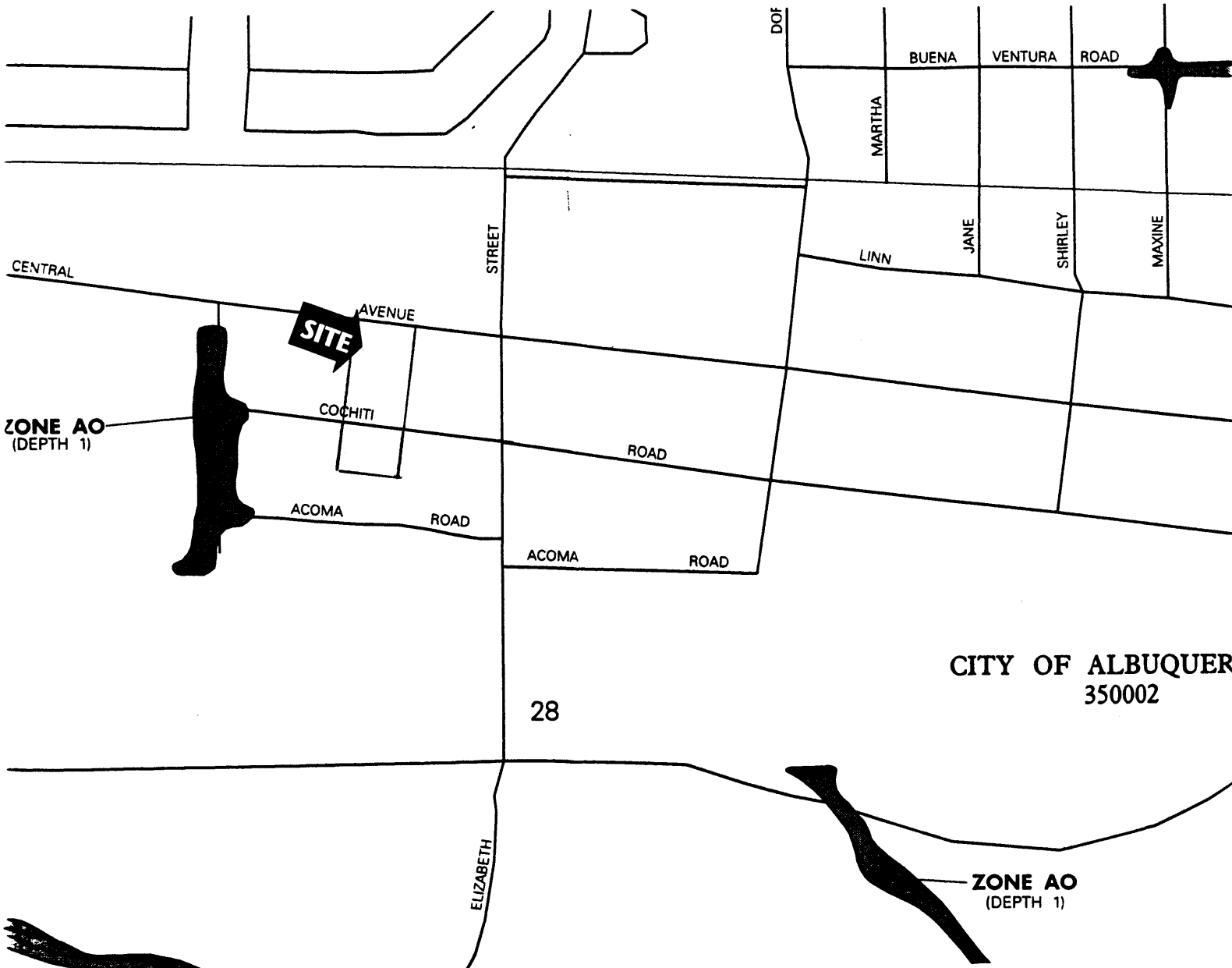
MAP NUMBER

35001C0359 D

EFFECTIVE DATE:

SEPTEMBER 20, 1996

Federal Emergency Management Agency



FIRM MAP

Austin McComb Commercial, Inc.

ENGINEERS

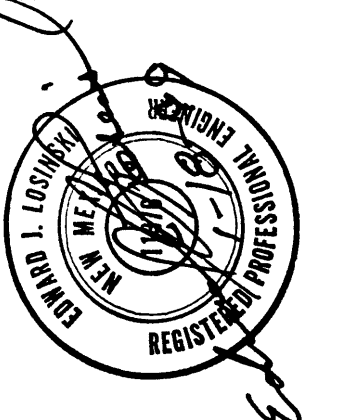
CONSTRUCTION MANAGERS

GENERAL CONTRACTORS

P.O. Box 10355, Austin, Texas 78760

512-385-2911

512-385-5400 fax



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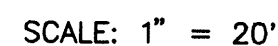
GRADING AND DRAINAGE CALCULATIONS AND MISCELLANEOUS DETAILS
10804 CENTRAL AVE. S.E.
ALBUQUERQUE, N.M.

