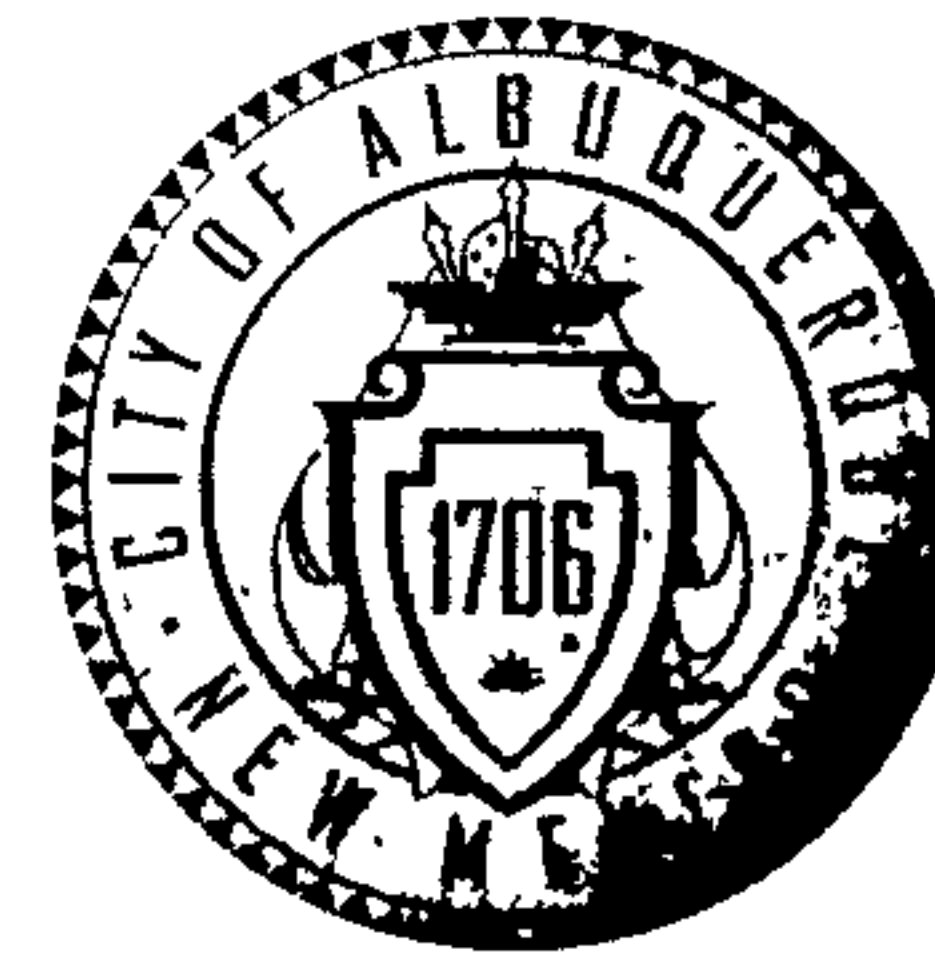


# CITY OF ALBUQUERQUE



**Planning Department  
Transportation Development Services Section**

November 23, 2010

Jeffrey G. Mortensen, P.E..  
6010-B Midway Park NE  
7601 Jefferson NE, Ste. 100  
Albuquerque, NM 87109

Re: Certification Submittal for a Permanent Building Certificate of Occupancy  
(C.O.) for Manzano Mesa ES Pre-K Consolidation, [L-21 / D055]  
801 Elizabeth Street SE  
Engineer's Stamp Dated 11/21/10

Dear Mr. Mortensen:

Based upon the information provided in your submittal received 11-22-10,  
Transportation Development has no objection to the issuance of a Permanent Certificate  
of Occupancy. This letter serves as a "green tag" from Transportation Development for a  
Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact me at (505)924-3630.

Sincerely,

Nilo E. Galgado-Fernandez, P.E.  
Senior Traffic Engineer  
Development and Building Services  
Planning Department

c: Engineer  
Hydrology file  
CO Clerk

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

**DRAINAGE AND TRANSPORTATION INFORMATION SHEET**

(REV. 1/28/2003rd)

PROJECT TITLE: MANZANO MESA ES PRE-K CONSOLIDATION ZONE ATLAS/DRNG. FILE #: L21 D055  
 DRB #: \_\_\_\_\_ EPC #: \_\_\_\_\_ WORK ORDER #: \_\_\_\_\_

LEGAL DESCRIPTION: TRACT D, MANZANO MESA ELEMENTARY SCHOOL  
 CITY ADDRESS: 801 ELIZABETH STREET SE

ENGINEERING FIRM: HIGH MESA CONSULTING GROUP CONTACT: JEFF MORTENSEN  
 ADDRESS: 6010-B MIDWAY PARK BLVD. NE PHONE: (505) 345-4250  
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87109

OWNER: ALBUQUERQUE PUBLIC SCHOOLS CONTACT: SAL WAR  
 ADDRESS: 915 OAK SE PHONE: 975-5965  
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87106

ARCHITECT: N/A CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

SURVEYOR: HIGH MESA CONSULTING GROUP (NMPS 11184) CONTACT: CHARLES G. CALA, JR  
 ADDRESS: 6010-B MIDWAY PARK BLVD. NE PHONE: (505) 345-4250  
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87109

CONTRACTOR: ANCHOR BUILT CONTACT: RAY ZAMORA  
 ADDRESS: \_\_\_\_\_ PHONE: 505-259-3259  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL, **REQUIRES TCL or equal**  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL GRADING & DRAINAGE PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)  
☐ CLOMR/LOMR  
☒ ~~TRAFFIC CIRCULATION LAYOUT (TCL)~~  
☒ ~~ENGINEER'S CERTIFICATION (TCL)~~  
☐ ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)  
☐ OTHER -

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☐ BUILDING PERMIT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY (PERM.)  
☐ CERTIFICATE OF OCCUPANCY (TEMP.)  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☒ OTHER (SPECIFY) – CONDITION OF APPROVAL

WAS A PRE-DESIGN CONFERENCE ATTENDED:

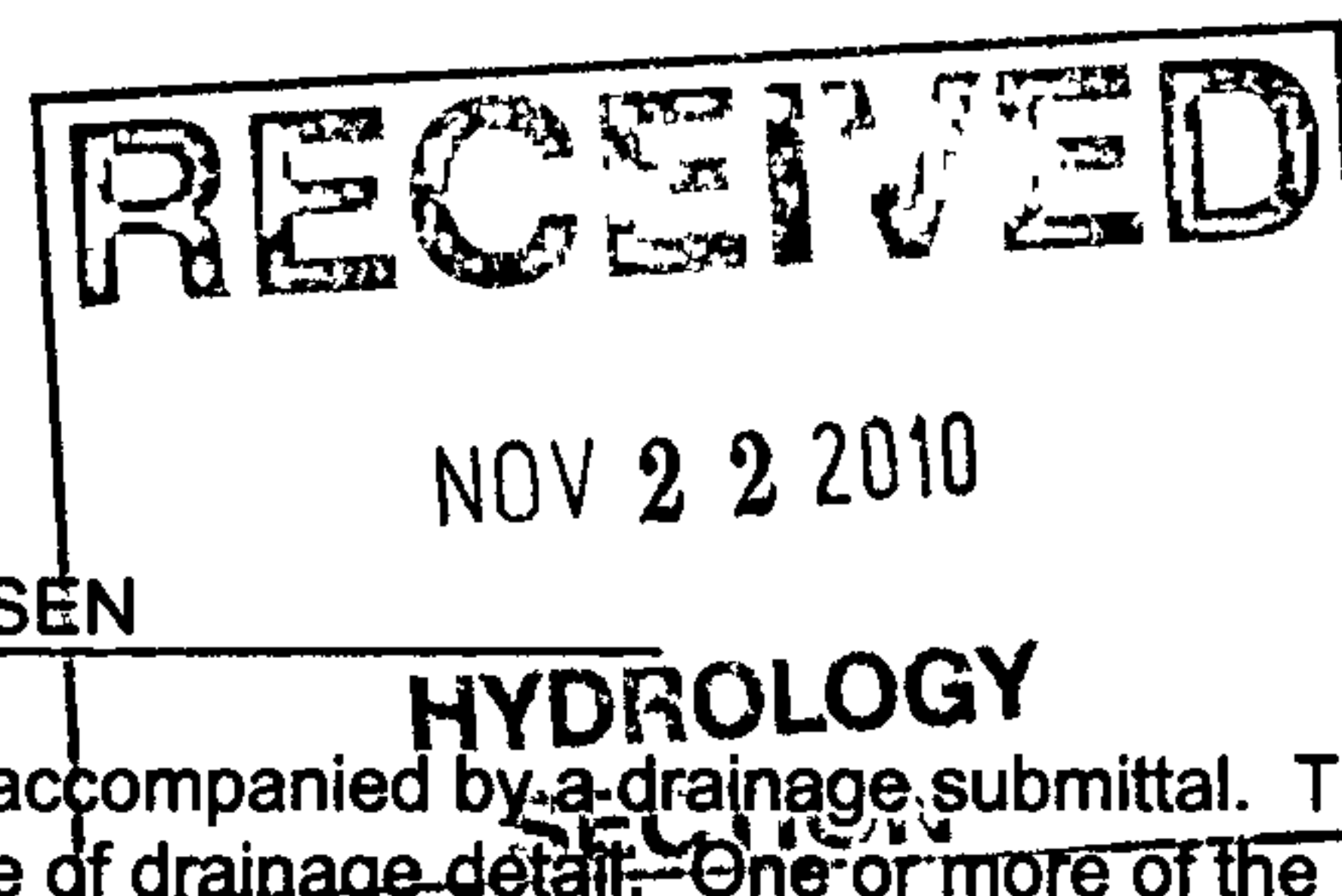
- ☐ YES  
☒ NO  
☐ COPY PROVIDED

DATE SUBMITTED: 11/22/2010 BY: JEFFREY G. MORTENSEN

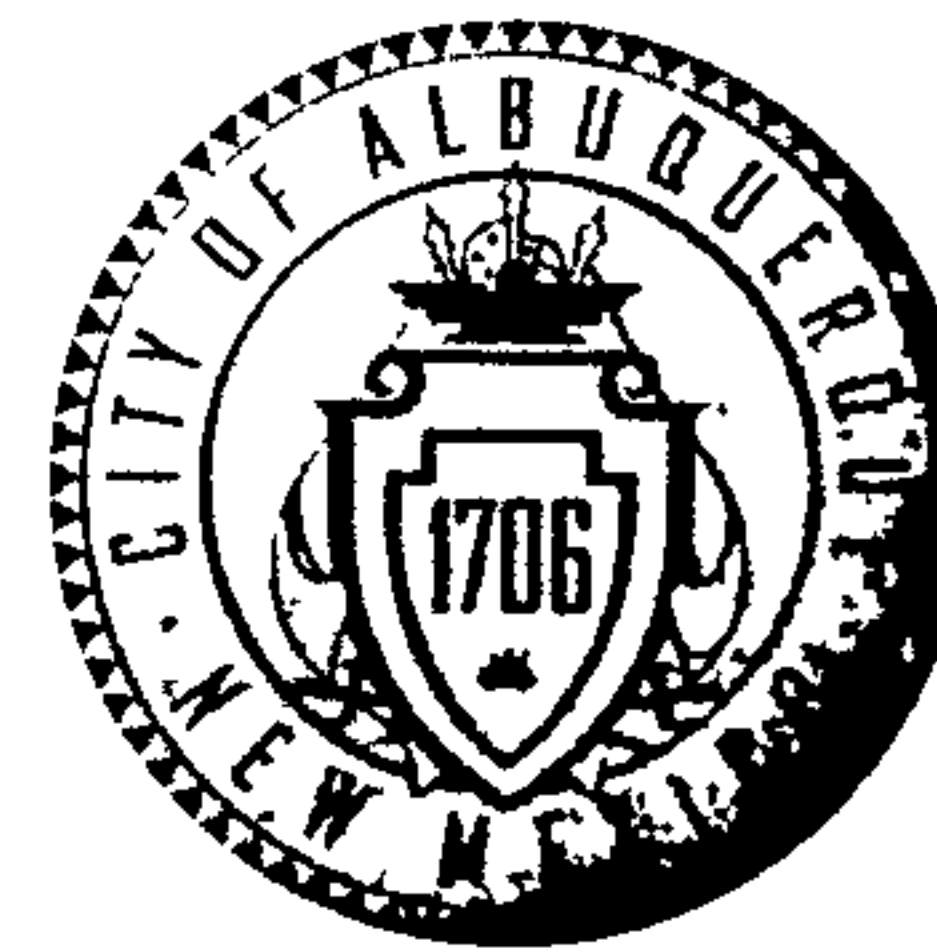
XC: SAL WAR

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based upon the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



# CITY OF ALBUQUERQUE



November 22, 2010

Jeffrey G. Mortensen, P.E.  
**High Mesa Consulting Group**  
6010-B Midway Park Blvd. NE  
Albuquerque, NM 87109

**Re: Manzano Mesa Elementary School Pre-K Consolidation, 801 Elizabeth St. SE, Request for Permanent C.O.—Approved**

**Engineer's Stamp dated: 06-08-10 (L-21/D055)**

**Certification dated: 11-21-10**

Dear Mr. Mortensen,

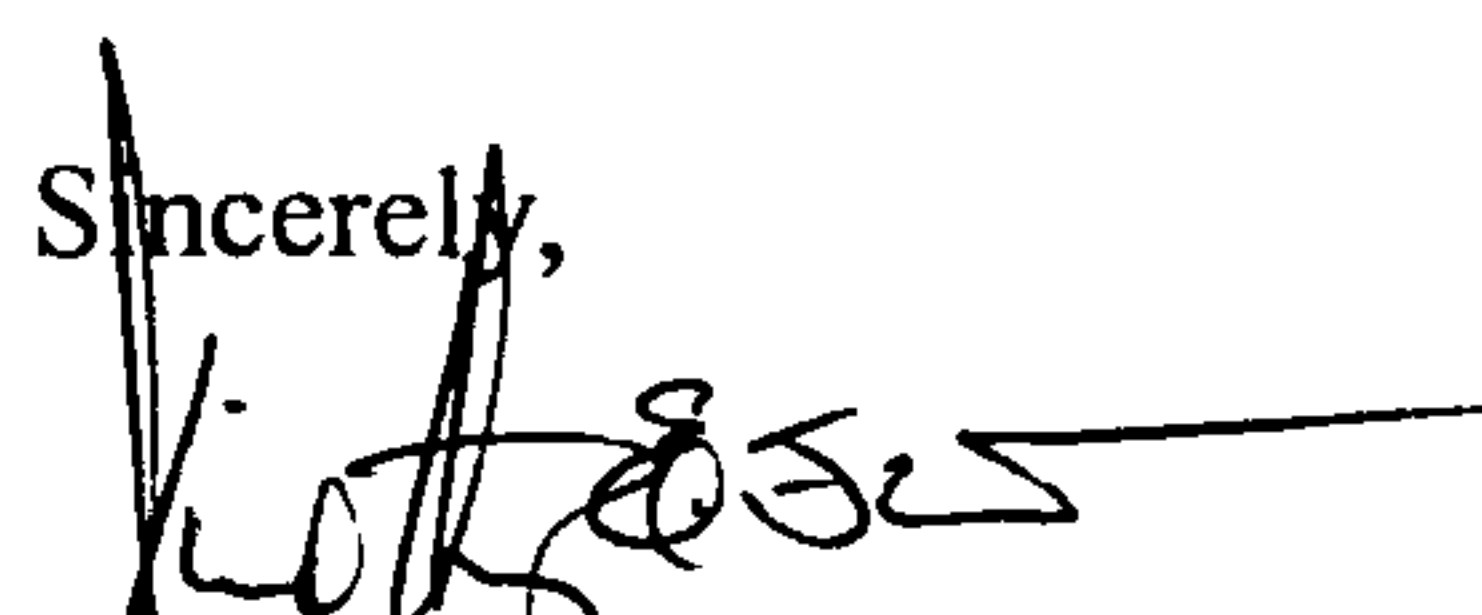
Based upon the information provided in the Certification received 11-22-10, the above referenced Certification is approved for a release of a Permanent Certificate of Occupancy by Hydrology.

