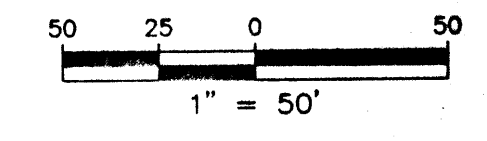
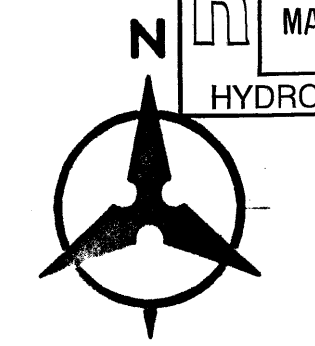


PRELIMINARY PLAT FOR
TERRACITA SUBDIVISION
TRACT B-5 OF MANZANO MESA
ALBUQUERQUE NEW MEXICO
MARCH 2003

RECEIVED
MAR 28 2003
HYDROLOGY SECTION



LEGAL DESCRIPTION

TRACT B-5 OF MANZANO MESA

GENERAL NOTES

- EXISTING ZONING: SU-1
PROPOSED DEVELOPMENT: R-T
- PROPOSED NET ACREAGE: 12.5 ACRES
NUMBER OF LOTS: 88 D.U.
PROPOSED DENSITY: 7.0 D.U./ACRE
- TYPICAL LOT DIMENSIONS: 40'x100' MIN.
TYPICAL LOT AREA: 4000 SQ. FT.
- PRIVATE ACCESS: THIS SUBDIVISION IS PLANNED TO BE A GATED COMMUNITY. ALL ROADS WITHIN THE DEVELOPMENT EXIST WITHIN TRACT "A". PRIVATE ACCESS, PUBLIC DRAINAGE, WATER, AND SANITARY SEWER EASEMENT ON TRACT "A".
- HOMEOWNERS ASSOCIATION: THIS SUBDIVISION WILL HAVE A HOMEOWNERS ASSOCIATION. THE HOMEOWNERS ASSOCIATION WILL OWN TRACT "A" AND BE RESPONSIBLE FOR MAINTENANCE INCLUDING STREET AND LANDSCAPE IMPROVEMENTS.
- LOT SETBACKS SHALL CONFORM TO R-T ZONING REQUIREMENTS
- NO INDIVIDUAL LOTS SHALL BE ALLOWED DIRECT ACCESS TO SOUTHERN BLVD. OR JUAN TABO BLVD.

SITE DATA

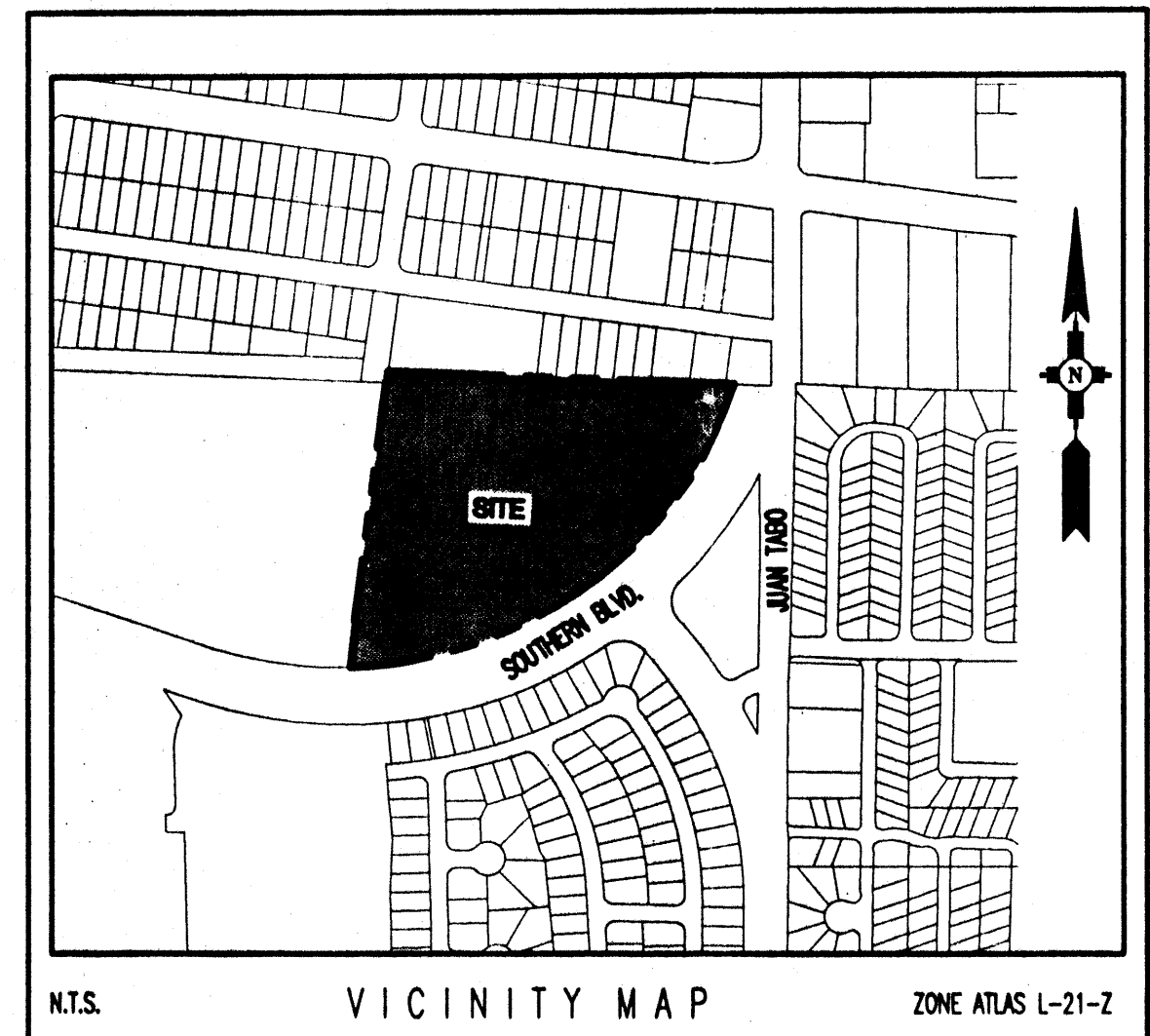
ZONE ATLAS NO.	L-21-Z
ZONING	R-T
MILES OF FULL WIDTH STREETS CREATED	0.46 MILES
NO. OF EXISTING PARCELS	1
NO. OF LOTS CREATED	88
DENSITY	7.0

SURVEY NOTES

- ALL BOUNDARY CORNERS SHOWN (●) ARE FOUND REBAR W/CAP.
- ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE P.C.'S, P.T.S, ANGLE POINTS, AND STREET INTERSECTIONS AND SHOWN THUS (▲) AND WILL BE MARKED BY (4") ALUMINUM CAP STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION MARKED, DO NOT DISTURB PLS 6544".
- THE SUBDIVISION BOUNDARY WILL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
- BASIS OF BEARINGS WILL BE NEW MEXICO STATE PLANE BEARINGS.
- DISTANCES SHALL BE GROUND DISTANCES.
- MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, TANGENCY STREET INTERSECTIONS, AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.

LEGEND

- SUBDIVISION BOUNDARY LINE
- - - EXISTING SUBDIVISION BOUNDARY
- NEW LOT LINE
- ADJOINING PROPERTY LINE
- ▲ CENTERLINE MONUMENT TO BE INSTALLED
- △ CITY OF ALBUQUERQUE SURVEY CONTROL MONUMENT