ENGINEER: J.E.L.
DRAWN BY: M.W.M.
DATE: 1/99
JOB NO.: 98006
FIELD BOOK: -
FILE NAME: MCC-C1
SCALE: 1"=20'

SHEET:

SITE PLAN
10804 CENTRAL AVE. S.E.
ALBUQUERQUE, N.M.

C2 0F 3



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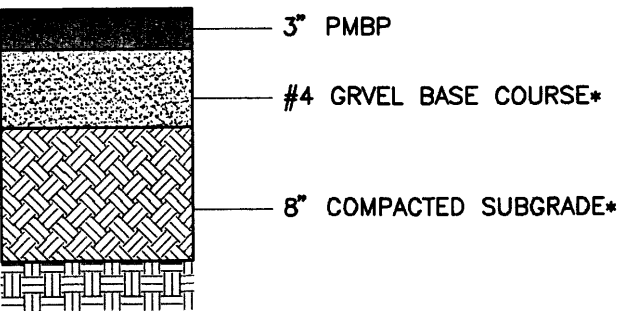
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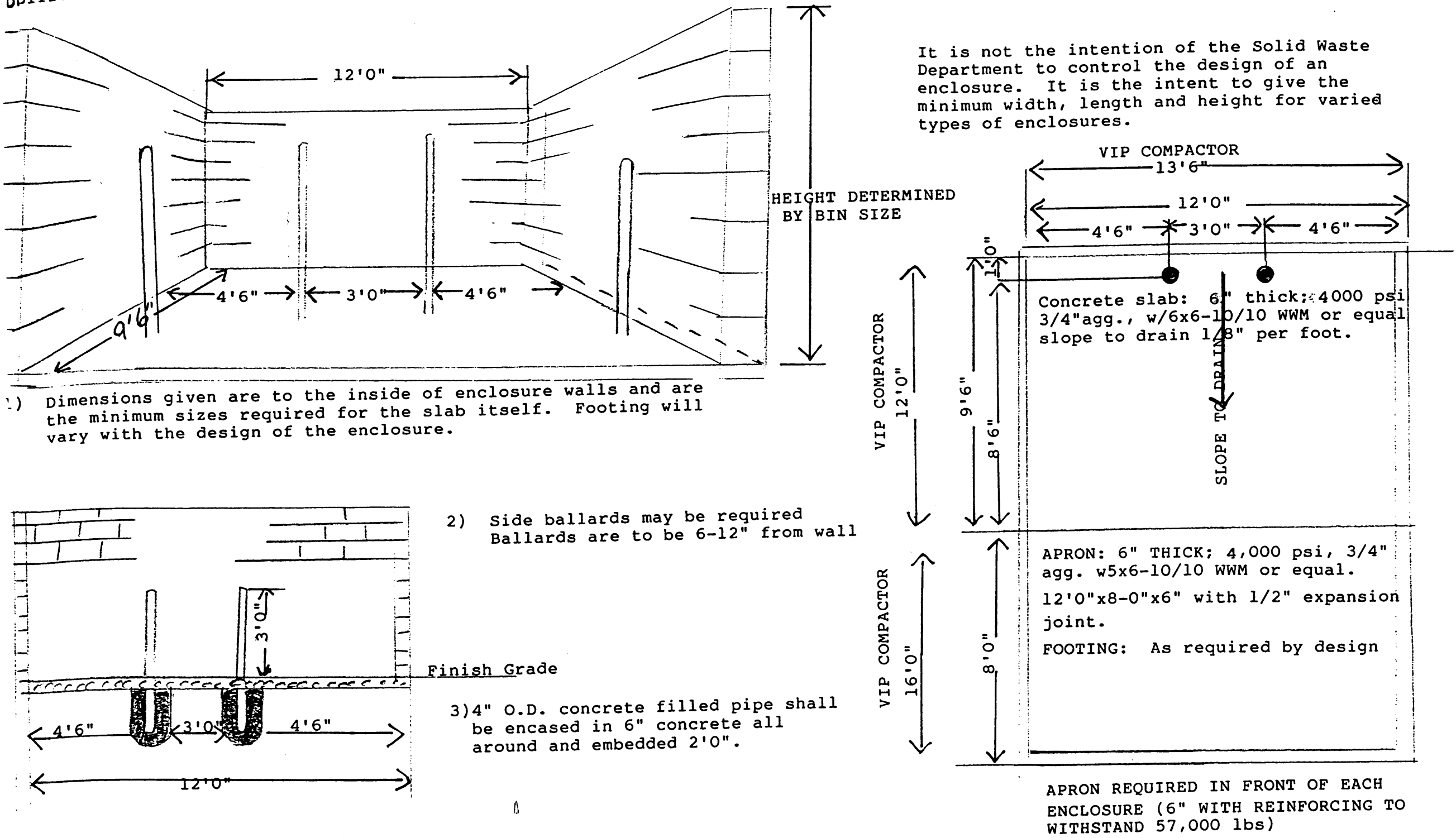
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NATIONAL FLOOD INSURANCE PROGRAM