PO Box 1293

If you have any questions, you can contact me at 924-3982.

Sincerely,

Albuquerque

  
Timothy E. Sims,  
Plan Checker—Hydrology Section  
Development and Building Services

NM 87103

[www.cabq.gov](http://www.cabq.gov)

C: CO Clerk—Katrina Sigala  
File

**DRAINAGE AND TRANSPORTATION INFORMATION SHEET**

(REV. 1/28/2003rd)

PROJECT TITLE: MANZANO MESA ES PRE-K CONSOLIDATION ZONE ATLAS/DRNG. FILE #: L21 D055  
 DRB #: \_\_\_\_\_ EPC #: \_\_\_\_\_ WORK ORDER #: \_\_\_\_\_

LEGAL DESCRIPTION: TRACT D, MANZANO MESA ELEMENTARY SCHOOL  
 CITY ADDRESS: 801 ELIZABETH STREET SE

ENGINEERING FIRM: HIGH MESA CONSULTING GROUP CONTACT: JEFF MORTENSEN  
 ADDRESS: 6010-B MIDWAY PARK BLVD. NE PHONE: (505) 345-4250  
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87109

OWNER: ALBUQUERQUE PUBLIC SCHOOLS CONTACT: SAL WAR  
 ADDRESS: 915 OAK SE PHONE: 975-5965  
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87106

ARCHITECT: N/A CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

SURVEYOR: HIGH MESA CONSULTING GROUP (NMPS 11184) CONTACT: CHARLES G. CALA, JR  
 ADDRESS: 6010-B MIDWAY PARK BLVD. NE PHONE: (505) 345-4250  
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87109

CONTRACTOR: ANCHOR BUILT CONTACT: RAY ZAMORA  
 ADDRESS: \_\_\_\_\_ PHONE: 505-259-3259  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

**TYPE OF SUBMITTAL:**

- ☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL, **REQUIRES TCL or equal**  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL GRADING & DRAINAGE PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☒ ENGINEER'S CERTIFICATION (HYDROLOGY)  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ ENGINEER'S CERTIFICATION (TCL)  
☐ ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)  
☐ OTHER -

**CHECK TYPE OF APPROVAL SOUGHT:**

- ☐ SIA/FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☐ BUILDING PERMIT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY (PERM.)  
☐ CERTIFICATE OF OCCUPANCY (TEMP.)  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☒ OTHER (SPECIFY) – CONDITION OF APPROVAL

**WAS A PRE-DESIGN CONFERENCE ATTENDED:**

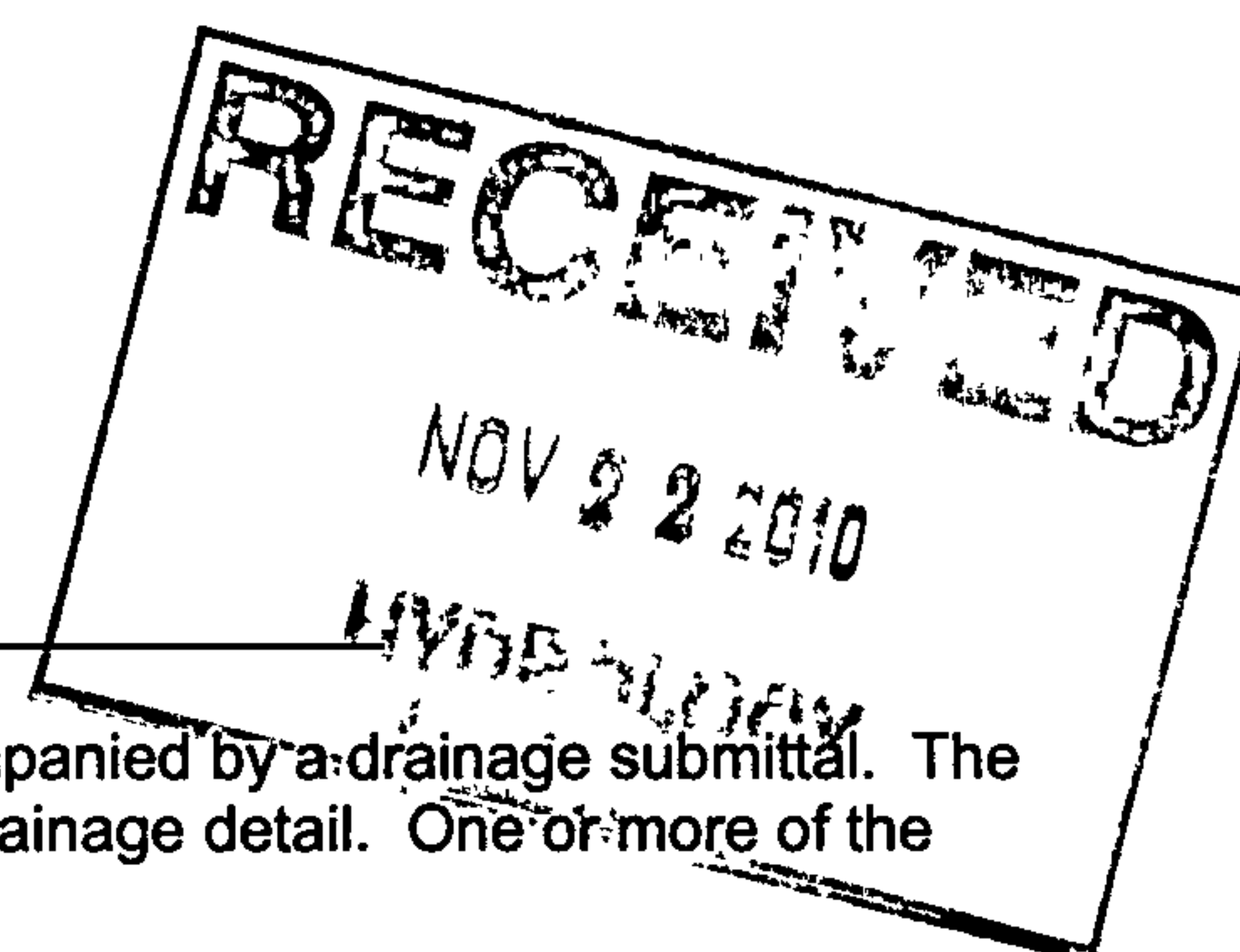
- ☒ YES  
☐ NO  
☒ COPY PROVIDED

DATE SUBMITTED: 11/22/2010 BY: JEFFREY G. MORTENSEN

XC: SAL WAR

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based upon the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.





# CITY OF ALBUQUERQUE



July 8, 2010

Jeffrey G. Mortensen, P.E.  
**High Mesa Consulting Group**  
6010-B Midway Park Blvd. NE  
Albuquerque, NM 87109

Re: Manzano Mesa Elementary School Pre-K Consolidation, 801 Elizabeth St., Traffic  
Circulation Layout, Engineer's Stamp dated 7-07-10 (L-21/D055)

Dear Mr. Mortensen,

The TCL submittal received 07-07-10 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

PO Box 1293

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Albuquerque

NM 87103

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

www.cabq.gov

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Richard Mourte, P.E.  
City Engineer

C: File

# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 01/06 - KDM)

PROJECT TITLE: Manzano Mesa ES Pre-K Consolidation ZONE MAP: 1-21/D055  
 DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: Tract D-2-A-1-A-2-A-4, Manzano Mesa  
 CITY ADDRESS: 801 Elizabeth ST SE, 87123

ENGINEERING FIRM: High Mesa Consulting Group NMPE 8547  
 ADDRESS: 6010 Midway Park Blvd. NE CONTACT: Jeff Mortensen, PE  
 CITY, STATE: Albuquerque, New Mexico PHONE: 505-345-4250  
 ZIP CODE: 87109

OWNER: Albuquerque Public Schools CONTACT: Sal War  
 ADDRESS: 915 Oak Street SE PHONE: 505-975-5965  
 CITY, STATE: Albuquerque, New Mexico ZIP CODE: 87106

ARCHITECT: Architectural Research Consultant CONTACT: Robert Robie  
 ADDRESS: 220 Gold Avenue SW PHONE: 505-842-1254  
 CITY, STATE: Albuquerque, New Mexico ZIP CODE: 87102

SURVEYOR: High Mesa Consulting Group NMPS 11184  
 ADDRESS: 6010 Midway Park Blvd. NE CONTACT: Charles G. Cala, Jr. PS  
 CITY, STATE: Albuquerque, New Mexico PHONE: 505-345-4250  
 ZIP CODE: 87109

CONTRACTOR: AnchorBuilt Inc. CONTACT: Ray Zamora  
 ADDRESS: 304 Indiana SE PHONE: 505-342-2452 ext 103  
 CITY, STATE: Albuquerque, New Mexico ZIP CODE: 87108

## TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERT (HYDROLOGY)  
☐ CLOMR/LOMR  
☒ **TRAFFIC CIRCULATION LAYOUT**  
☐ ENGINEER'S CERT (TCL)  
☐ ENGINEER'S CERT (DRB SITE PLAN)  
☐ OTHER (Specify) \_\_\_\_\_

## CHECK TYPE OF APPROVAL SOUGHT:

☐ SIA/FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☒ **FOUNDATION PERMIT APPROVAL**  
☒ **BUILDING PERMIT APPROVAL**  
☐ CERTIFICATE OF OCCUPANCY (TEMP)  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ OTHER (Specify) \_\_\_\_\_

## WAS A PRE-DESIGN CONFERENCE ATTENDED:

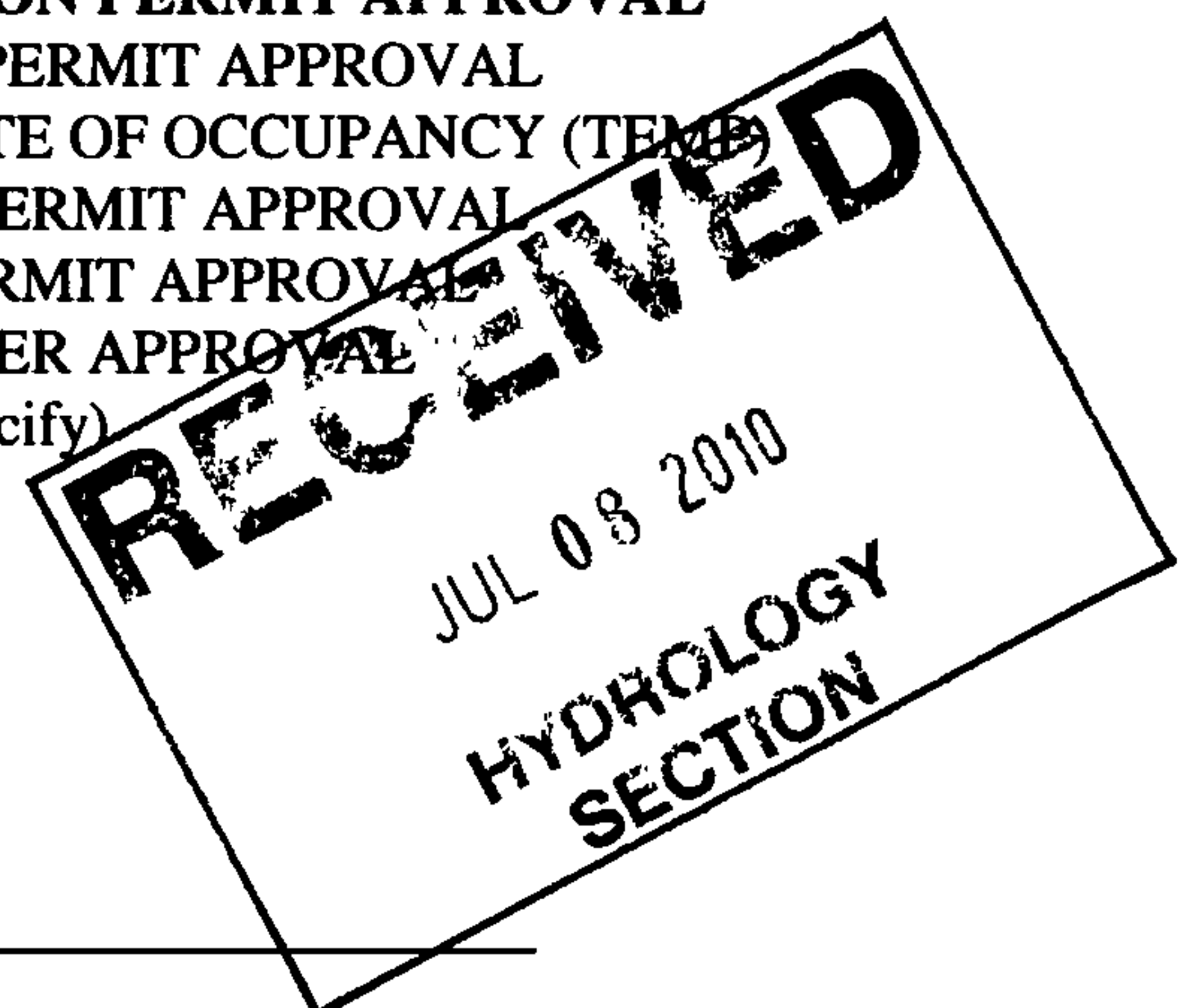
☒ YES  
☐ NO  
☒ COPY PROVIDED

DATE SUBMITTED: July 7, 2009 BY: Jared L. Brown

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

Xc: Sal War, APS FD&C w/enc.



# CITY OF ALBUQUERQUE



May 11, 2007

Bruce Stidworhty, P.E.  
**Bohannon Huston, Inc.**  
7500 Jefferson N.E. –Courtyard I  
Albuquerque, NM 87109

**Re: Manzano Mesa Elementary School Phase II, 801 Elizabeth St. S.E.,  
Approval of Permanent Certificate of Occupancy (C.O.)  
Engineer's Stamp dated 09/15/05 (L21/D055)  
Certification dated 05/11/07**

Based upon the information provided in your submittal received 5/11/07, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

P.O. Box 1293

If you have any questions, you can contact me at 924-3982.