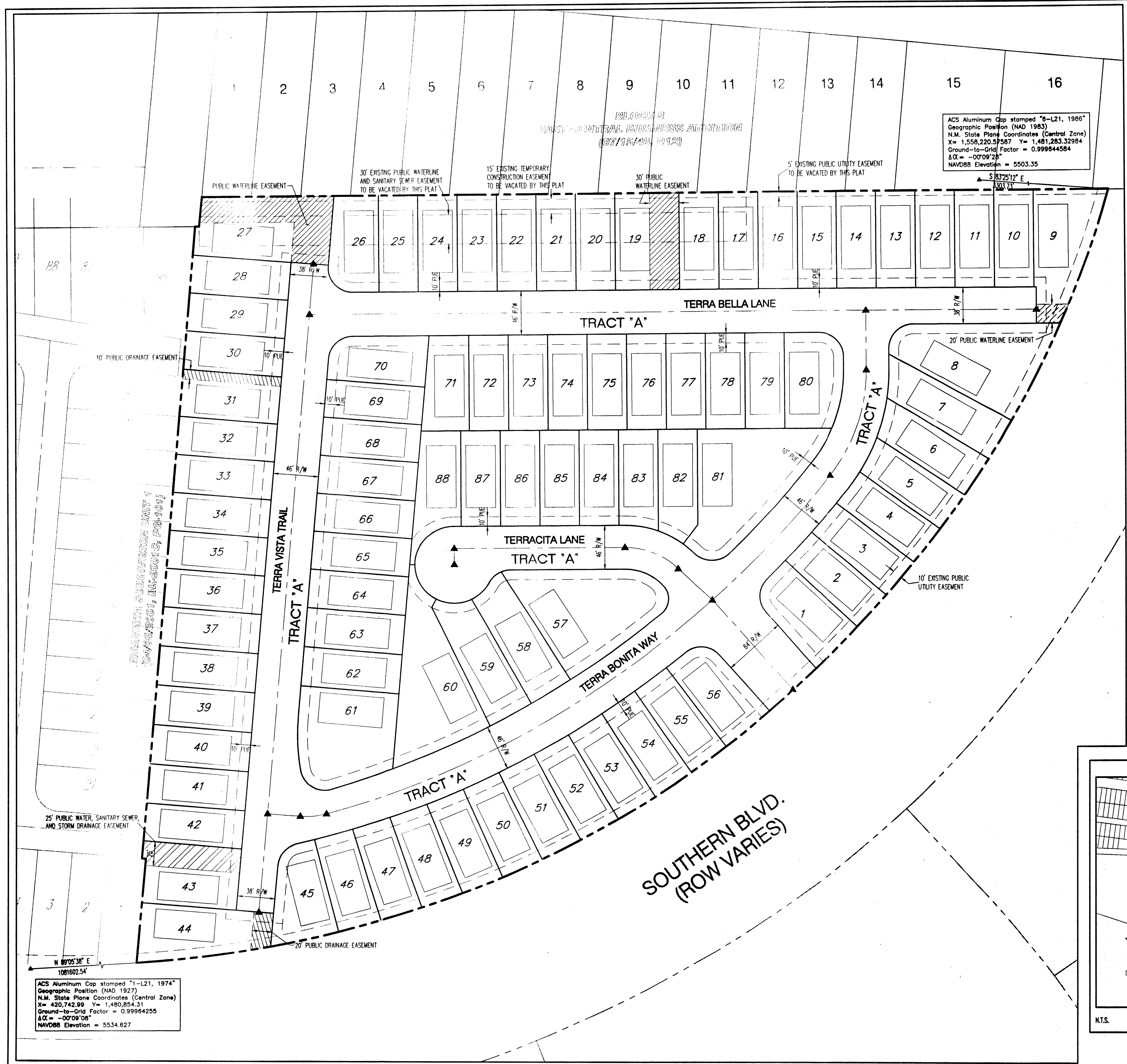


APPROVED FOR MONUMENTATION AND STREET NAMES

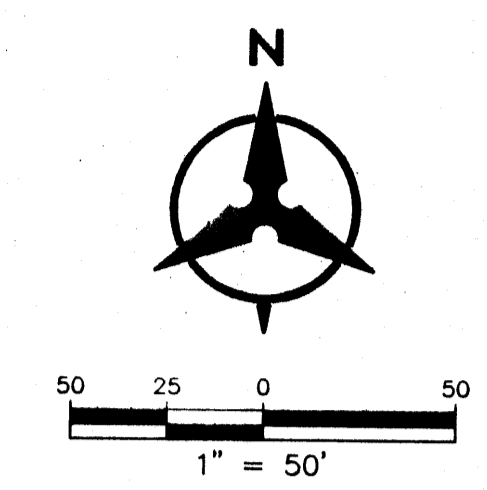
[Signature] 3-27-03
CITY SURVEYOR DATE

[Signature] 3/27/03
NORMAN A. GREGORY DATE
LAND ACQUISITION MANAGER, CENTEX HOMES

Bohannon & Huston
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES
Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4396



PRELIMINARY PLAT FOR
TERRACITA SUBDIVISION
TRACT B-5 OF MANZANO MESA
ALBUQUERQUE NEW MEXICO
MAY 2003



LEGAL DESCRIPTION

TRACT B-5 OF MANZANO MESA

GENERAL NOTES

- EXISTING ZONING: SU-1
PROPOSED DEVELOPMENT: R-T
- PROPOSED NET ACREAGE: 12.5 ACRES
NUMBER OF LOTS: 90 D.U.
PROPOSED DENSITY: 7.2 D.U./ACRE
- TYPICAL LOT DIMENSIONS: 40'x100' MIN.
TYPICAL LOT AREA: 4000 SQ. FT.
- PRIVATE ACCESS: THIS SUBDIVISION IS PLANNED TO BE A GATED COMMUNITY. ALL ROADS WITHIN THE DEVELOPMENT EXIST WITHIN TRACT "A". PRIVATE ACCESS, PUBLIC DRAINAGE, WATER, AND SANITARY SEWER EASEMENT ON TRACT "A".
- HOMEOWNERS ASSOCIATION: THIS SUBDIVISION WILL HAVE A HOMEOWNERS ASSOCIATION. THE HOMEOWNERS ASSOCIATION WILL OWN TRACT "A", "B", AND "C" AND BE RESPONSIBLE FOR MAINTENANCE INCLUDING STREET AND LANDSCAPE IMPROVEMENTS.
- TRACT "B" AND TRACT "C" ARE OPEN SPACE TRACTS ENCUMBERED BY PRIVATE PEDESTRIAN ACCESS EASEMENTS
- LOT SETBACKS SHALL CONFORM TO R-T ZONING REQUIREMENTS
- NO INDIVIDUAL LOTS SHALL BE ALLOWED DIRECT ACCESS TO SOUTHERN BLVD. OR JUAN TABO BLVD.

SITE DATA

ZONE ATLAS NO.	L-21-Z
ZONING	R-T
MILES OF FULL WIDTH STREETS CREATED	0.45 MILES
NO. OF EXISTING PARCELS	1
NO. OF LOTS CREATED	90
DENSITY	7.2

SURVEY NOTES:

- ALL BOUNDARY CORNERS SHOWN (●) ARE FOUND REBAR W/CAP.
- ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE P.C.'S, P.T.S, ANGLE POINTS, AND STREET INTERSECTIONS AND SHOWN THIS (▲) AND WILL BE MARKED BY (4") ALUMINUM CAP STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION MARKED, DO NOT DISTURB PLS 6544".
- THE SUBDIVISION BOUNDARY WILL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
- BASIS OF BEARINGS WILL BE NEW MEXICO STATE PLANE BEARINGS.
- DISTANCES SHALL BE GROUND DISTANCES.
- MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, TANGENCY STREET INTERSECTIONS, AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.