FIRM

FLOOD INSURANCE RATE MAP

BERNALILLO COUNTY, NEW MEXICO AND INCORPORATED AREAS

PANEL 359 OF 825
(SEE MAP INDEX FOR PANELS NOT PRINTED)

CONTAINS:
COMMUNITY

ALBUQUERQUE CITY OF

350002

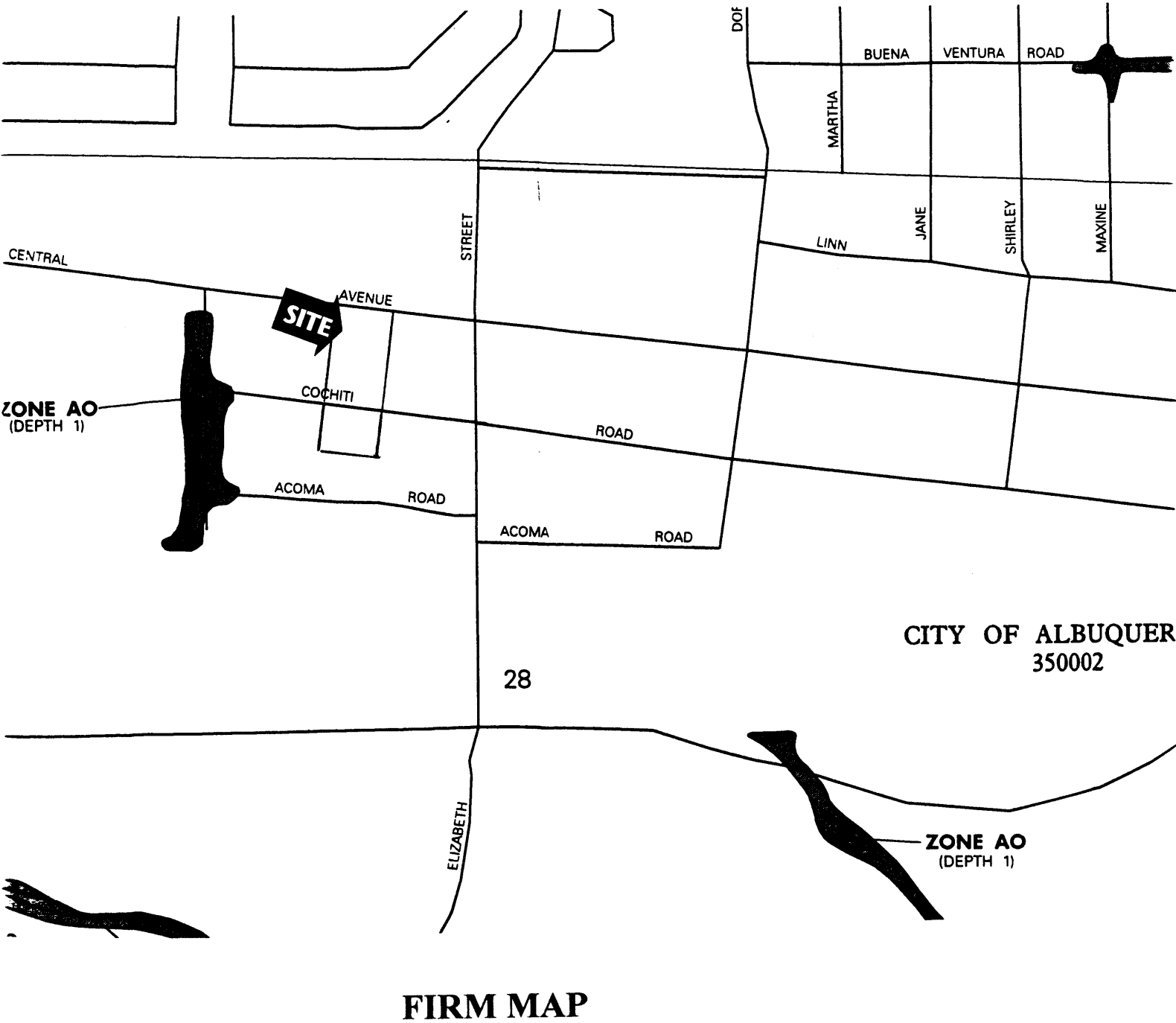
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D

MAP NUMBER
35001C0359 D

EFFECTIVE DATE:
SEPTEMBER 20, 1996

Federal Emergency Management Agency



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6605 HARPER N.E.
ALBUQUERQUE, NEW MEXICO 87109
PHONE: (505) 823-1556

GRADING AND DRAINAGE
CALCULATIONS AND
MISCELLANEOUS DETAILS
10804 CENTRAL AVE. S.E.
ALBUQUERQUE, N.M.

ENGINEER: J.E.L.
DRAWN BY: M.W.M.
DATE: 1/99
JOB NO.: 98006
FIELD BOOK: -
FILE NAME: MCC-C1
SCALE: 1"=20'

SHEET:

C3 OF 3