Albuquerque

Sincerely,

New Mexico 87103

Timothy Sims  
Plan Checker, Hydrology  
Development and Building Services

[www.cabq.gov](http://www.cabq.gov)

C: CO Clerk-Katrina Sigala  
File

---



# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/11/2002)

PROJECT TITLE: Manzano Mesa Elementary School Ph2 ZONE MAP/DRG. FILE # L-21/D55  
DRB #: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: Tract D-2-A-1-A-2-A-4, Manzano Mesa  
CITY ADDRESS: 801 Elizabeth St SE

ENGINEERING FIRM: Bohannon Huston, Inc. CONTACT: Bruce Stidworthy  
ADDRESS: 7500 Jefferson NE – Courtyard I PHONE: (505) 823-1000  
CITY, STATE: Albuquerque, NM ZIP CODE: 87109

OWNER: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

ARCHITECT: SMPC Architects CONTACT: Colin Campbell  
ADDRESS: 115 Amherst Dr. SE PHONE: (505) 255-8668  
CITY, STATE: Albuquerque, NM ZIP CODE: 87106

SURVEYOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

## CHECK TYPE OF SUBMITTAL:

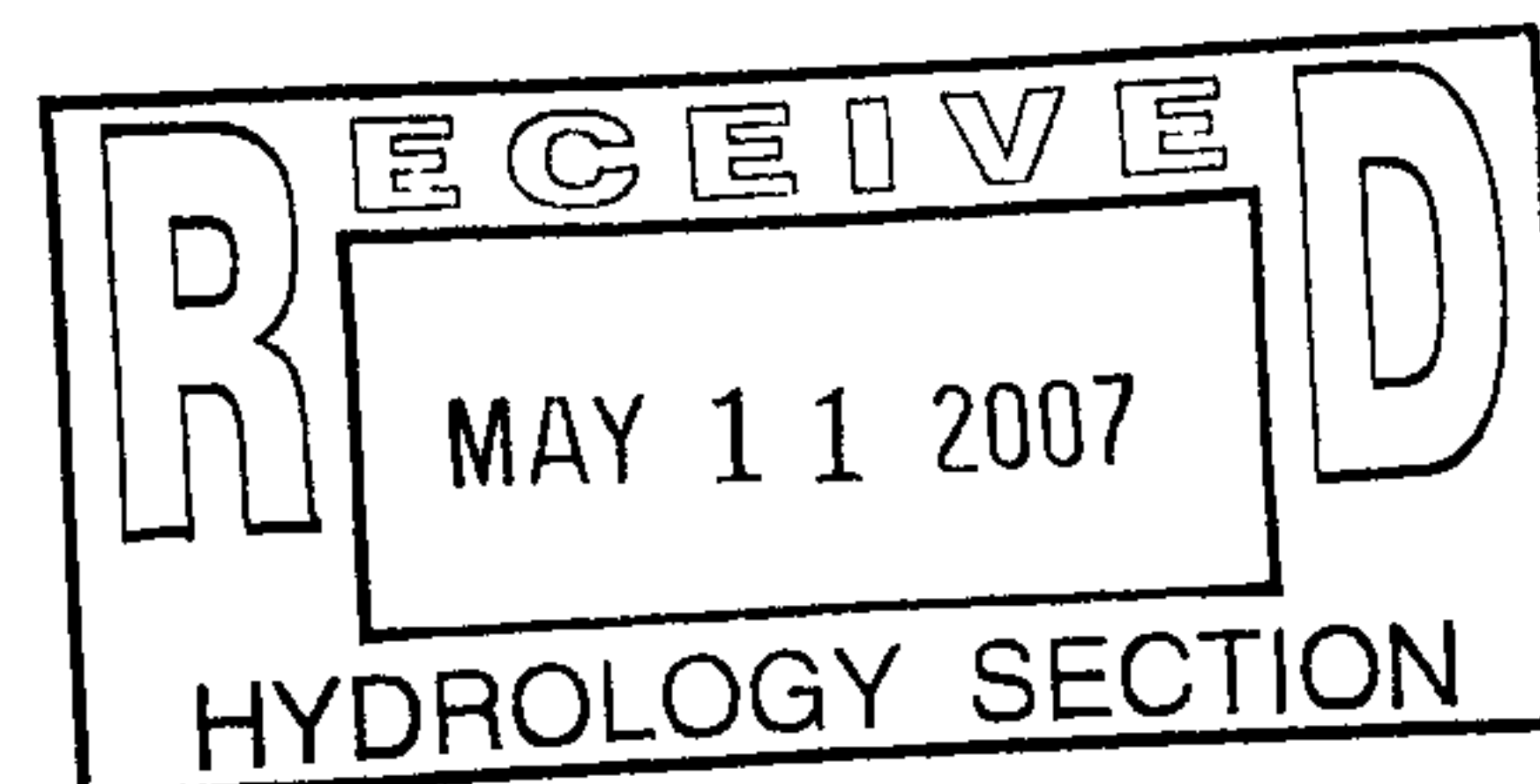
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

## CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL **RESUBMITAL**
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) SO19

## WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES (informal discussion with Brad B.)
- ☐ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: 05/11/2007 BY: Bruce Stidworthy, Bohannon Huston Inc.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



Courtyard I  
7500 Jefferson St. NE  
Albuquerque, NM  
87109-4335

[www.bhinc.com](http://www.bhinc.com)

voice: 505.823.1000  
facsimile: 505.798.7988  
toll free: 800.877.5332

## CLIENT/COURIER TRANSMITTAL

To: Brad Bingham  
City of Albuquerque  
Planning Dept.  
600 Second St. NW  
2<sup>nd</sup> Floor West  
ph: 924-3986

Requested By: Bruce Stidworthy

Date: **May 11, 2007**

Time Due: ☒ This A.M. ☐ This P.M.  
☐ Rush \_\_\_\_ ☐ By Tomorrow

Job No.: 01298 A 01 2400

Job Name: Manzano Mesa Elementary School Phase 2

### DELIVERY VIA

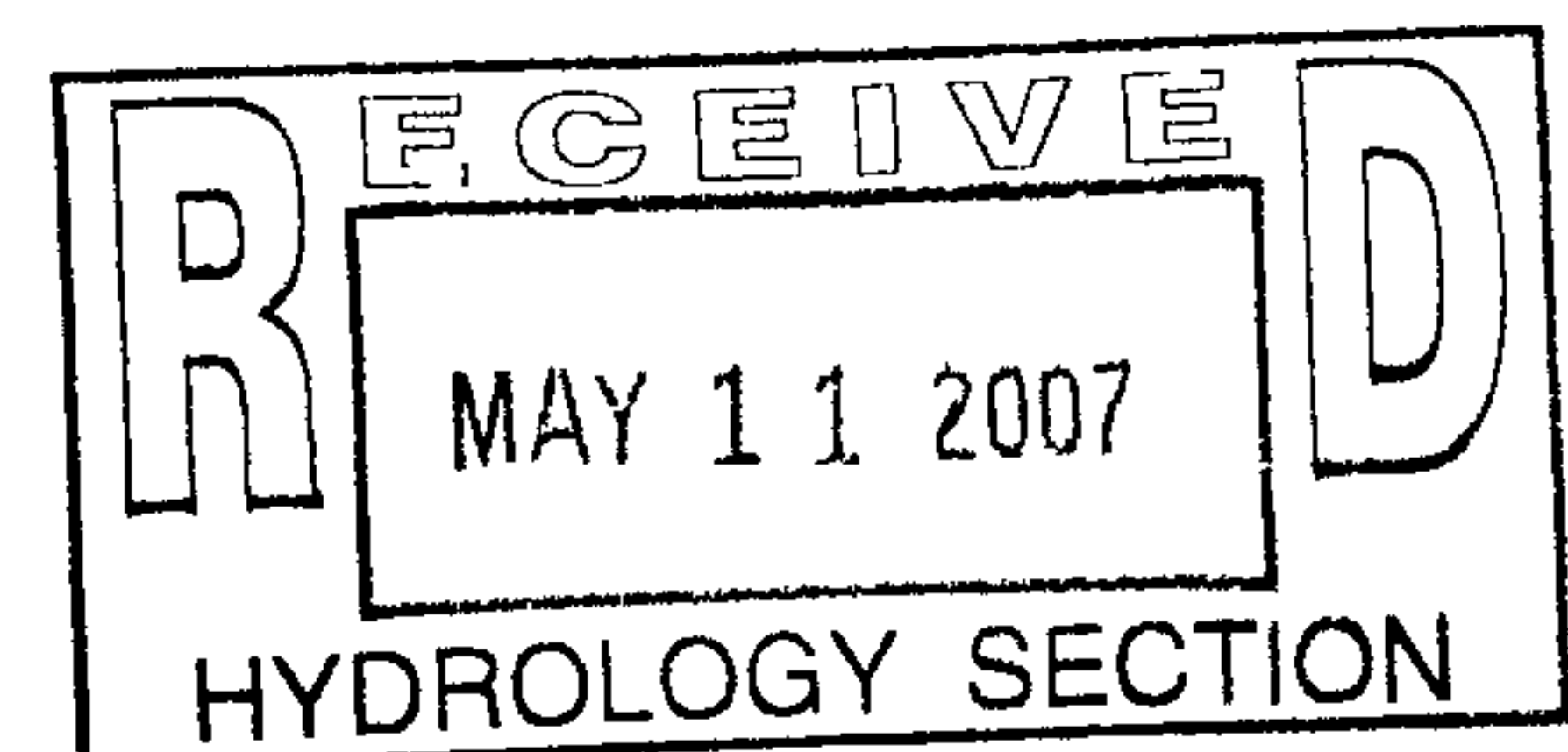
☒ Courier ☐ Federal Express  
☐ Mail ☐ UPS  
☐ Other \_\_\_\_\_

### PICK UP

Item: \_\_\_\_\_  
\_\_\_\_\_

<u>ITEM NO.</u>	<u>QUANTITY</u>	<u>DESCRIPTION</u>
1	1	Copy of Grading & Drainage Plan, Phase 2, dated 09/19/05
2	1	Drainage Info Sheet

### COMMENTS / INSTRUCTIONS



REC'D BY: \_\_\_\_\_ DATE: \_\_\_\_\_ TIME: \_\_\_\_\_

ENGINEERING °

SPATIAL DATA °

ADVANCED TECHNOLOGIES °

CITY OF ALBUQUERQUE  
DEVELOPMENT & BUILDING SERVICES CENTER  
PLANNING DEPARTMENT/HYDROLOGY SECTION

**HYDROLOGY & TRANSPORTATION PREDESIGN CONFERENCE RECAP**

DRAINAGE FILE/ZONE ATLAS PAGE NUMBER: L-21/ D055 DATE: April 30, 2010  
CROSS REFERENCE NUMBERS: EPC \_\_\_\_\_ DRB \_\_\_\_\_ DRC \_\_\_\_\_  
SUBJECT: MANZANO MESA ELEMENTARY PRE-K CONSOLIDATION  
STREET ADDRESS: 801 ELIZABETH STREET, SE, ALBUQUERQUE, NEW MEXICO 87123  
SUBDIVISION NAME: LOT D2A1A2A4, MANZANO MESA

**TYPE OF APPROVAL**

- ☐ PRELIMINARY & FINAL PLAT  
☐ BUILDING PERMIT  
☒ GRADING PERMIT (& PAVING)  
☐ SITE DEVELOPMENT PLAN FOR SUBDIVISION  
☐ OTHER \_\_\_\_\_

**ATTENDEE:**  
JEFF MORTENSEN  
BRAD BINGHAM

**ORGANIZATION:**  
HMCg  
HYDROLOGY

**PHONE:**  
345-4250  
924-3986

**FINDINGS:**

- A. AN APPROVED GRADING PLAN PER THE DPM WILL BE REQUIRED TO SUPPORT GRADING AND PAVING PERMITS
- B. FREE DISCHARGE PERMISSIVE  
1) FOR SURFACE DISCHARGE TO ONSITE DETENTION PONDS  
2) DUE TO PROXIMITY TO MANZANO MESA DAM LOCATED DOWNSTREAM OF SITE
- C. DRAINAGE SUBMITTAL MUST ADDRESS  
1) FLOWS FROM ADJACENT ROOFTOPS  
2) NUISANCE FLOWS
- D. WATER HARVESTING TO CAPTURE NUISANCE FLOWS ACCEPTABLE CONCEPT

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

THE UNDERSIGNED AGREE THAT THE ABOVE FINDINGS ARE SUMMARIZED ACCURATELY AND ARE ONLY SUBJECT TO CHANGE IF FURTHER INVESTIGATION REVEALS THAT THE FINDINGS ARE NOT REASONABLE OR THAT THEY ARE BASED UPON INACCURATE INFORMATION.

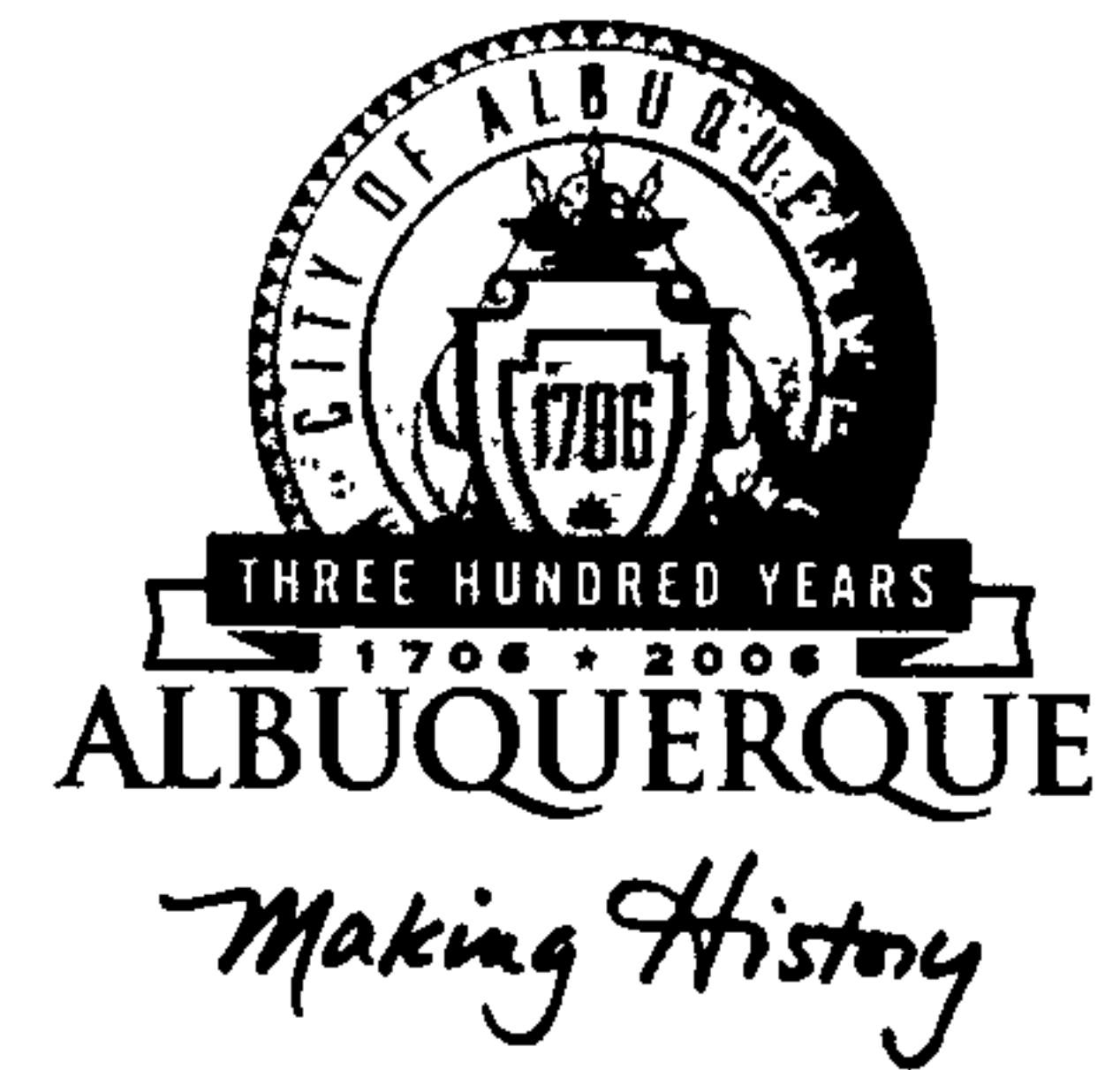
SIGNED: Bradley J. Bingham  
TITLE: CITY HYDROLOGIST  
DATE: 5/13/10

SIGNED: \_\_\_\_\_  
TITLE: CONSULTANT  
DATE: \_\_\_\_\_

NOTE: PLEASE PROVIDE A COPY OF THIS RECAP WITH EACH DRAINAGE & TRANSPORTATION SUBMITTAL.