APPROVED FOR MONUMENTATION AND STREET NAMES

JLB 5-2-03
CITY SURVEYOR DATE

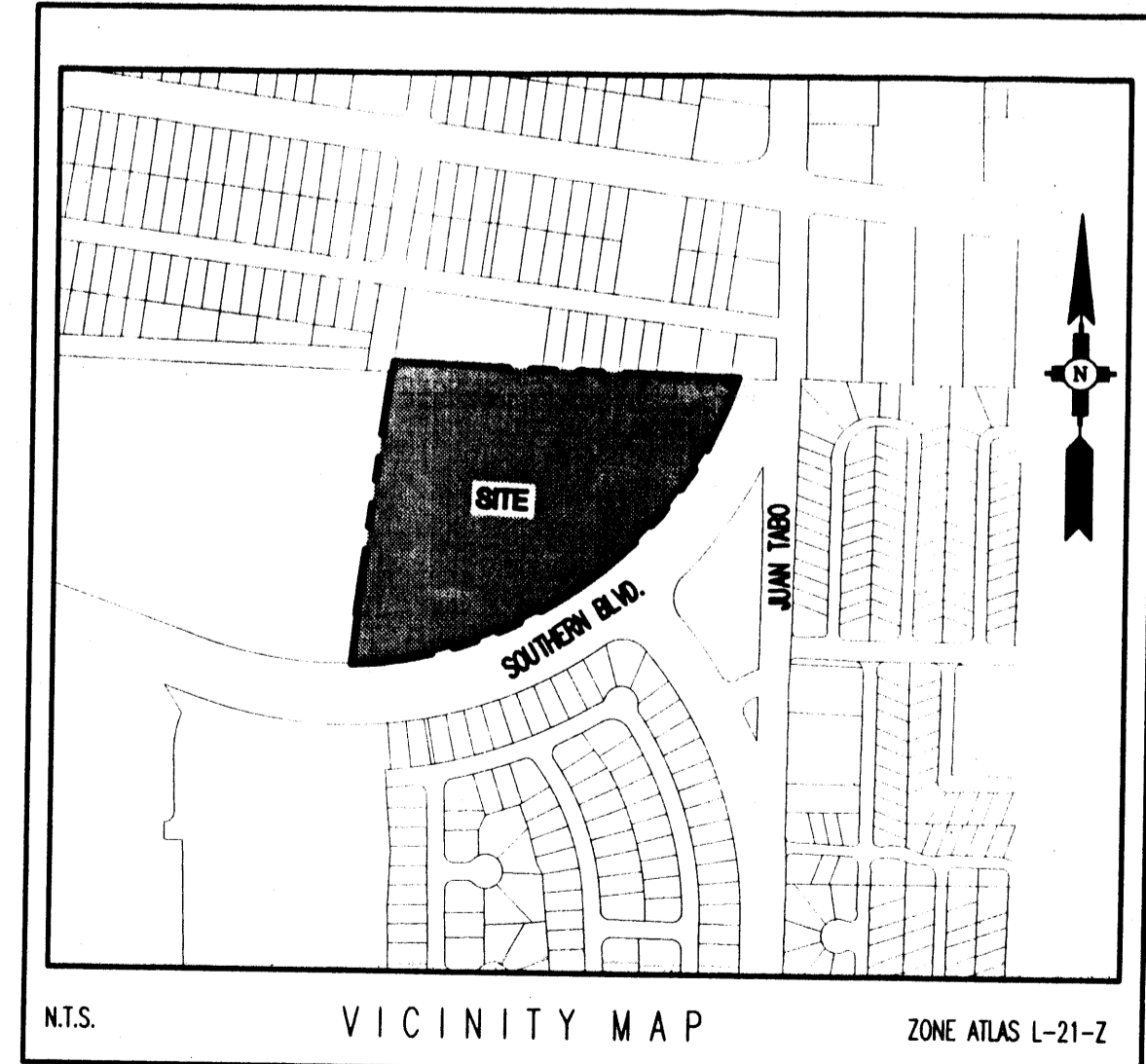
Norman A. Gregory 5/2/03
NORMAN A. GREGORY DATE
LAND ACQUISITION MANAGER, CENTEX HOMES

Bohannon & Huston

Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

LEGEND

- SUBDIVISION BOUNDARY LINE
- - - EXISTING SUBDIVISION BOUNDARY
- NEW LOT LINE
- - - ADJOINING PROPERTY LINE
- ▲ CENTERLINE MONUMENT TO BE INSTALLED
- △ CITY OF ALBUQUERQUE SURVEY CONTROL MONUMENT

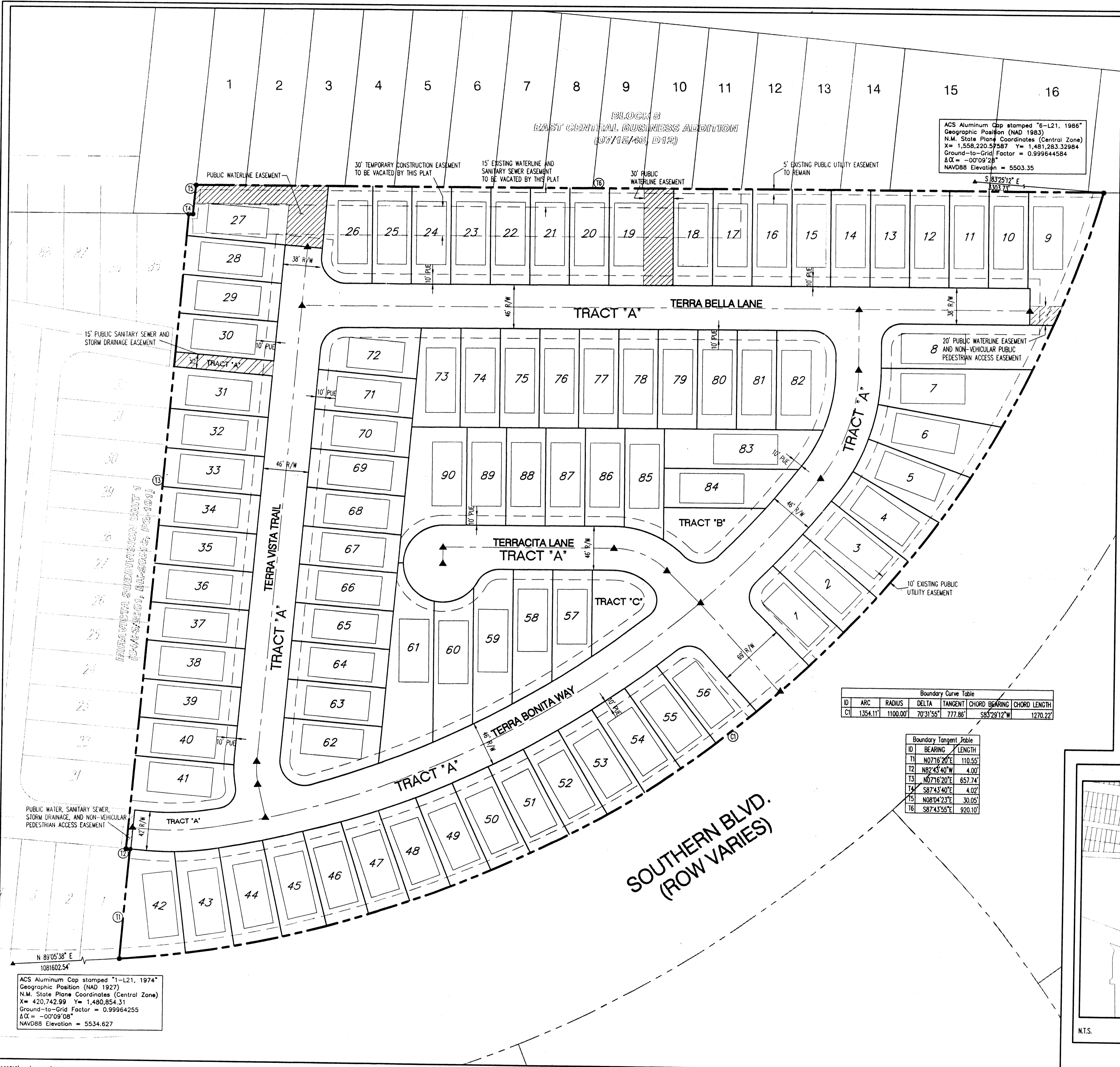


Boundary Curve Table

ID	ARC	RADIUS	DELTA	TANGENT	CHORD BEARING	CHORD LENGTH
C1	1354.11'	1100.00'	70°31'55"	777.86'	S85°29'12"W	1270.22'

Boundary Tangent Table

ID	BEARING	LENGTH
T1	N07°16'20"E	110.55'
T2	N82°43'40"W	4.00'
T3	N07°16'20"E	657.74'
T4	S87°43'40"E	4.02'
T5	N08°04'23"E	30.05'
T6	S87°43'55"E	920.10'