HMCg PROJECT NO. 2008.198.8

# CITY OF ALBUQUERQUE



September 15, 2004

Bruce Stidworthy, P.E.  
Bohannon Huston, Inc.  
7500 Jefferson NE – Courtyard 1  
Albuquerque, NM 87109

**Re: Manzano Mesa Elementary School Phase I, 801 Elizabeth, Certificate of  
Occupancy  
Engineer's Stamp dated 5-12-03 (L21-D55)  
Certification dated 9-14-04**

Dear Mr. Stidworthy,

P.O. Box 1293  
Albuquerque  
New Mexico 87103  
www.cabq.gov  
Based upon the information provided in your submittal received 9-14-04, the  
above referenced certification is approved for release of permanent Certificate of  
Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro  
Engineering Associate, Planning Dept.  
Development and Building Services

C: Phyllis Villanueva  
file



# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/11/2002)

L-21/D55

PROJECT TITLE: Manzano Mesa Elementary School ZONE MAP/DRG. FILE # L-21/D55  
DRB #: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: Tract D-2-A-1-A-2-A-4, Manzano Mesa  
CITY ADDRESS: 801 Elizabeth St SE

ENGINEERING FIRM: Bohannon Huston, Inc.  
ADDRESS: 7500 Jefferson NE - Courtyard I  
CITY, STATE: Albuquerque, NM

CONTACT: Bruce Stidworthy  
PHONE: (505) 823-1000  
ZIP CODE: 87109

OWNER: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

ARCHITECT: SMPC Architects  
ADDRESS: 115 Amherst Dr. SE  
CITY, STATE: Albuquerque, NM

CONTACT: Colin Campbell  
PHONE: (505) 255-8668  
ZIP CODE: 87106

SURVEYOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

## CHECK TYPE OF SUBMITTAL:

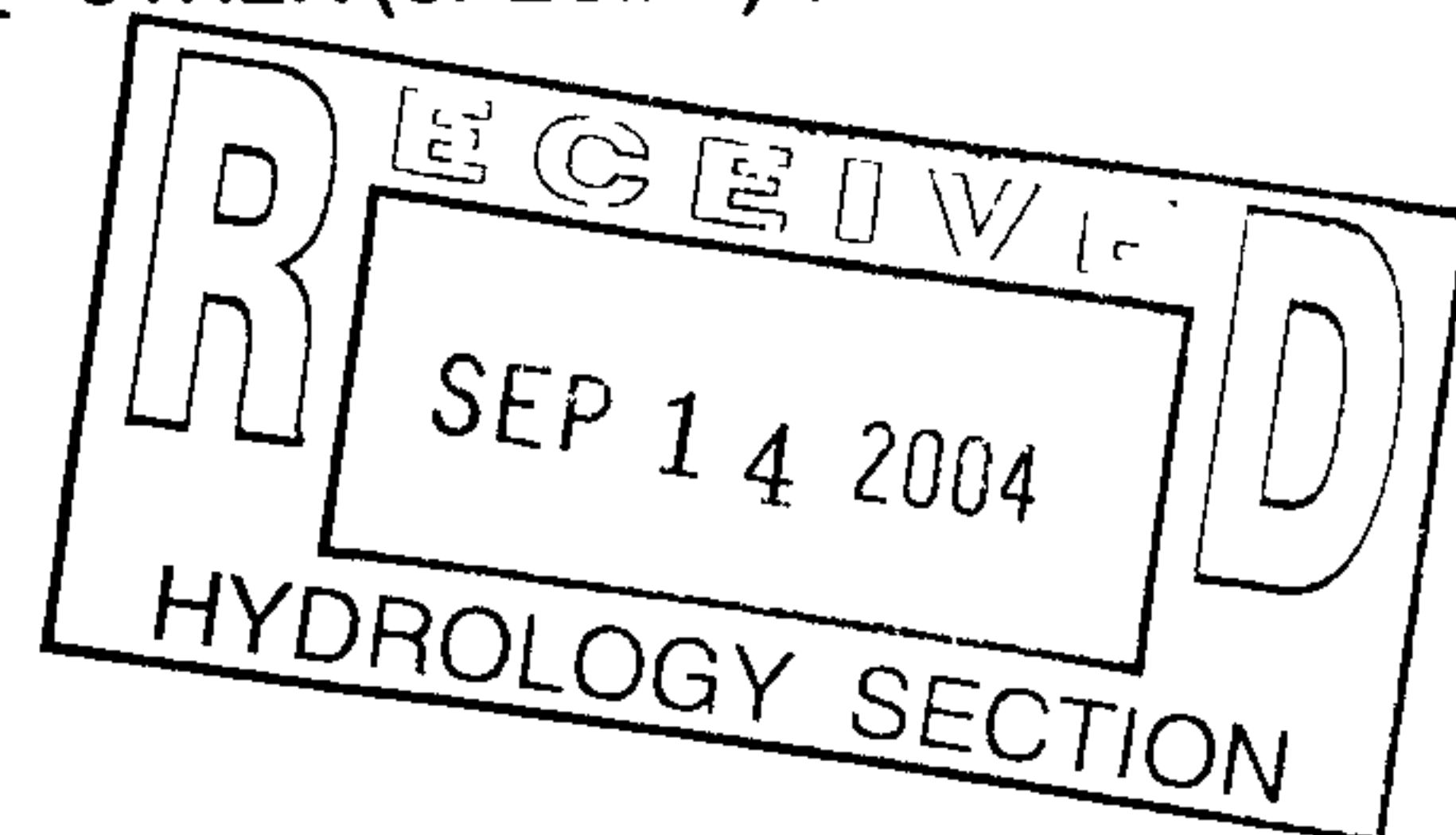
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

## CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) SO19

## WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES (informal discussion with Brad B.)
- ☒ NO
- ☐ COPY PROVIDED

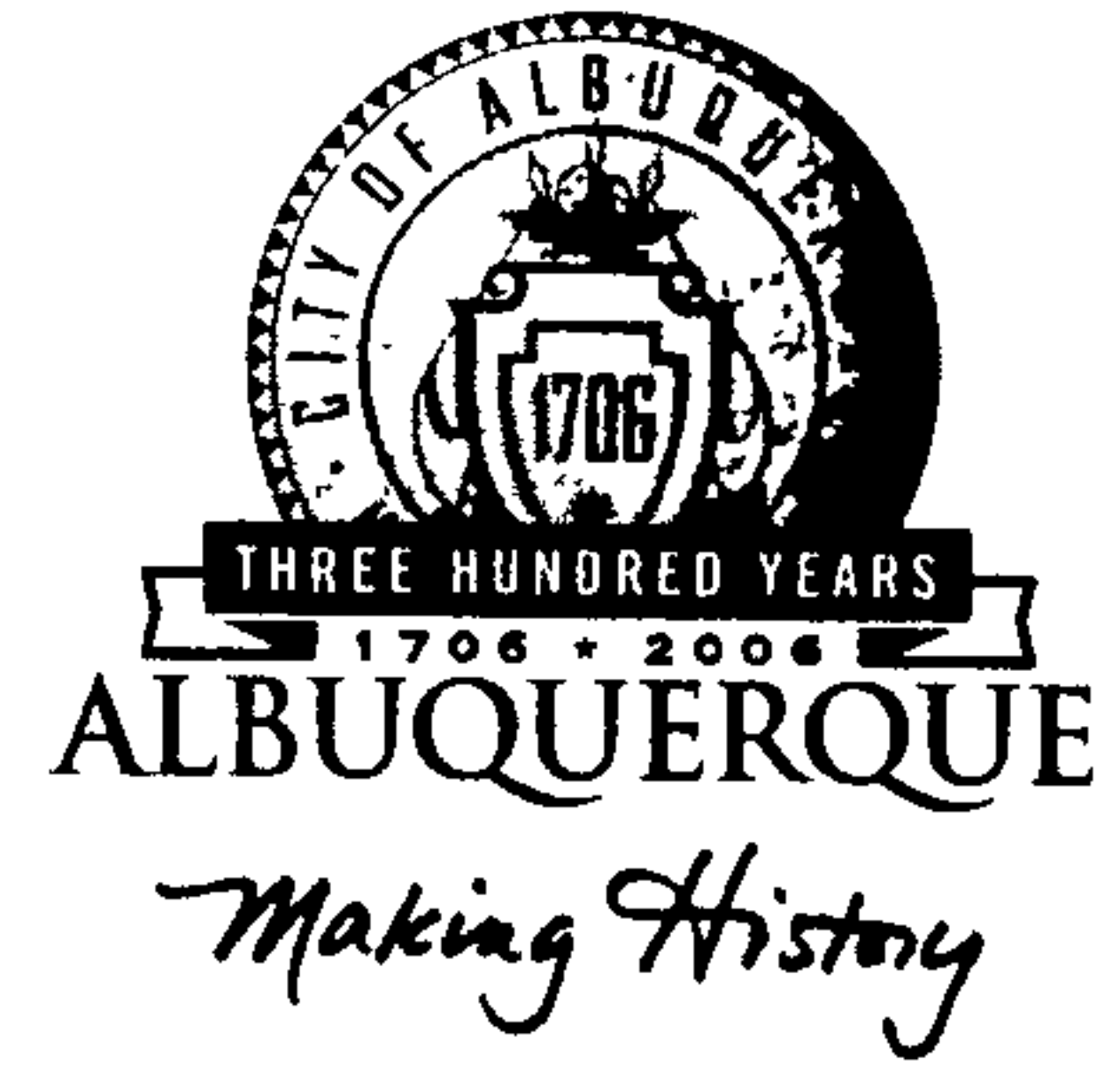


DATE SUBMITTED: 09/14/04 BY: Bruce Stidworthy, Bohannon Huston Inc.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

# CITY OF ALBUQUERQUE



**Planning Department  
Transportation Development Services Section**

August 12, 2004

John Christen Willadsen, Registered Architect  
115 Amherst Drive SE  
Albuquerque, NM 87106

Re: Certification Submittal for Final Building Certificate of Occupancy for  
Manzano Mesa Elementary School Phase 1, [L-21 / D55]  
801 Elizabeth SE  
Architect's Stamp Dated 08/12/04

Dear Mr. Willadsen:

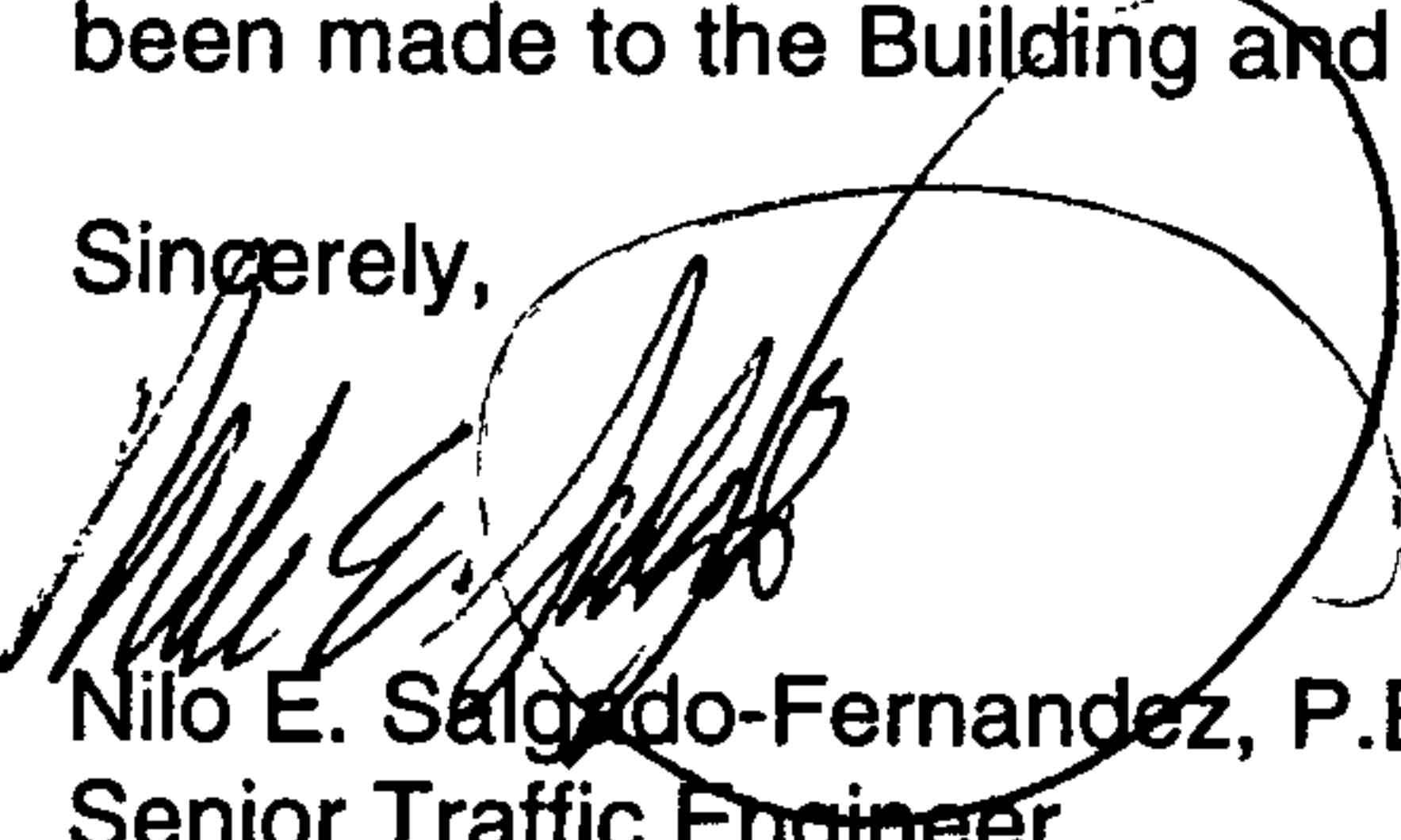
P.O. Box 1293

The TCL / Letter of Certification submitted on August 12, 2004 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Albuquerque

Sincerely,

New Mexico 87103

  
Nilo E. Salgado-Fernandez, P.E.,  
Senior Traffic Engineer  
Development and Building Services  
Planning Department

[www.cabq.gov](http://www.cabq.gov)

c: Engineer  
Hydrology file  
CO Clerk

# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

Phase I

(REV. 1/28/2003rd)

PROJECT TITLE: Manzano Mesa Elementary School

ZONE MAP/DRG. FILE #: L-21/D055

DRB #: \_\_\_\_\_ EPC#: \_\_\_\_\_

WORK ORDER#: \_\_\_\_\_

**LEGAL DESCRIPTION:**

CITY ADDRESS: 801 Elizabeth SE, Albuquerque

**ENGINEERING FIRM:**

ADDRESS: \_\_\_\_\_

CITY, STATE: \_\_\_\_\_

**CONTACT:**

PHONE: \_\_\_\_\_

ZIP CODE: \_\_\_\_\_

**OWNER:**

Albuquerque Public Schools

ADDRESS: 915 Oak SE

CITY, STATE: Albq. NM

**CONTACT:**

PHONE: 255 8668 242 5865

ZIP CODE: 87106

**ARCHITECT:**

SMPC Architects

ADDRESS: 115 Amherst Dr., SE

CITY, STATE: Albq. NM

**CONTACT:**

PHONE: 255 8668

ZIP CODE: 87106

**SURVEYOR:**

ADDRESS: \_\_\_\_\_

CITY, STATE: \_\_\_\_\_

**CONTACT:**

PHONE: \_\_\_\_\_

ZIP CODE: \_\_\_\_\_

**CONTRACTOR:**

Samcon

ADDRESS: \_\_\_\_\_

CITY, STATE: Albq NM

**CONTACT:**

PHONE: 271-2025

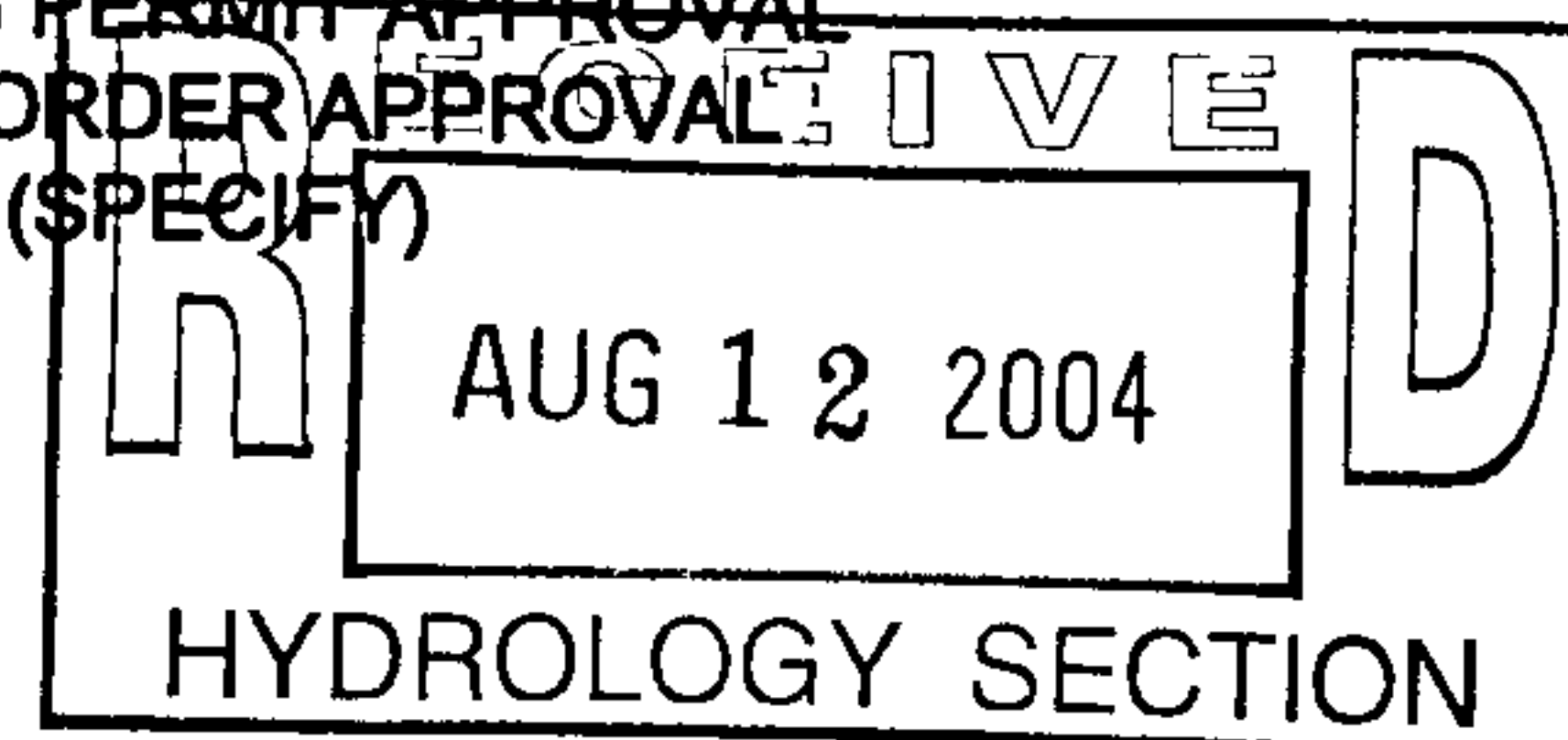
ZIP CODE: \_\_\_\_\_

**CHECK TYPE OF SUBMITTAL:**

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL, *REQUIRES TCL or equal*
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

**CHECK TYPE OF APPROVAL SOUGHT:**

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☒ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)



**WAS A PRE-DESIGN CONFERENCE ATTENDED:**

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: August 12, 2004

BY: Allison Abraham

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.

2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.

3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.





August 12, 2004

City of Albuquerque  
Building and Planning Department  
600 Second NW  
Albuquerque, New Mexico 87102

Re: Manzano Mesa Elementary School  
801 Elizabeth SE  
Albuquerque, New Mexico

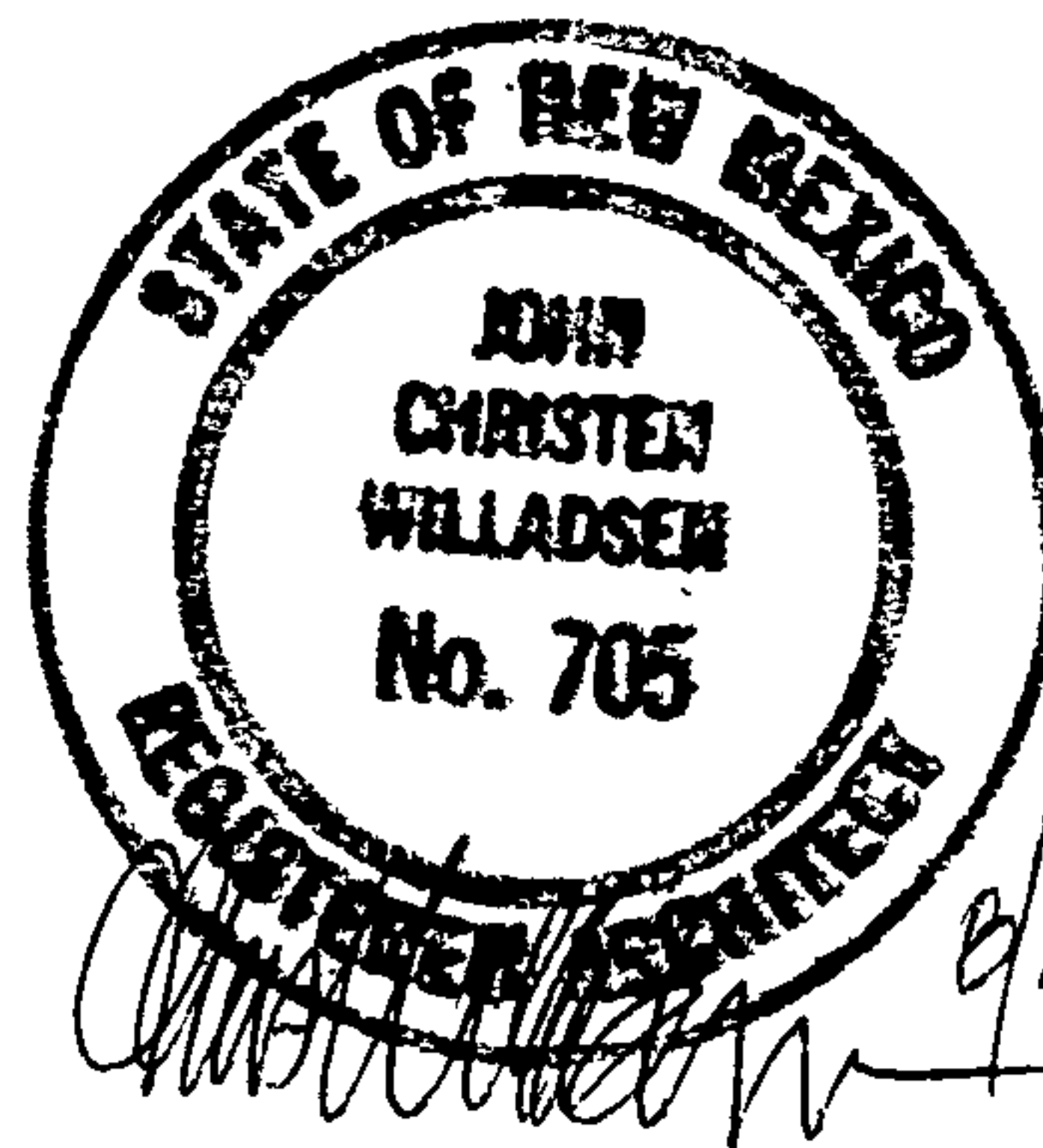
Dear Sir/Madam:

This is to verify that the construction of Manzano Mesa Elementary School was completed in substantial compliance with the approved site design (see attached).

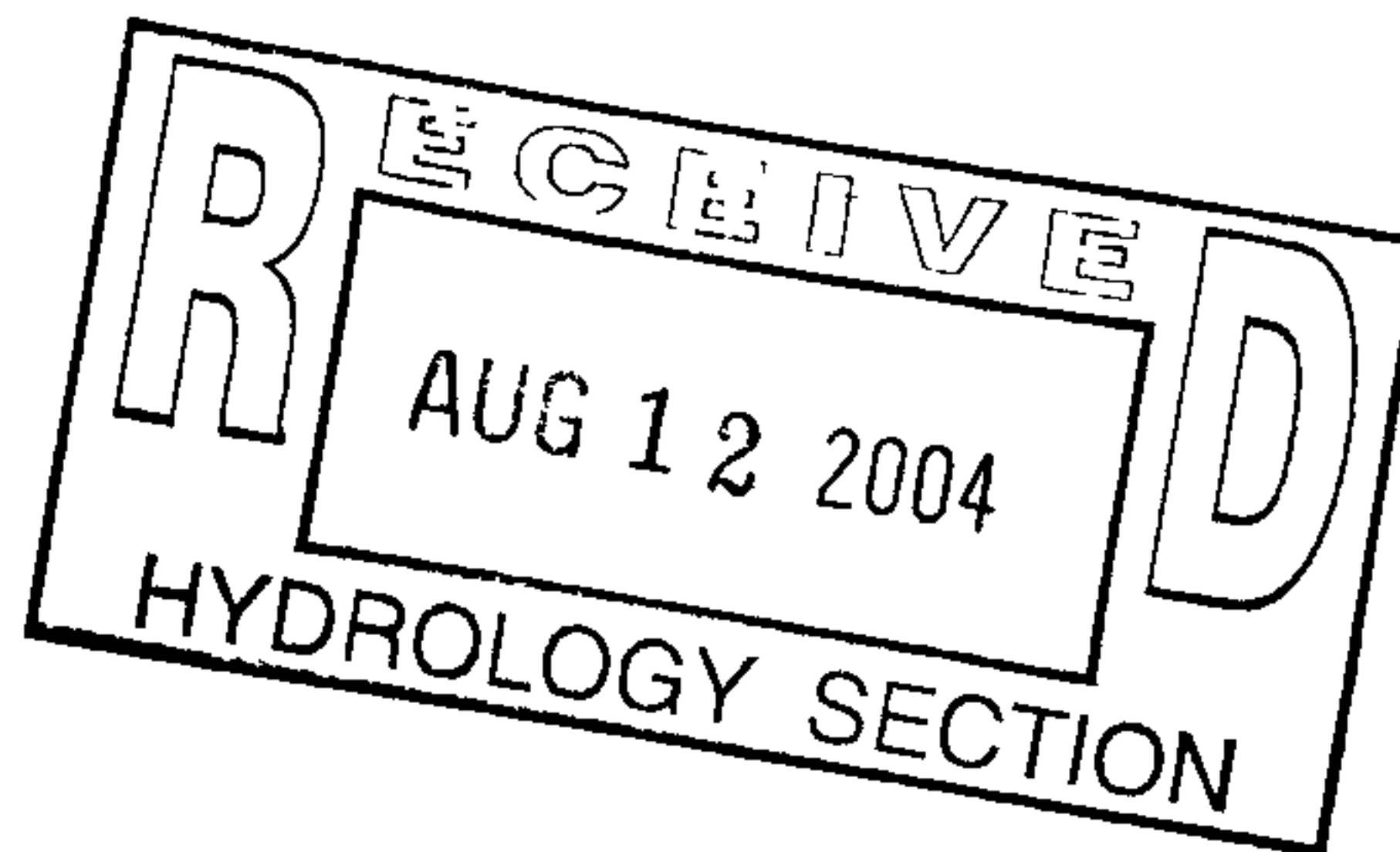
Sincerely,

J. Chris Willadsen  
Principal

enclosure



SMPC, P.A.  
115 Amherst Drive SE  
Albuquerque  
New Mexico 87106  
505 255 8668  
FAX 268 6665  
smpc@smpcarch.com  
www.smpcarch.com



J:\00022\Corresp\C7\COA ltr

# CITY OF ALBUQUERQUE



**Planning Department  
Transportation Development Services Section**

March 9, 2007

Allison Abraham, Registered Architect  
115 Amerst Drive SE  
Albuquerque, NM 87106

Re: Certification Submittal for Final Building Certificate of Occupancy for  
Manzano Mesa Elementary Phase 2, [L-21 / D55]  
801 Elizabeth St SE  
Architect's Stamp Dated 02/22/07

Dear Mr. Abraham:

The TCL / Letter of Certification submitted on March 6, 2007 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.  
Senior Traffic Engineer  
Development and Building Services  
Planning Department

c: Engineer  
Hydrology file  
CO Clerk

P.O. Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

**DRAINAGE AND TRANSPORTATION INFORMATION SHEET**  
(Rev. 06/22/2005)

PROJECT TITLE: Manzano Mesa Elementary P2 ZONE MAP/DRG. FILE # L-21-Z / D055  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_  
LEGAL DESCRIPTION: Tract D-2-A-1-A-2-A-4 Manzano Mesa, Albuquerque, NM as the same is shown and designated on the plat filed in the Office of County Clerk of Bernalillo County, NM in January 25, 2000, Book 2000C, page 25.  
CITY ADDRESS: 801 Elizabeth Street SE, Albuquerque, NM

ENGINEERING FIRM: Bohannon Huston Inc.

ADDRESS: 7500 Jefferson NE

CITY, STATE: Albuquerque, NM

CONTACT: Bruce Stidworthy

PHONE: 823-1000

ZIP CODE: 87109

OWNER: Albuquerque Public Schools

ADDRESS: 915 Oak SE

CITY, STATE: Albuquerque, NM

CONTACT: Myron Johnson

PHONE: 848-8811

ZIP CODE: 87106

ARCHITECT: SMPC Architects

ADDRESS: 115 Amherst Dr SE

CITY, STATE: Albuquerque, NM

CONTACT: Allison Abraham

PHONE: 255-8668

ZIP CODE: 87106

SURVEYOR: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_

PHONE: \_\_\_\_\_

ZIP CODE: \_\_\_\_\_

CONTRACTOR: Innerspace Systems, Inc.

ADDRESS: P.O. Box 57178

CITY, STATE: Albuquerque, NM

CONTACT: David Disko

PHONE: 243-2164

ZIP CODE: 87187

**TYPE OF SUBMITTAL:**

- ☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERT (HYDROLOGY)  
☐ CLOMR/LOMR  
☒ TRAFFIC CIRCULATION LAYOUT  
☒ ENGINEER'S CERT (TCL)  
☐ ENGINEER'S CERT (DRB SITE PLAN)  
☐ OTHER

**CHECK TYPE OF APPROVAL SOUGHT:**

- ☐ SIA/FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☐ BUILDING PERMIT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY (PERM)  
☐ CERTIFICATE OF OCCUPANCY (TEMP)  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES

☐ NO

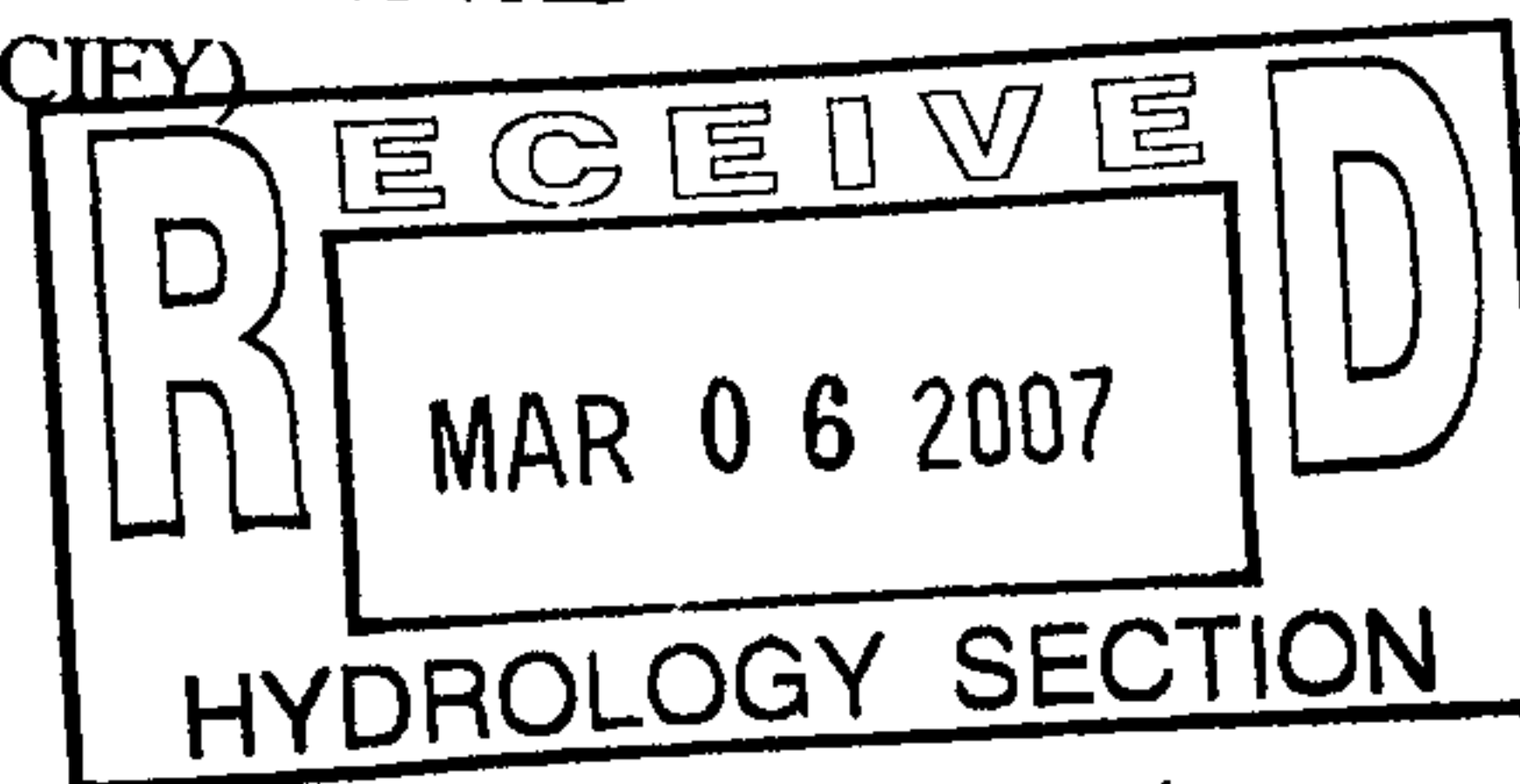
☐ COPY PROVIDED

SUBMITTED BY: \_\_\_\_\_

DATE: \_\_\_\_\_

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.