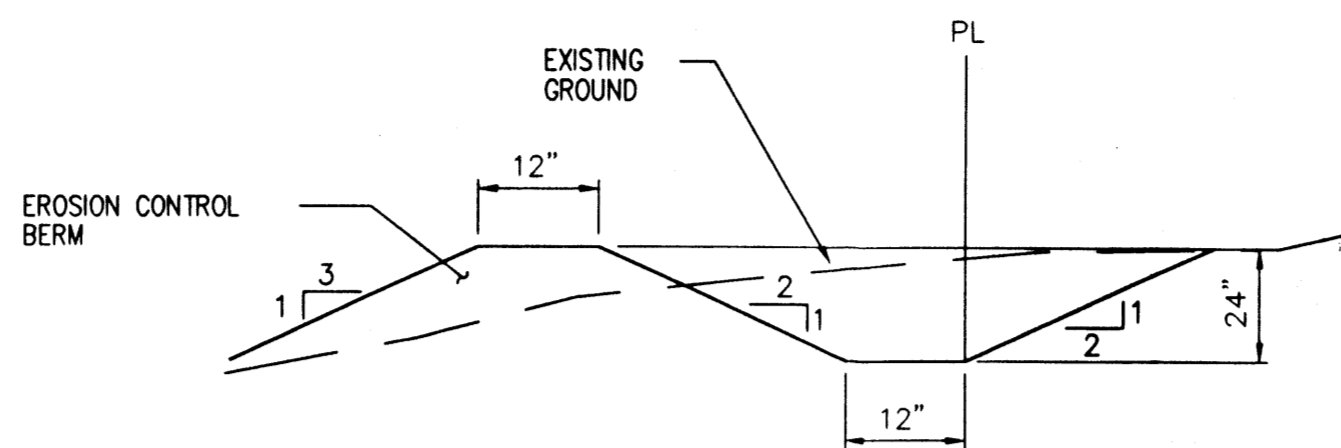
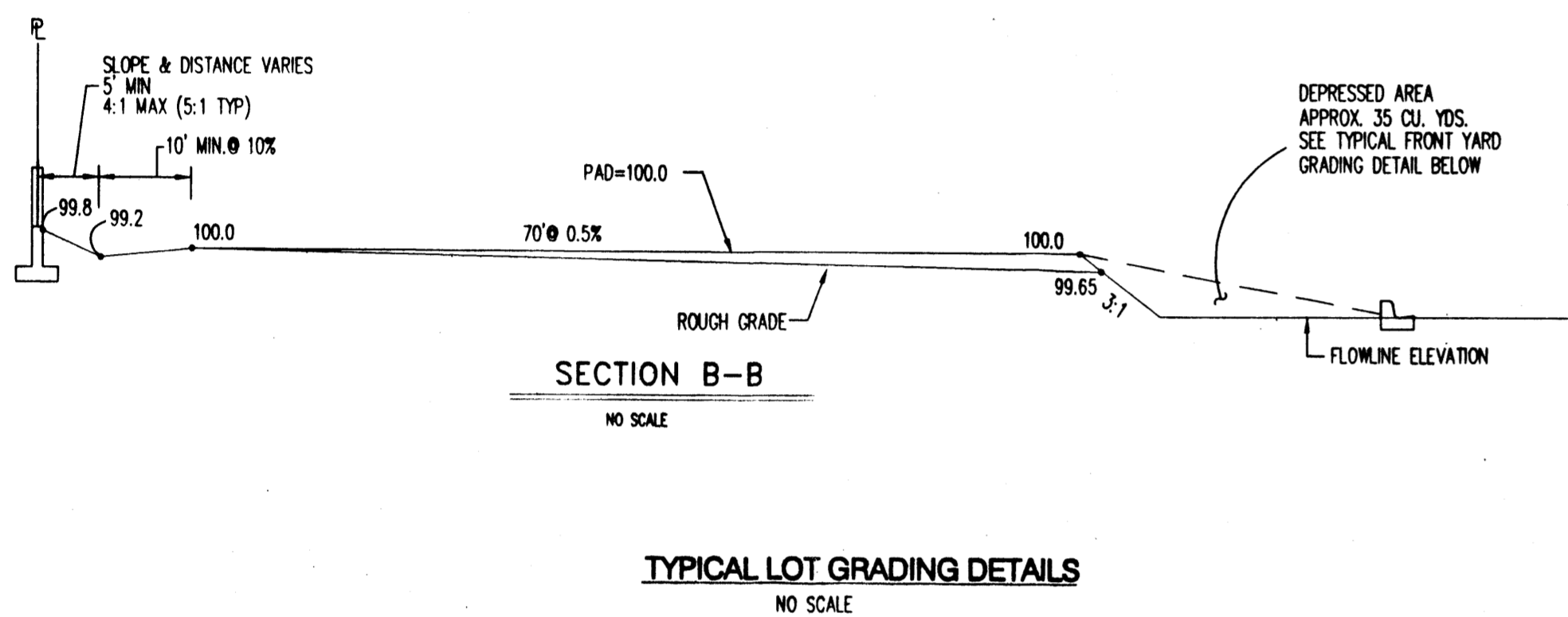
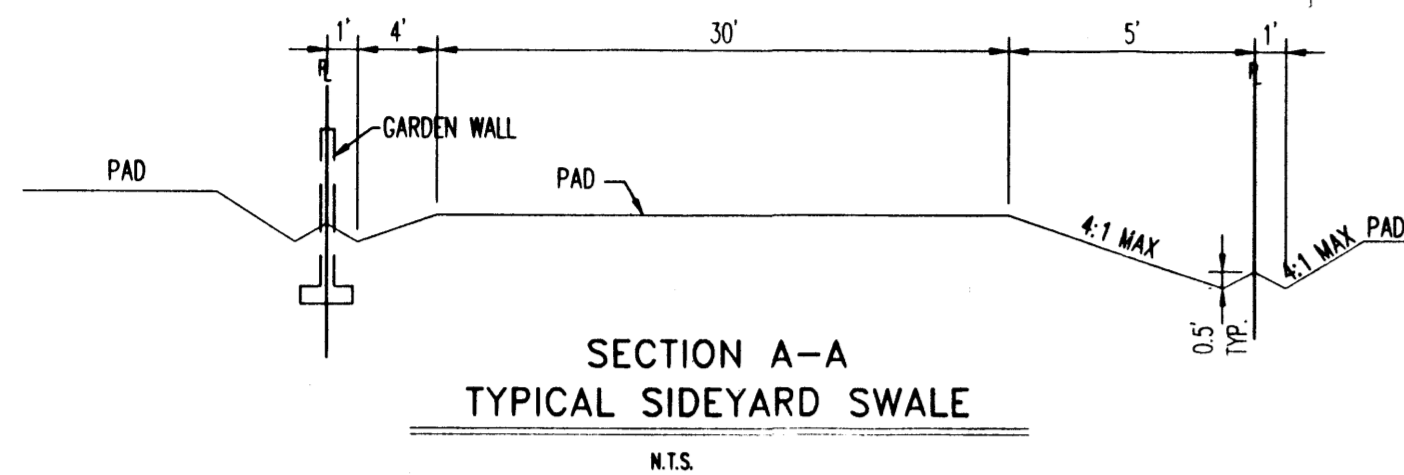


ACS Aluminum Cap stamped "1-L21, 1974"
Geographic Position (NAD 1927)
N.M. State Plane Coordinates (Central Zone)
X= 420,742.99 Y= 1,480,854.31
Ground-to-Grid Factor = 0.99964255
ΔC = -0°09'08"
NAVD88 Elevation = 5534.627

ACS Aluminum Cap stamped "6-L21, 1986"
Geographic Position (NAD 1983)
N.M. State Plane Coordinates (Central Zone)
X= 1,558,220.57587 Y= 1,481,283.32984
Ground-to-Grid Factor = 0.999644584
ΔC = -0°09'28"
NAVD88 Elevation = 5503.35

NOTE:

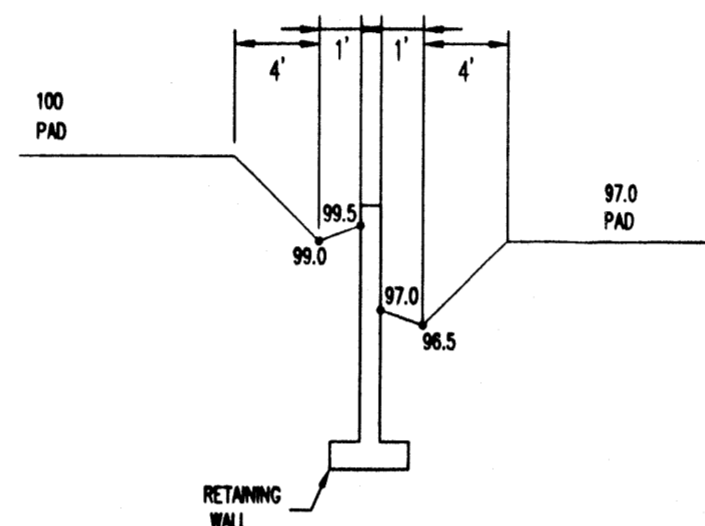
- CONTRACTOR IS TO MASS GRADE ROADS TO 2' BEYOND FUTURE CURB. EXCESS FROM DRY UTILITY TRENCH IS TO BE USED TO BACK FILL BEHIND CURB.
- FRONT YARD ARE TO BE GRADED AS SHOWN ON THIS DETAIL FOR FINAL GRADING AND CERTIFICATION THIS DETAIL TO BE COORDINATED WITH.
- HOME BUILDER TO BRING FRONT YARD TO ULTIMATE FRONT YARD GRADES AFTER HOME CONSTRUCTION IS COMPLETED. SEE ULTIMATE FRONT YARD GRADING DETAIL ON THIS SHEET.