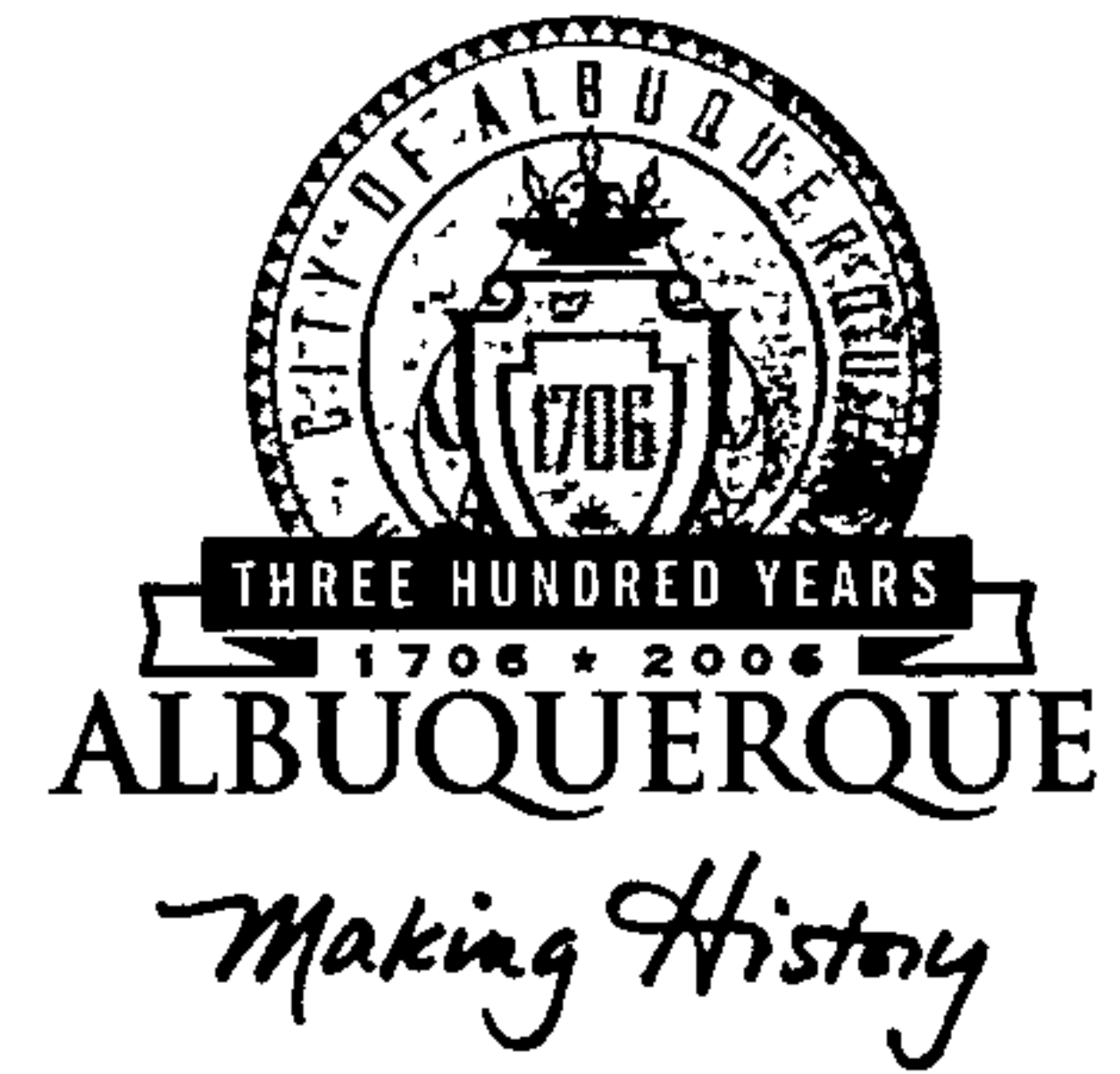
FRITZ,

I GIVE A VERBAL  
PERM. C.O. 3-8-07

---

W/41 Δ.

# CITY OF ALBUQUERQUE



September 23, 2005

Allison Abraham, R.A.  
SMPC Architects  
115 Amherst Dr. SE  
Albuquerque, NM 87106

**Re: Manzano Mesa Elementary School Phase 2, 801 Elizabeth St. SE  
Traffic Circulation Layout – Architect's Stamp dated 9-20-05 (L21-D55)**

Dear Ms. Abraham,

The TCL submittal received 9-21-05 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan shall be inserted into each set of the building permit plans. Please keep the original to be used for final C.O. certification of the site required by Transportation.

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

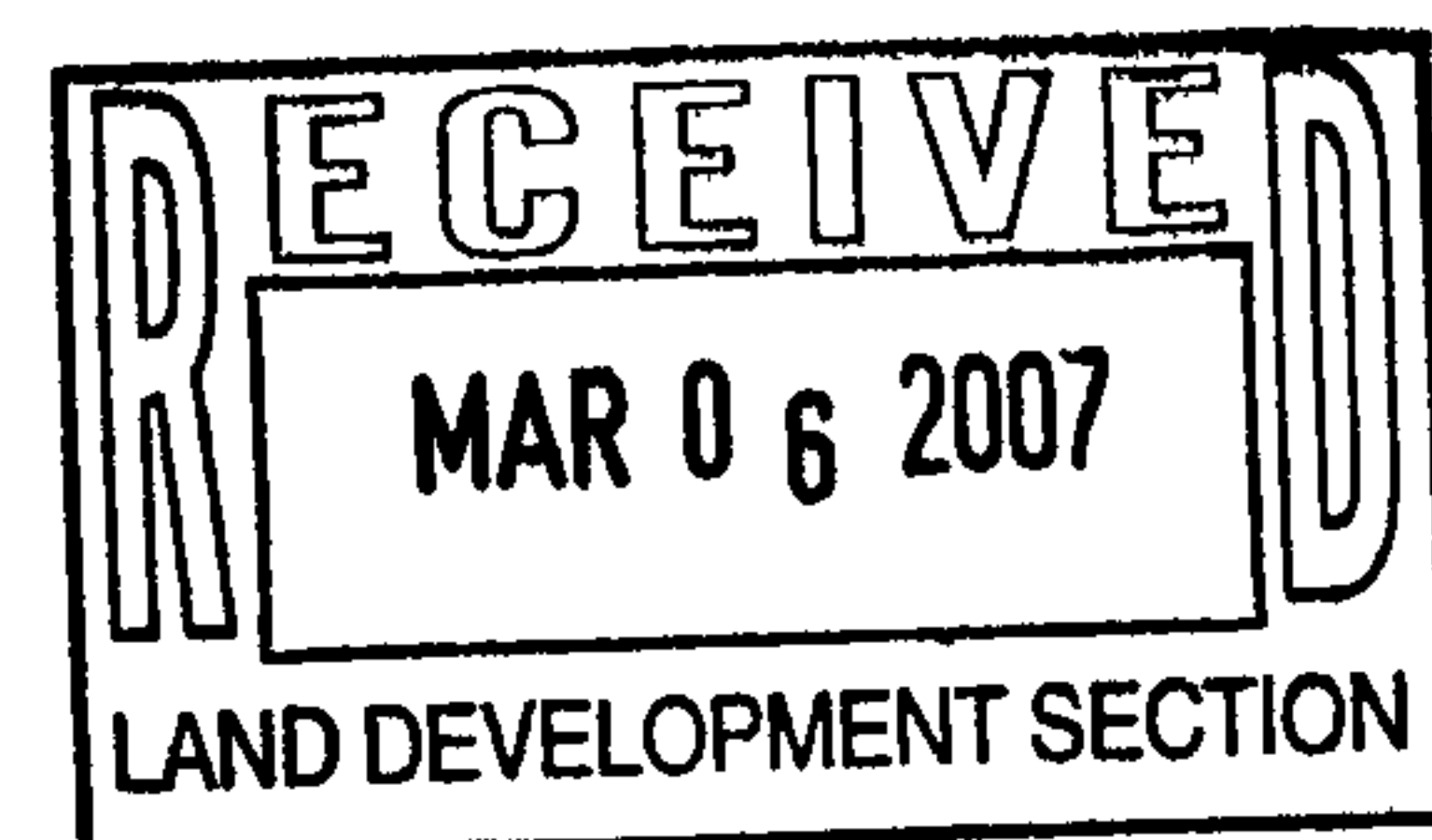
Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

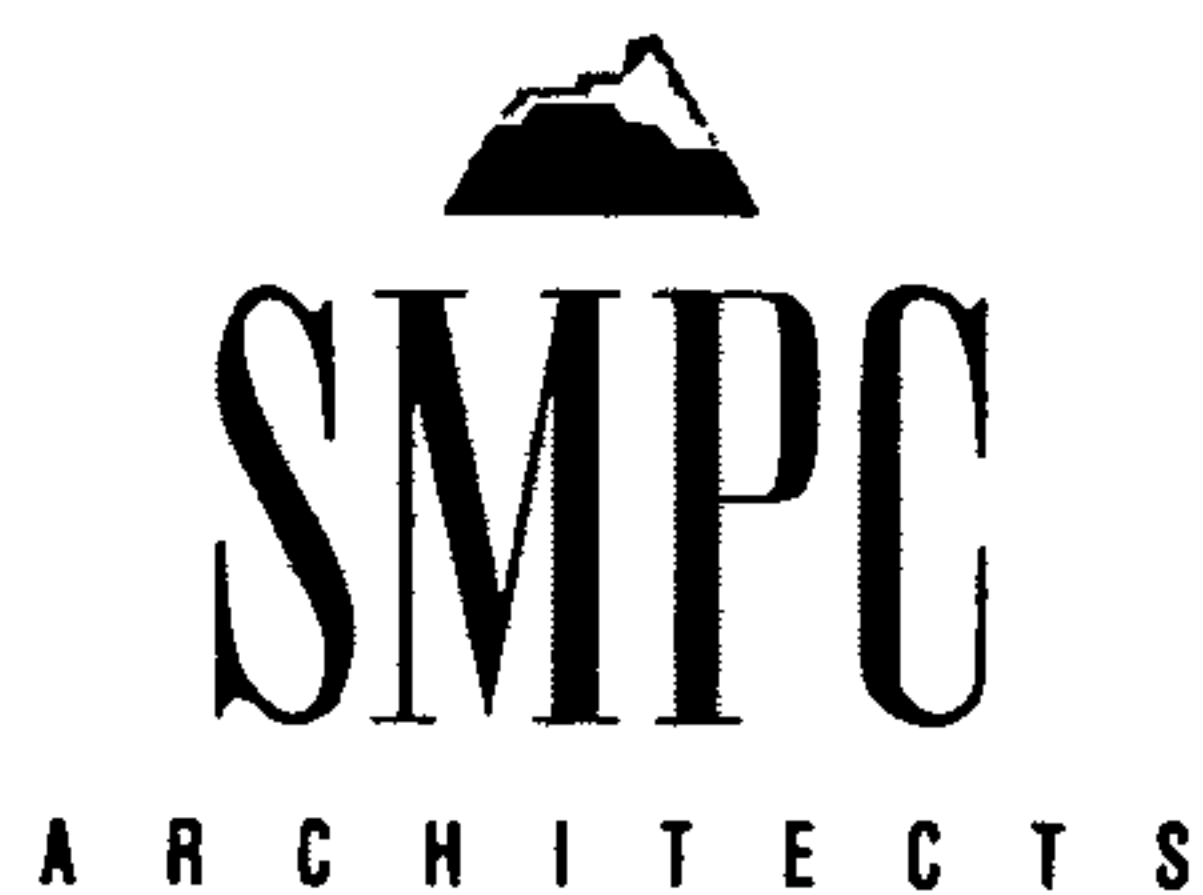
Sincerely,

A handwritten signature in black ink, reading "Phillip J. Lovato".

Phillip J. Lovato, E.I., C.F.M.  
Engineering Associate, Planning Dept.  
Development and Building Services

cc: file





Michael Ligon Dickson AIA

Glenn H. Fellows AIA

J. Chris Willadsen AIA

Allison Abraham AIA, ASLA

David A. Cook AIA

Patricia H. Hancock AIA

David M. Hassard AIA

Karl Schindwolf AIA

## TRAFFIC CERTIFICATION

I, ALLISON ABRAHAM, NMRA #1515, OF THE FIRM SMPC ARCHITECTS, HEREBY CERTIFY THAT THIS PROJECT (MANZANO MESA ELEMENTARY SCHOOL PHASE 2 CONSTRUCTION) IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED SEPTEMBER 20, 2005. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY PHIL STEVENS OF THE FIRM SMPC ARCHITECTS. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON FEBRUARY 22, 2007 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

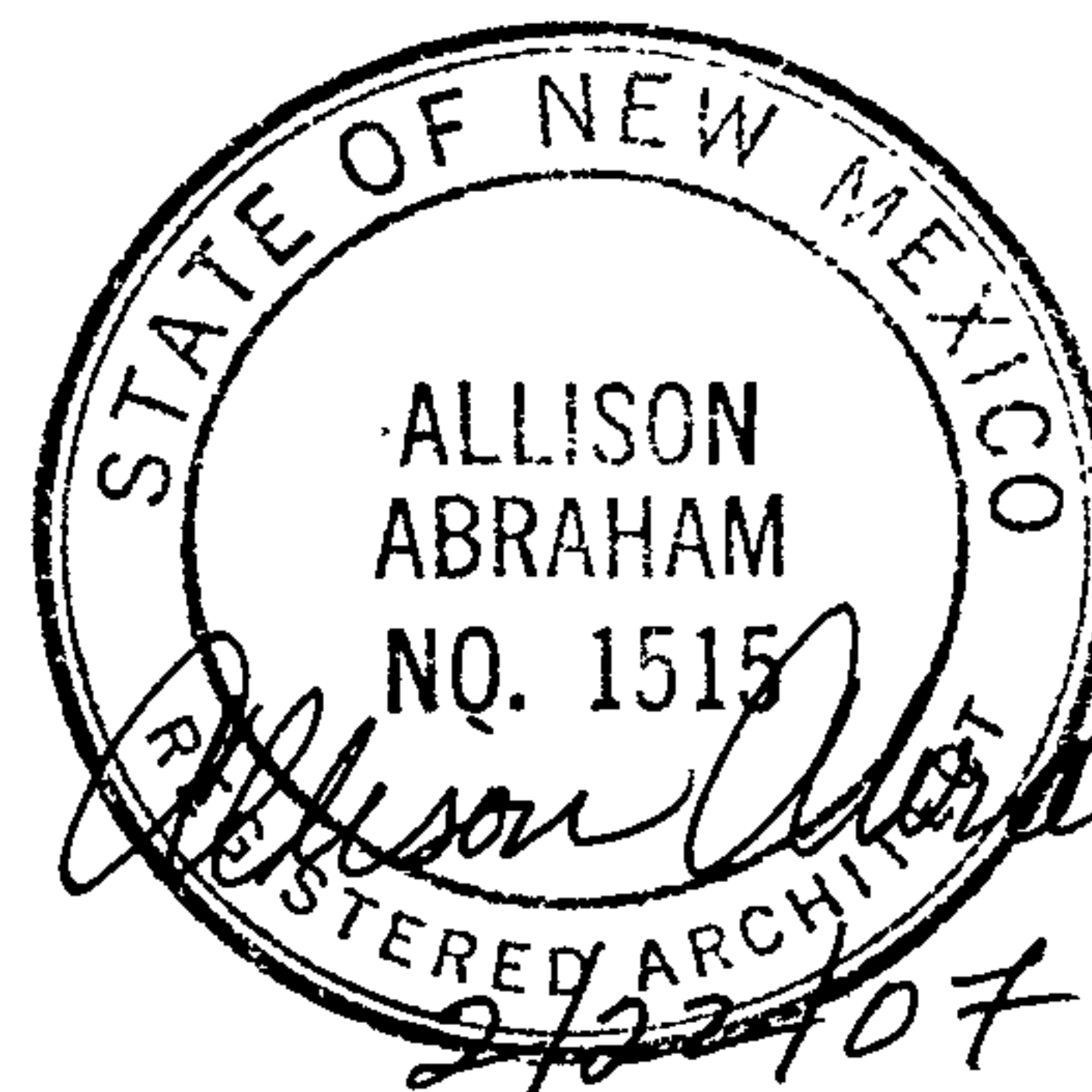
*Allison Abraham*

Allison Abraham AIA, ASLA  
Principal

*February 22, 2007*

Date

ARCHITECT' STAMP



SMPC P.A.

115 Amherst Drive SE

Albuquerque

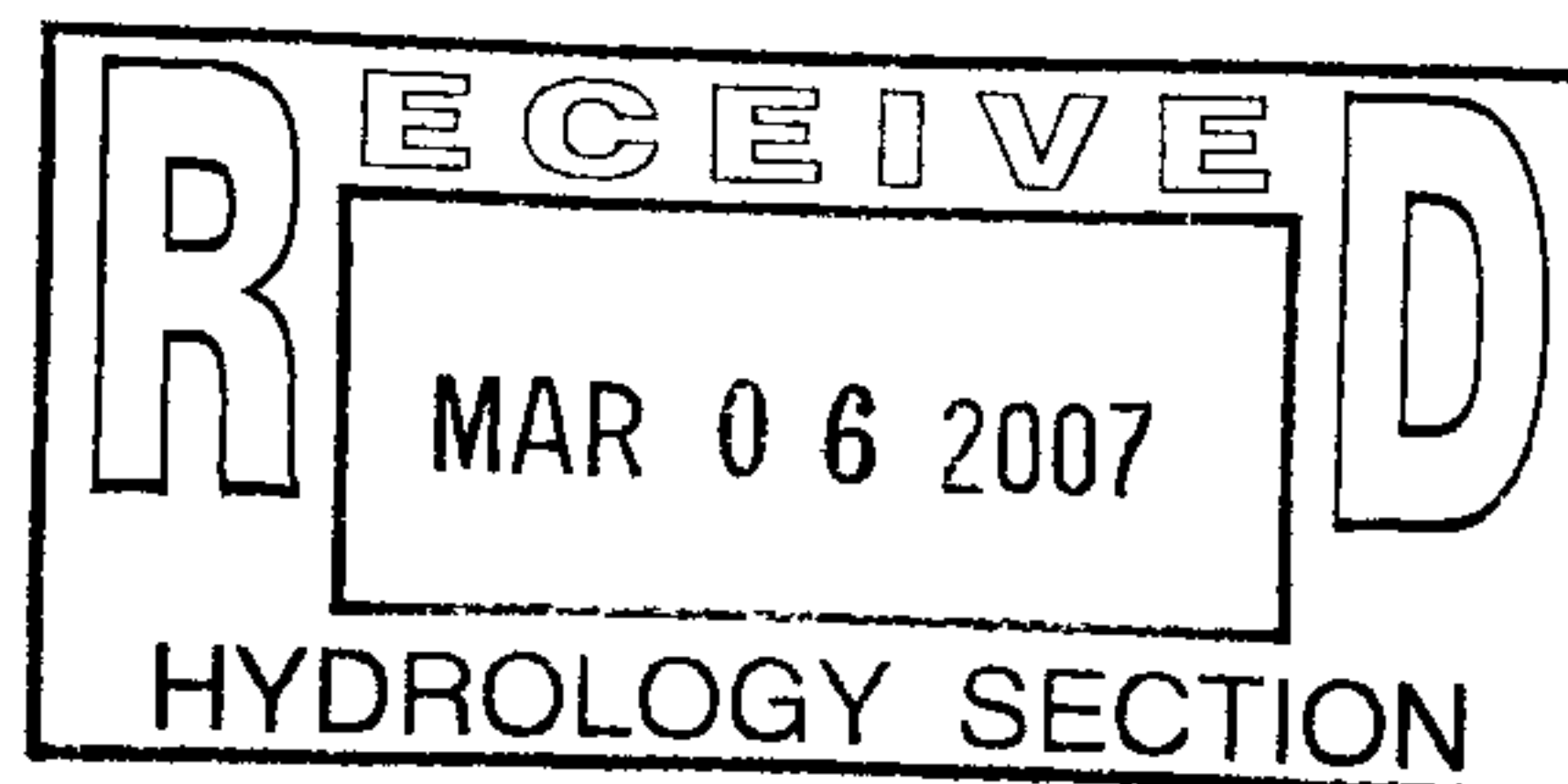
New Mexico 87106

505 255 8668

FAX 268 6665

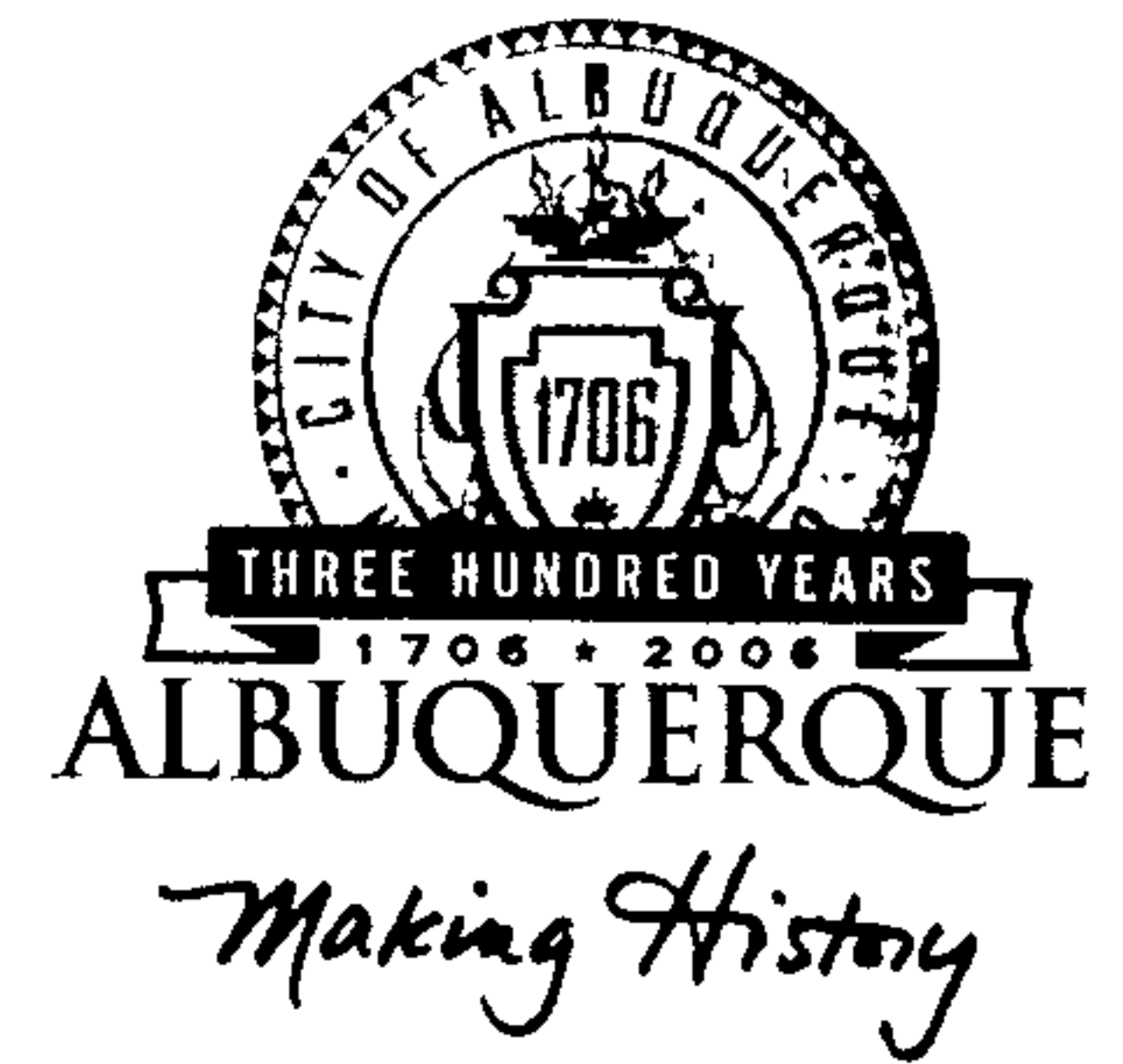
smpc@smpcarch.com

www.smpcarch.com





# CITY OF ALBUQUERQUE



September 23, 2005

Allison Abraham, R.A.  
SMPC Architects  
115 Amherst Dr. SE  
Albuquerque, NM 87106

**Re: Manzano Mesa Elementary School Phase 2, 801 Elizabeth St. SE  
Traffic Circulation Layout – Architect's Stamp dated 9-20-05 (L21-D55)**

Dear Ms. Abraham,

The TCL submittal received 9-21-05 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan shall be inserted into each set of the building permit plans. Please keep the original to be used for final C.O. certification of the site required by Transportation.

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Phillip J. Lovato, E.I., C.F.M.  
Engineering Associate, Planning Dept.  
Development and Building Services

cc: file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET L-21/DS5  
(Rev. 06/22/2005)

PROJECT TITLE: MANZANO MESA ELEMENTARY Phase 2  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ ZONE MAP/DRG. FILE # L-21 (R-1)  
WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: TRACT D-7-A-1-A-2-A-4, MANZANO MESA, ALBUQUERQUE, NM.  
CITY ADDRESS: 801 ELIZABETH STREET SE

ENGINEERING FIRM: BOHANNAN HUDSON, INC  
ADDRESS: 7500 JEFFERSON NE  
CITY, STATE: ALBUQUERQUE, NM 87109

CONTACT: BRUCE STIDWORTHY  
PHONE: 823-1000  
ZIP CODE: 87109

OWNER: ALBUQUERQUE PUBLIC SCHOOLS  
ADDRESS: 915 OAK ST SE  
CITY, STATE: ALBUQUERQUE, NM

CONTACT: MYRON JOHNSON  
PHONE: 765-5950  
ZIP CODE: 87106

ARCHITECT: SMPC ARCHITECTS  
ADDRESS: 115 AMHERST DR. SE  
CITY, STATE: ALBUQUERQUE, NM

CONTACT: PAUL STEVENS  
PHONE: 255-8668  
ZIP CODE: 87106

SURVEYOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

TYPE OF SUBMITTAL:

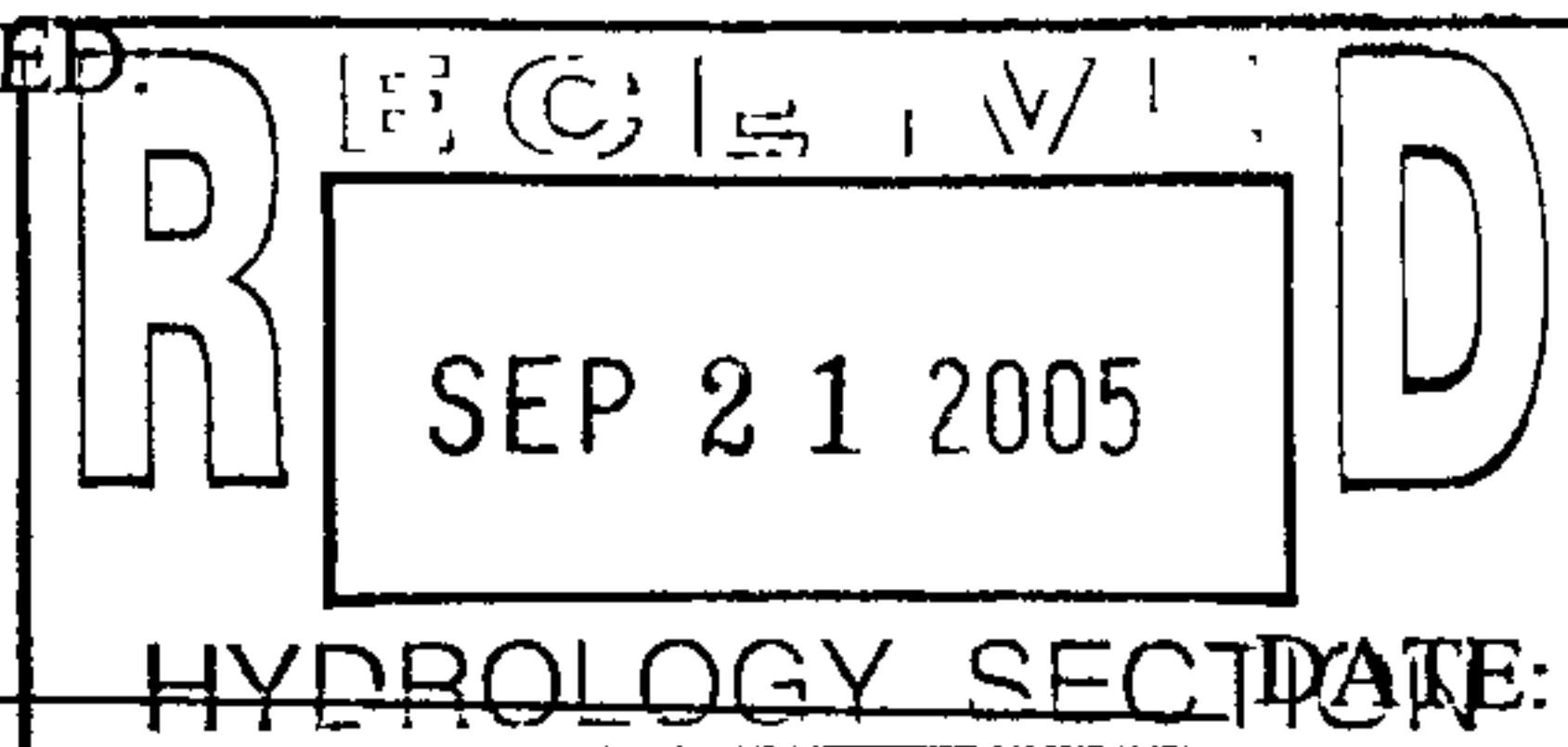
- ☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERT (HYDROLOGY)  
☐ CLOMR/LOMR  
☒ TRAFFIC CIRCULATION LAYOUT  
☐ ENGINEER'S CERT (TCL)  
☐ ENGINEER'S CERT (DRB SITE PLAN)  
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY (PERM)  
☐ CERTIFICATE OF OCCUPANCY (TEMP)  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES  
☐ NO  
☐ COPY PROVIDED