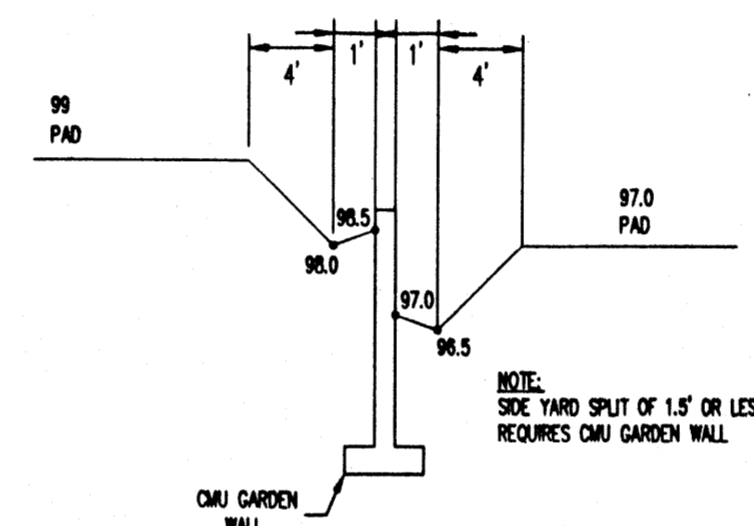
EROSION CONTROL BERM

- TO PREVENT EROSION FROM THE SITE, DURING GRADING & CONSTRUCTION OPERATIONS, A BERM OF THE ABOVE DIMENSIONS SHALL BE MAINTAINED ON THE WEST WEST BOUNDARY OF THE SITE.
- WIND EROSION SHALL BE PREVENTED BY MAINTAINING AN ADEQUATELY MOISTENED SITE.
- AFTER CONSTRUCTION ALL SURFACES WILL BE PAVED OR LANDSCAPED TO PREVENT EROSION.
- CONTRACTOR MUST OBTAIN A TOP SOIL DISTURBANCE PERMIT FROM ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION

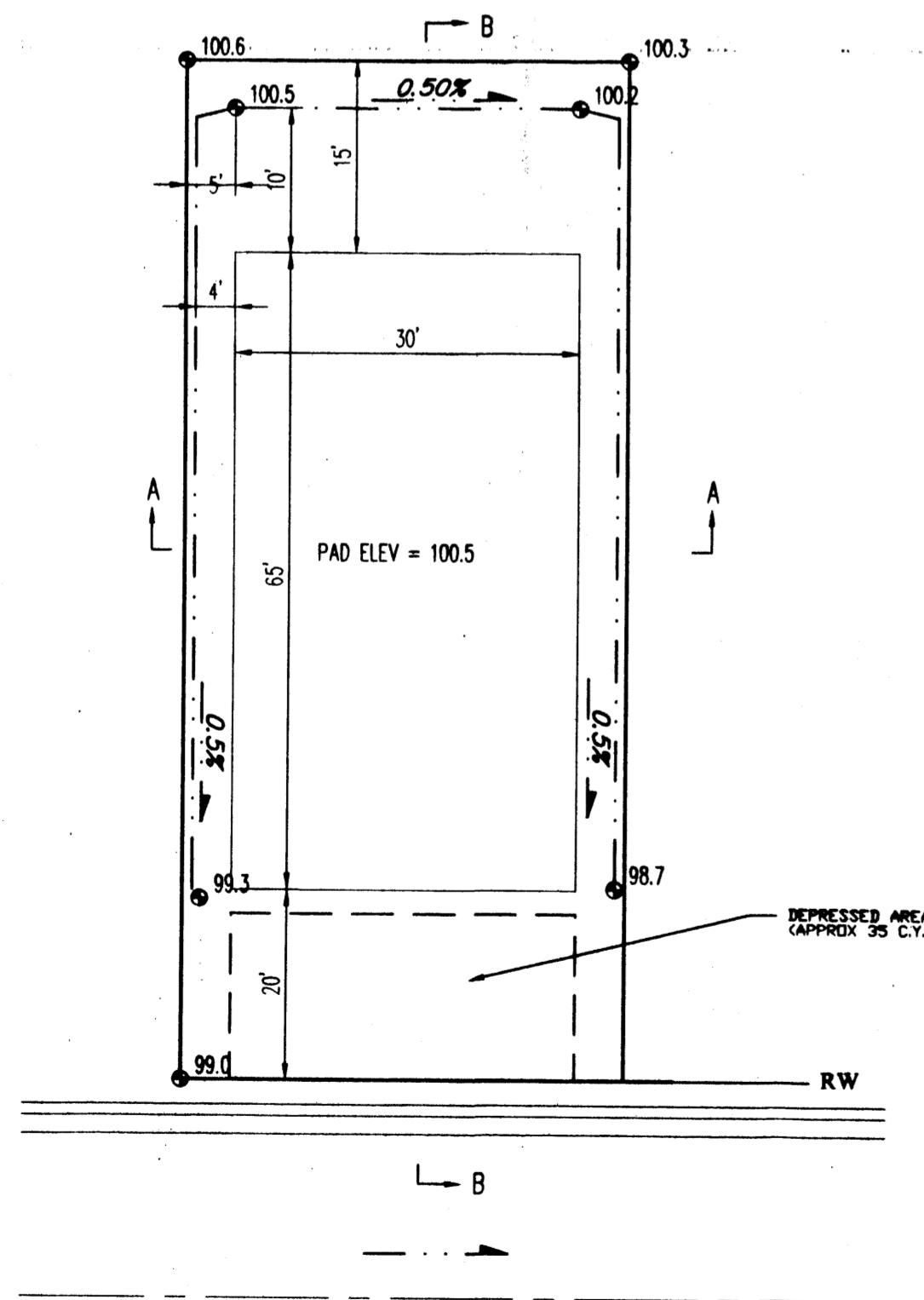
EROSION CONTROL PLAN
NO SCALE



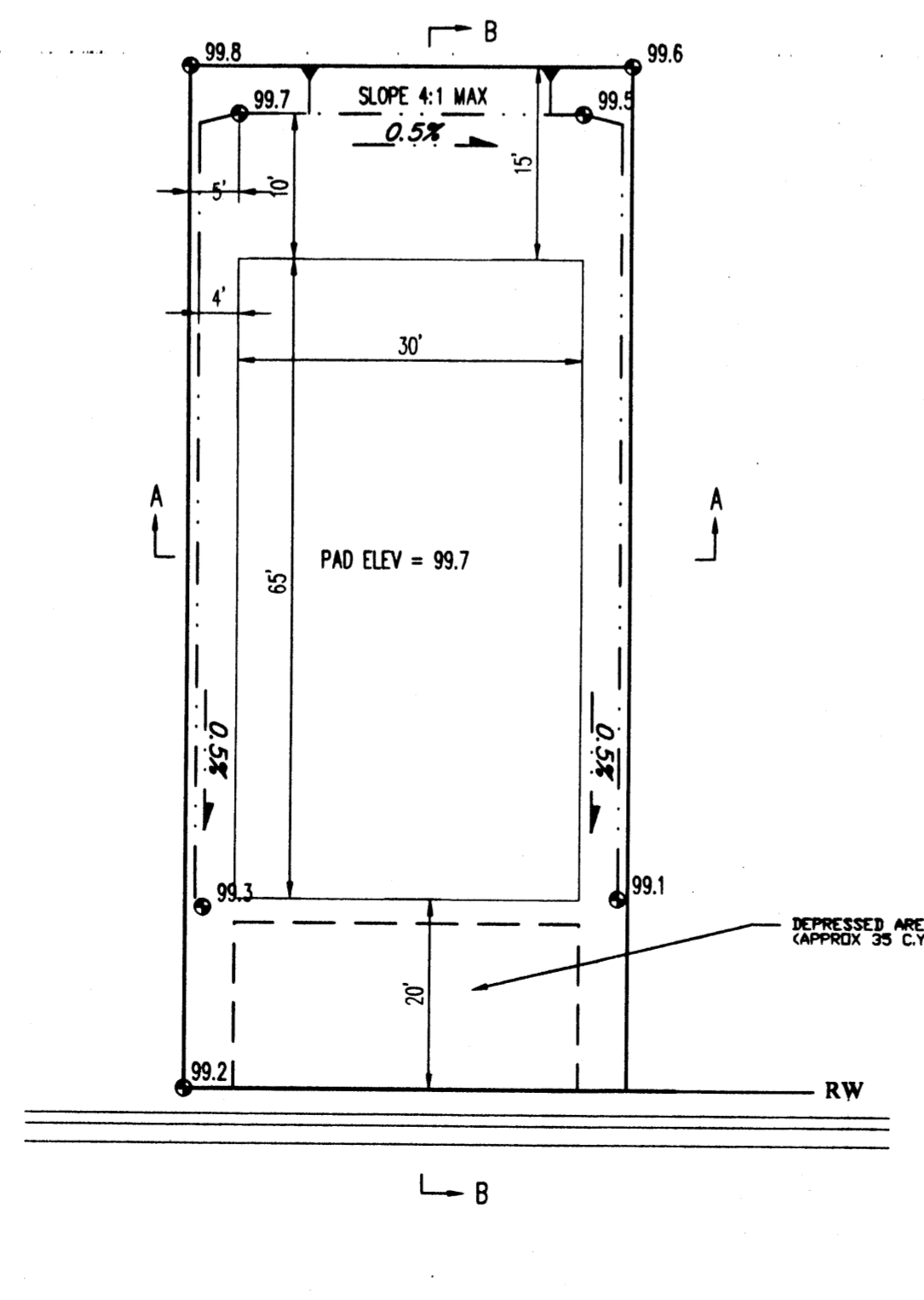
SIDE YARD RETAINING WALL DETAIL
N.T.S.