SUBMITTED BY: PAUL STEVENS

HYDROLOGY SECTION

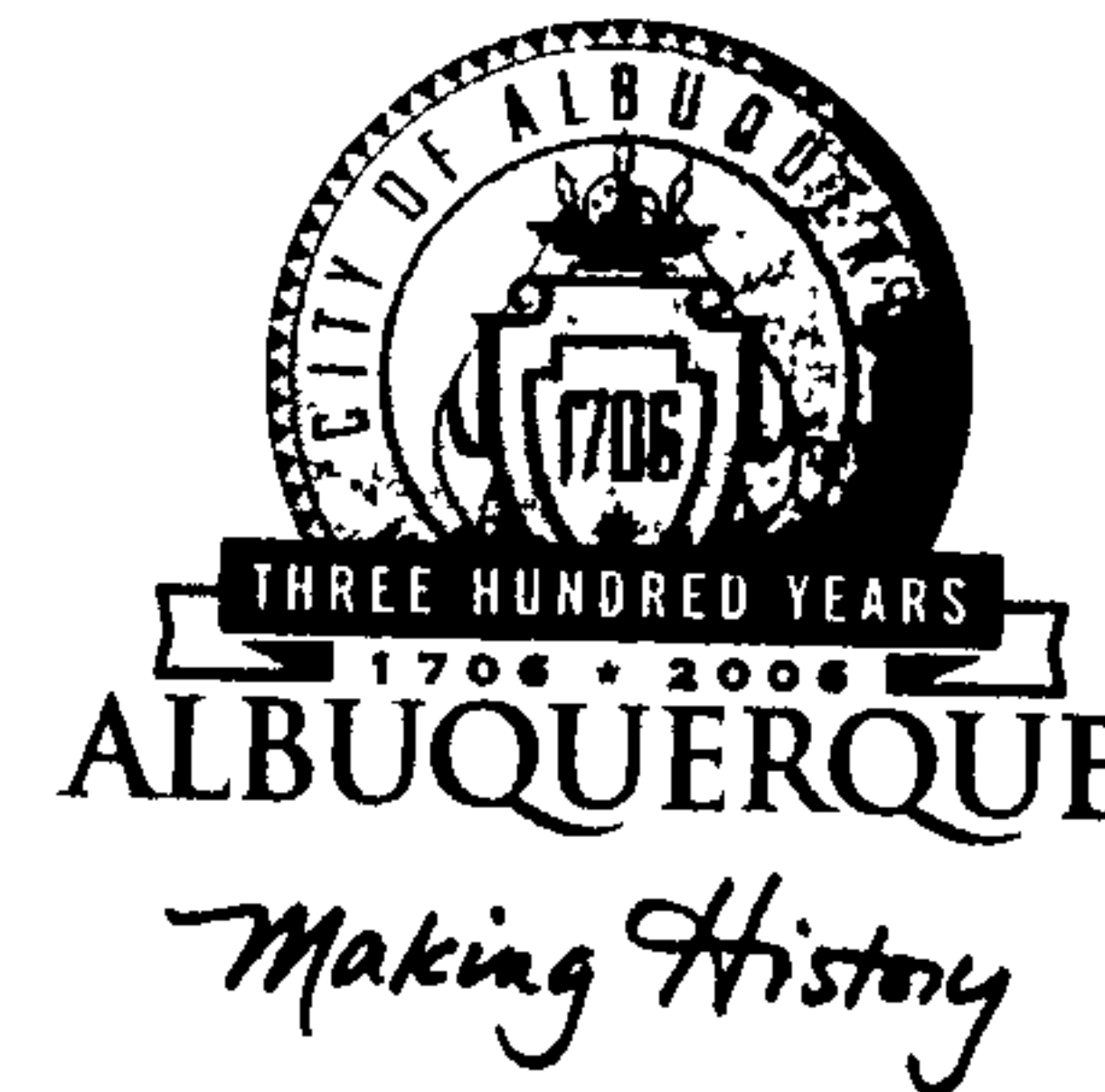
DATE: 09/20/05

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

APPROVED

# CITY OF ALBUQUERQUE



August 16, 2004

Bruce Stidworthy, P.E.  
Bohannon Huston, Inc.  
7500 Jefferson NE – Courtyard 1  
Albuquerque, NM 87109

**Re: Manzano Mesa Elementary School Phase 1, Temporary Certificate of Occupancy**

**Engineer's Stamp dated 5-12-03 (L21-D55)**

**Certification dated 8-16-04**

Dear Mr. Stidworthy,

P.O. Box 1293

Based upon the information provided in your submittal received 8-16-04, the above referenced certification is approved for release of 30-day temporary Certificate of Occupancy by Hydrology.

Albuquerque

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro  
Engineering Associate, Planning Dept.  
Development and Building Services

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

C: Phyllis Villanueva  
file





# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

May 20, 2003

Bruce Stidworthy, PE  
Bohannon Huston, Inc.  
7500 Jefferson NE- Courtyard 1  
Albuquerque, NM 87109

**RE: Manzano Mesa Elementary School Phase 2 Grading and Drainage Plan  
Engineer's Stamp Dated 5-12-03 (L21/D55)**

Dear Mr. Stidworthy:

The above referenced drainage report received 5-12-03 is approved for Building Permit. Please attach a copy of the approved plan to the construction set. Prior to Certificate of Occupancy approval, an Engineer's Certification per the Development Process Manual is required.

This project requires a National Pollutant Discharge Elimination System (NPDES) permit. Refer to the attachment that is provided with this letter for details. If you have any questions please feel free to call the Public Works Hydrology section at 768-3654 (Charles Caruso) or 768-3645 (Brian Wolfe).

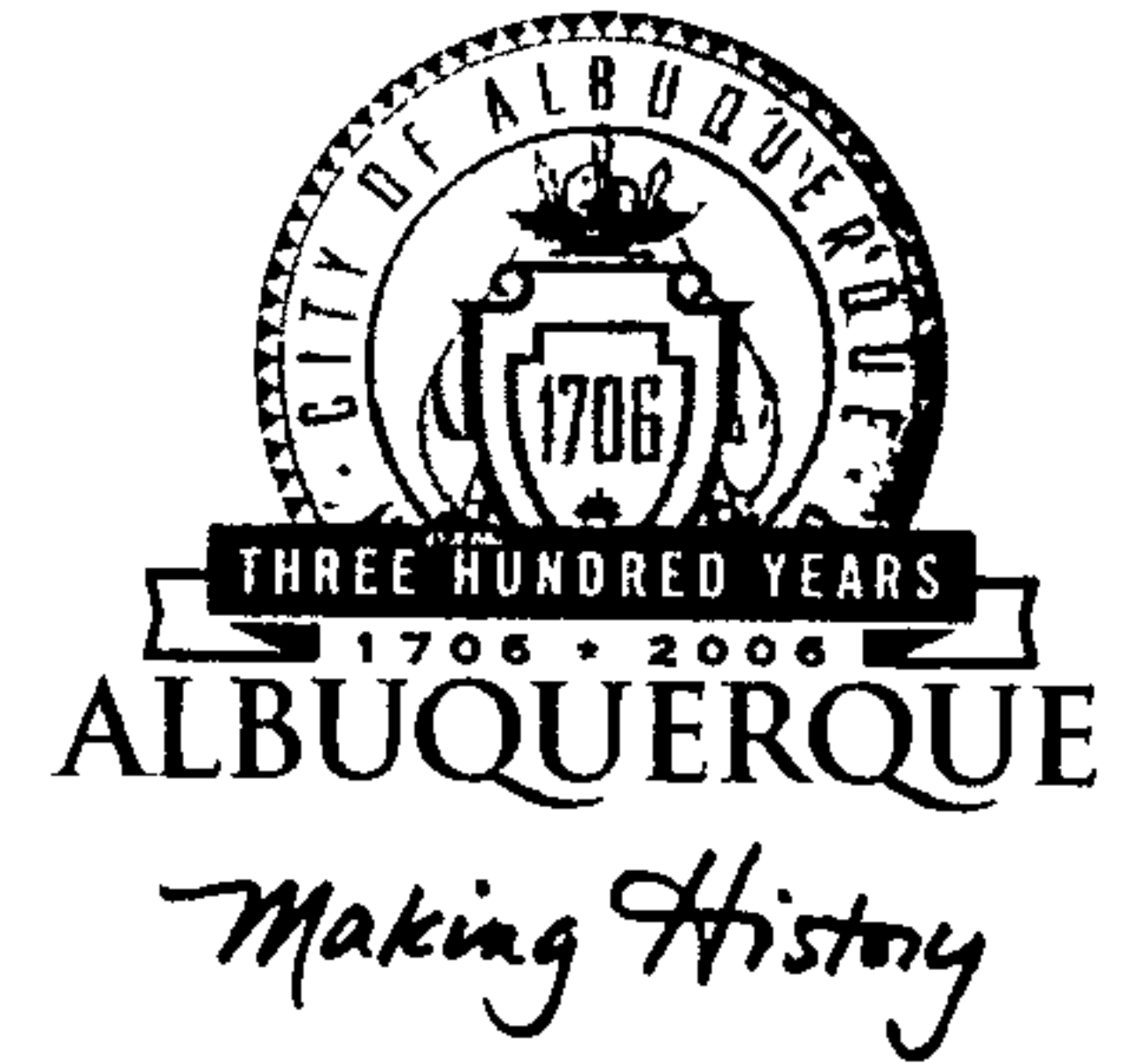
If you have any questions please call me at 924-3986.

Sincerely,

Bradley L. Bingham, PE  
Sr. Engineer, Planning Dept.  
Development and Building Services

C: Charles Caruso, Public Works Hydrology  
File

# CITY OF ALBUQUERQUE



October 3, 2005

Bruce J. Stidworthy, P.E.  
Bohannon Huston, Inc.  
7500 Jefferson NE – Courtyard 1  
Albuquerque, NM 87109

**Re: Manzano Mesa Elementary School Ph. 2, 801 Elizabeth St. SE  
Grading and Drainage Plan - Engineer's Stamp dated 9-19-05 (L21-D55)**

Dear Mr. Stidworthy,

Based upon the information provided in your submittal dated 9-21-05, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. Prior to release of the Certificate of Occupancy an Engineer's Certification of the grading plan per the DPM checklist will be required.

Additionally, this project requires a National Pollutant Discharge Elimination System (NPDES) permit. Refer to the attachment that is provided with this letter for details. If you have any questions please feel free to call the Municipal Development Department, Hydrology section at 768-3654 (Charles Caruso).

If you have any questions, you can contact me at 924-3990.

Sincerely,

Phillip J. Lovato, E.I., C.F.M.  
Engineering Associate, Hydrology,  
Development and Building Services,  
Planning Department

cc: file  
Charles Caruso, DMD

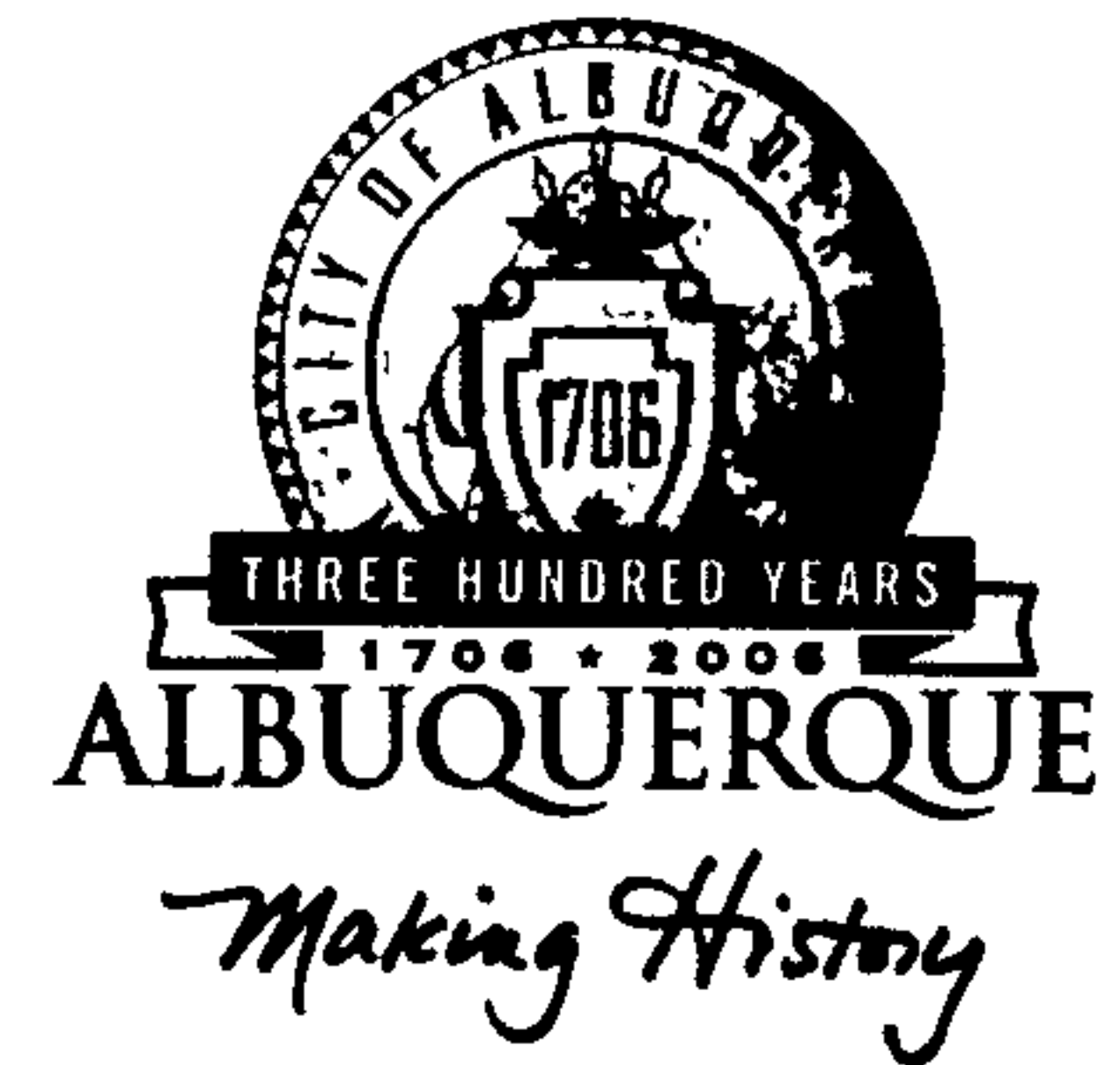
P.O. Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

# CITY OF ALBUQUERQUE



April 11, 2005

Bruce Stidworthy, P.E.  
Bohannon Huston, Inc.  
7500 Jefferson NE – Courtyard 1  
Albuquerque, NM 87109

**Re: Manzano Mesa Elementary School Phase 2, 801 Elizabeth Street SE,  
Grading and Drainage Plan  
Engineer's Stamp dated 4-04-05 (L21-D55)**

Dear Mr. Stidworthy,

Based upon the information provided in your submittal received 4-04-05, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

P.O. Box 1293  
Albuquerque

This project requires a National Pollutant Discharge Elimination System (NPDES) permit. If you have any questions regarding this permit please feel free to call the DMD Storm Drainage Design section at 768-3654 (Charles Caruso)

New Mexico 87103

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro  
Engineering Associate, Planning Dept  
Development and Building Services

[www.cabq.gov](http://www.cabq.gov)

C: Charles Caruso, DMD Storm Drainage Design  
File



# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

April 21, 2003

Bruce Stidworthy, PE  
Bohannon Huston, Inc.  
7500 Jefferson NE  
Albuquerque, NM 87109

**Re: Manzano Mesa Elementary School Grading and Drainage Plan**  
**Engineer's Stamp dated 11-12-01 (L21/D55)**

Dear Mr. Stidworthy,

Based upon the information provided in your submittal dated 3-14-03, the above referenced plan cannot be approved for Building Permit until the following comments are addressed.

- Have any conditions changed in the elapsed time that the plan was first prepared? Please provide an as-built of Elizabeth St.
- Connections to the public storm drain will require an SO#19 Permit. Please add the appropriate notes and signature block on the grading plan.
- Please show the public easement and existing rim elevations. As you are aware, there can be no ponding in a public easement.
- Is this site receiving any runoff from offsite basins or from Arches St?

If you have any questions, you can contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE  
Sr. Engineer, Planning Dept.  
Development and Building Services

C: file





# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

May 20, 2003

Bruce Stidworthy, PE  
Bohannon Huston, Inc.  
7500 Jefferson NE- Courtyard 1  
Albuquerque, NM 87109

**RE: Manzano Mesa Elementary School Phase 1 Grading and Drainage Plan  
Engineer's Stamp Dated 5-12-03 (L21/D55)**

Dear Mr. Stidworthy:

The above referenced drainage report received 5-12-03 is approved for Building Permit. Please attach a copy of the approved plan to the construction set. Prior to Certificate of Occupancy approval, an Engineer's Certification per the Development Process Manual is required.

This project requires a National Pollutant Discharge Elimination System (NPDES) permit. Refer to the attachment that is provided with this letter for details. If you have any questions please feel free to call the Public Works Hydrology section at 768-3654 (Charles Caruso) or 768-3645 (Brian Wolfe).

If you have any questions please call me at 924-3986.

Sincerely,

Bradley L. Bingham, PE  
Sr. Engineer, Planning Dept.  
Development and Building Services

C: Charles Caruso, Public Works Hydrology  
File