SIDE YARD GARDEN WALL DETAIL
N.T.S.



TYPICAL HIGH SIDE LOT GRADE DETAIL



TYPICAL LOW SIDE LOT GRADE DETAIL

AS-BUILT INFORMATION	
CONTRACTOR	DATE
BOHANNAN HUSTON	2/19/03
DESIGNED BY	DATE
DRAWN BY	DATE
CHECKED BY	DATE
APPROVED BY	DATE
MICRO-FILM INFORMATION	
RECORDED BY	DATE
NO.	

SURVEY INFORMATION	
FIELD NOTES	
NO.	DATE
1	2/19/03
2	2/19/03
3	2/19/03
4	2/19/03
5	2/19/03
6	2/19/03
7	2/19/03
8	2/19/03
9	2/19/03
10	2/19/03

ENGINEER'S SEAL

No.	Date	By	REVISIONS
1	03/03	NL	DESIGN
2	03/03	DH	
3	03/03	NL	

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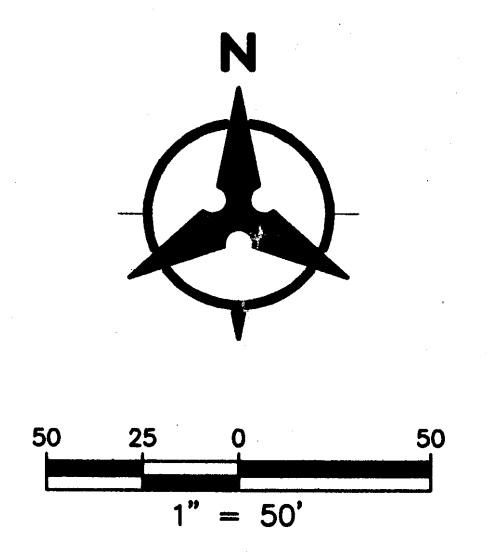
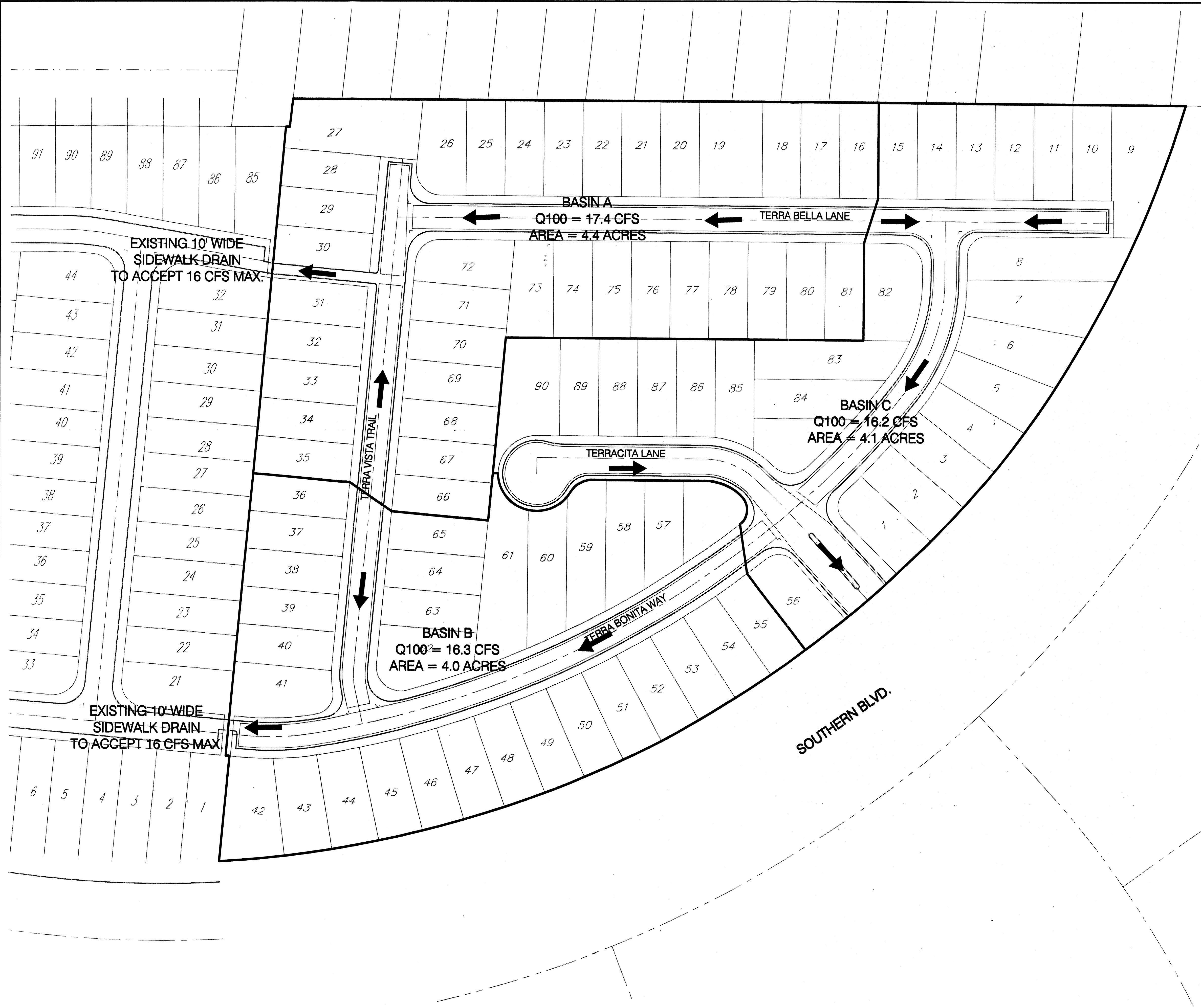
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TERRACITA SUBDIVISION
 GRADING DETAILS

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.

P:\01273\cd\TerraCita\General\CP02.dwg
 March 28, 2003 - 10:16am

TERRACITA SUBDIVISION BASIN MAP

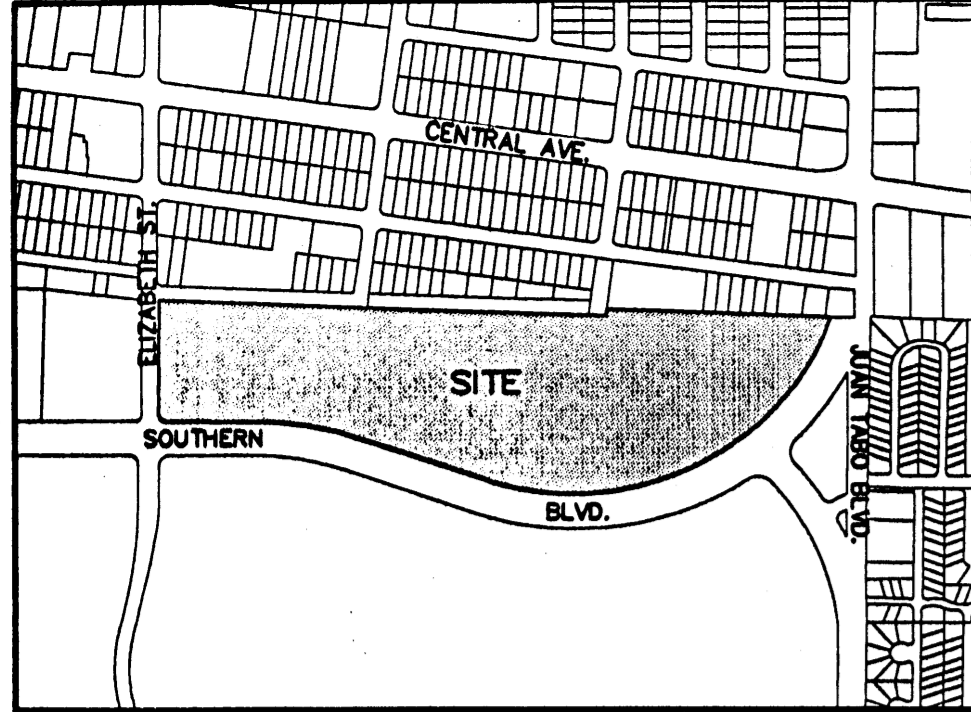


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MAY 05 2003
HYDROLOGY SECTION

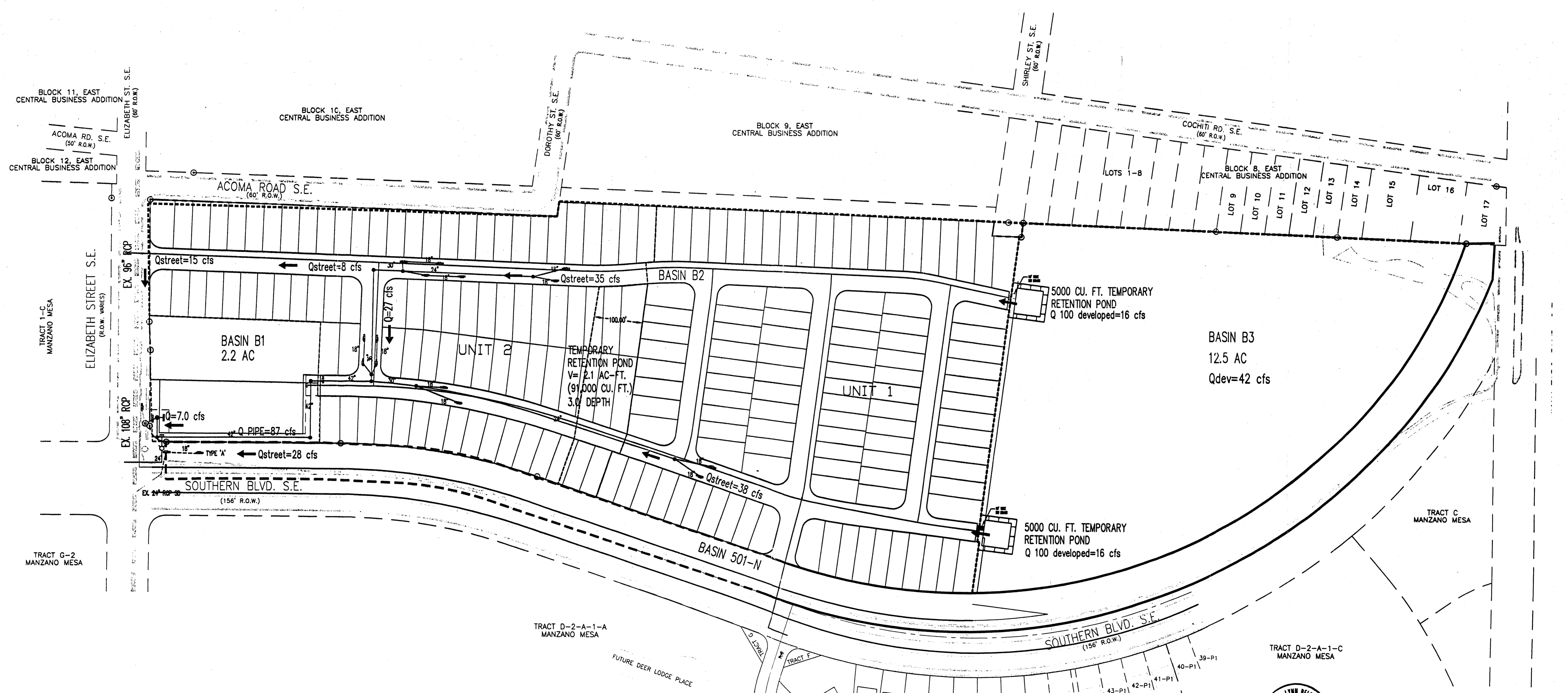
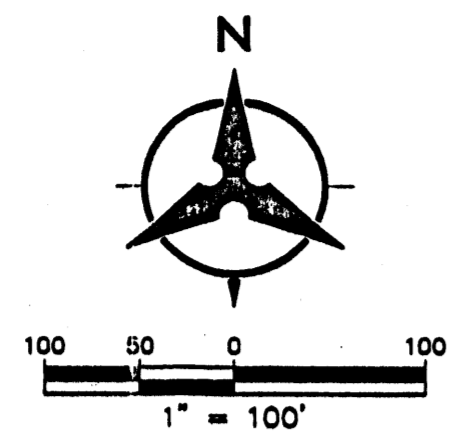


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 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

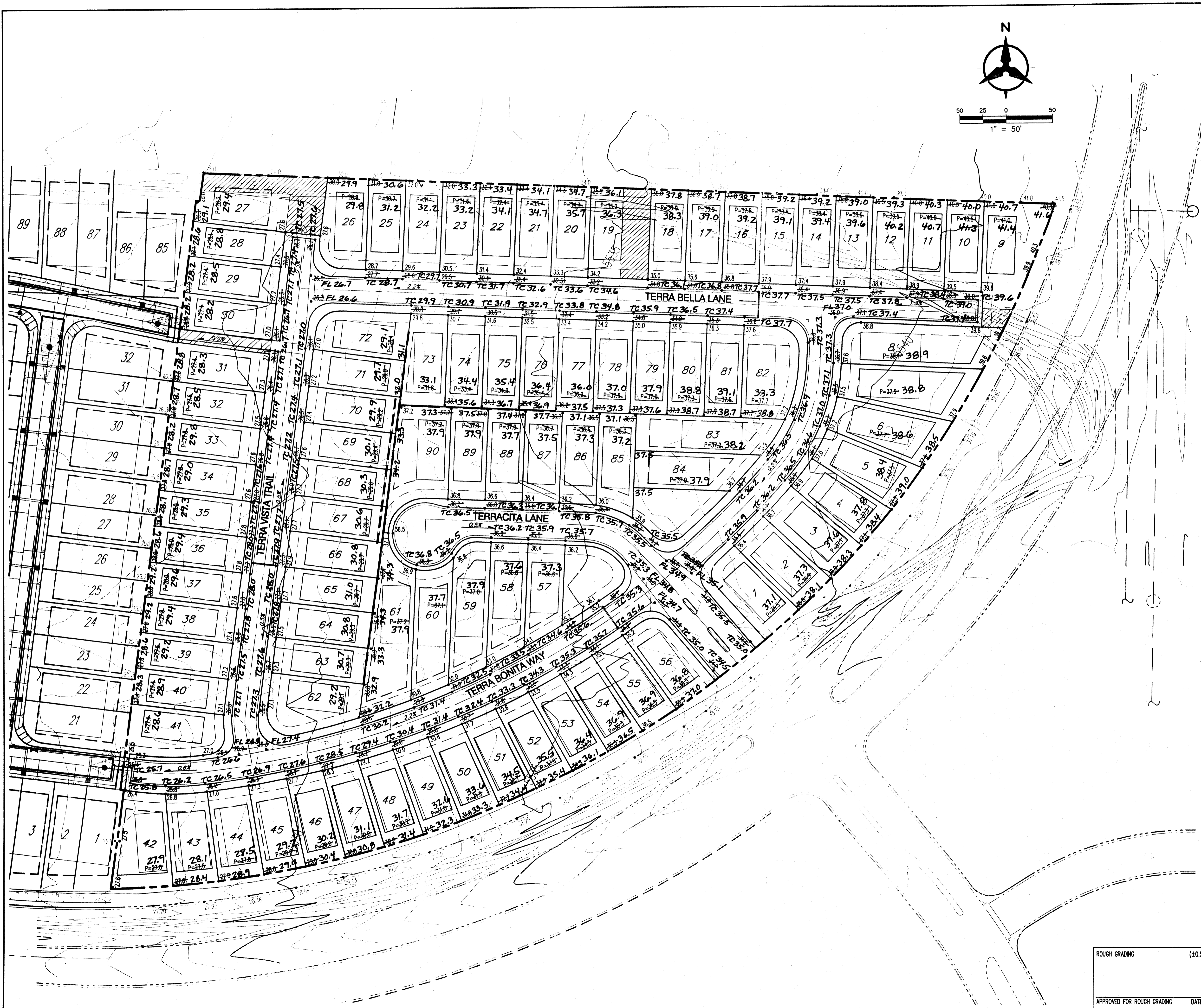
BASIN MAP FOR
 MIRAVISTA SUBDIVISION UNITS 1 & 2
 ALBUQUERQUE, NEW MEXICO
 FEBRUARY 02, 2001
 CURRENTLY TRACT B
 MANZANO MESA



LOCATION MAP
 ZONE ATLAS MAP NO. L-21
 NOT TO SCALE



Bohannon & Huston
 Courtyard One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109
 ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS



- GENERAL NOTES**
- CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
 - THE CONTRACTOR IS TO REFER TO EARTHWORK SPECIFICATIONS AS NOTED IN THE SOILS REPORT.
 - THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES & REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARATION AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
 - THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AS PER DETAIL, SHEET 38, AND NETTING THE SOIL TO KEEP IT FROM BLOWING.
 - ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED.
 - BUILDINGS GREATER THAN 3 FEET IN DIAMETER EXCAVATED DURING GRADING ACTIVITIES SHALL BE STOCKPILED AND DISPOSED OF AT THE DISCRETION OF THE OWNER.
 - ALL WALLS SHOWN ARE TO BE PLACED ALONG PROPERTY LINE. WALLS ARE SHOWN OFF-SET FOR VISUAL PURPOSE ONLY.

DRAINAGE CERTIFICATION

I, RICHARD L. BELTRAMO, NMPE 10596, OF THE FIRM BOHANNAN HUSTON INC., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 5/02/03. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY RUSS P. HUGG, NMPS 9750, OF THE FIRM SURV-TEK, INC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 1/29/04 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR FINANCIAL GUARANTY RELEASE.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Richard L. Beltramo
 RICHARD L. BELTRAMO, NMPE 10596
 DATE: JANUARY 29, 2004



LEGEND

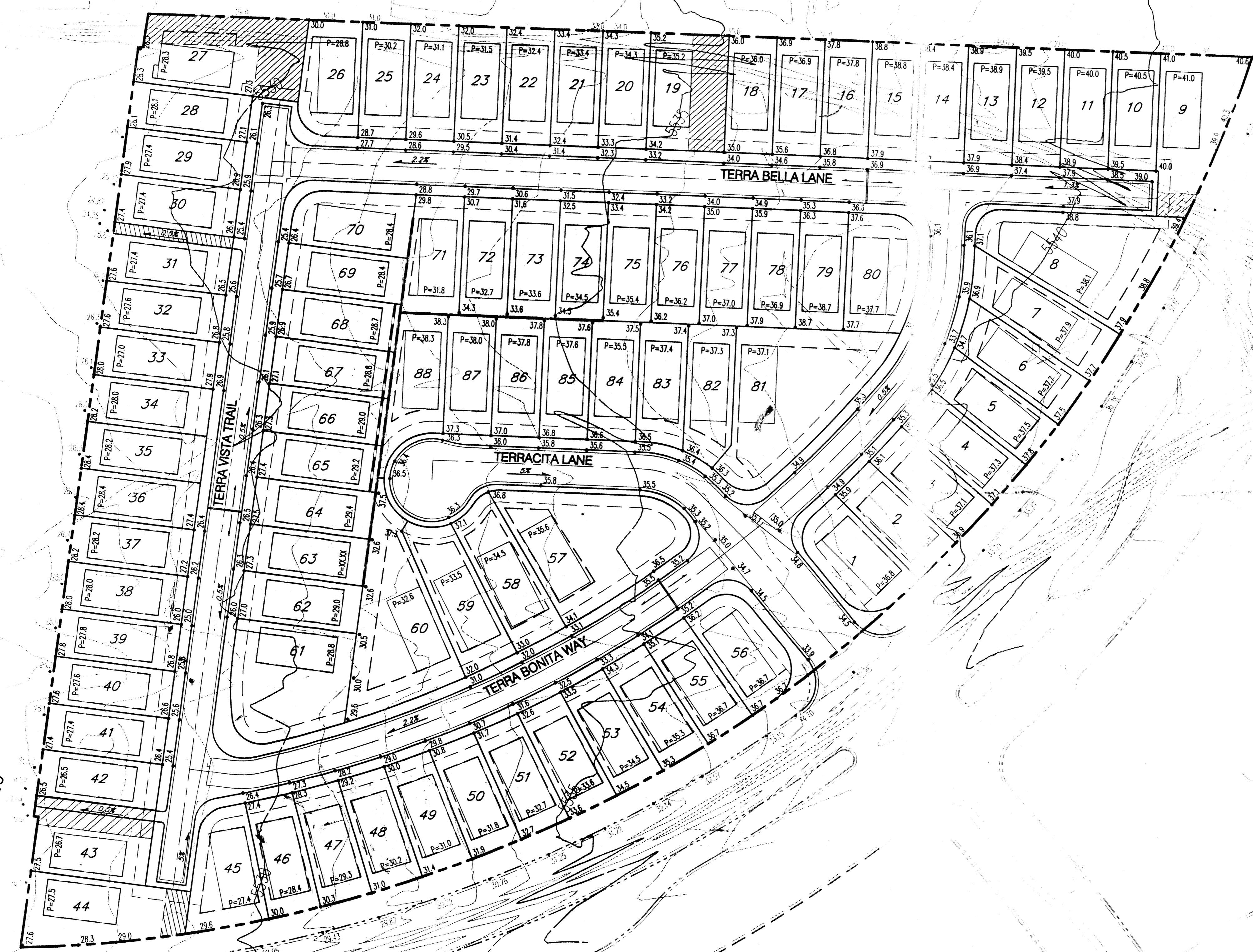
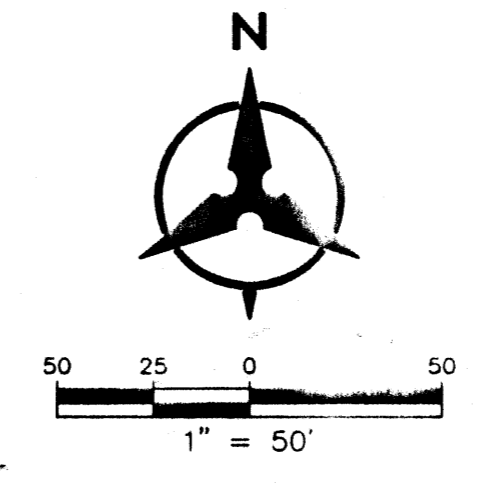
- (91.62) FUTURE SPOT ELEVATION
- 91.62 PROPOSED SPOT ELEVATION
- x 92.46 EXISTING SPOT ELEVATION (GRID & TC)
- EXISTING CURB & GUTTER
- == PROPOSED MOUNTABLE CURB & GUTTER
- == PROPOSED STANDARD CURB & GUTTER
- 54.70 EXISTING CONTOUR W/ INDEX ELEVATION
- FLOW ARROW
- PROPOSED RETAINING WALL
- PROPOSED GARDEN WALL, CONCRETE FILLED TO 1-FOOT DEPTH
- PROPOSED SLOPE
- PROPOSED STORM DRAIN
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLET
- PROPOSED CATTLE GUARD INLET
- WALL DRAIN

Bohannan & Huston
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CITY OF ALBUQUERQUE
 PUBLIC WORKS DEPARTMENT
 RECEIVED
 JAN 29 2004
 TERRACITA SUBDIVISION DROLOGY SECTION
 EROSION CONTROL AND GRADING PLAN

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of
	L-21-Z	1	2

AS-BUILT INFORMATION		CONTRACTOR	DATE
BENCH MARKS		STAMPED BY	DATE
SURVEY INFORMATION		INSPECTOR'S FIELD VERIFICATION BY	DATE
FIELD NOTES		DATE	
ENGINEER'S SEAL		REVISIONS	By
		DESIGN	By
		No. / Date	By
		Designed By: NLR/LB	DATE: 03/03
		Drawn By: DH	DATE: 03/03
		Checked By: RLB	DATE: 03/03



- GENERAL NOTES**
1. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
 2. THE CONTRACTOR IS TO REFER TO EARTHWORK SPECIFICATION AS NOTED IN THE SOILS REPORT.
 3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES & REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
 4. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AS PER DETAIL, SHEET 3B, AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
 5. ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED.
 6. BOULDERS GREATER THAN 3 FEET IN DIAMETER EXCAVATED DURING GRADING ACTIVITIES SHALL BE STOCKPILED AND DISPOSED OF AT THE DISCRETION OF THE OWNER.
 7. ALL WALLS SHOWN ARE TO BE PLACED ALONG PROPERTY LINE. WALLS ARE SHOWN OFFSET FOR VISUAL PURPOSE ONLY.

- LEGEND**
- (91.62) FUTURE SPOT ELEVATION
 - 91.62 PROPOSED SPOT ELEVATION
 - × 92.46 EXISTING SPOT ELEVATION (GRND & TC)
 - EXISTING CURB & GUTTER
 - === PROPOSED MOUNTABLE CURB & GUTTER
 - PROPOSED STANDARD CURB & GUTTER
 - EXISTING CONTOUR W/ INDEX ELEVATION
 - FLOW ARROW
 - PROPOSED RETAINING WALL
 - PROPOSED GARDEN WALL, CONCRETE FILLED TO 1-FOOT DEPTH
 - PROPOSED SLOPE
 - PROPOSED STORM DRAIN
 - PROPOSED STORM DRAIN MANHOLE
 - PROPOSED STORM DRAIN INLET
 - PROPOSED CATTLE GUARD INLET
 - WALL DRAIN

AS-BUILT INFORMATION	
CONTRACTOR	DATE
DESIGNED BY	DATE
CHECKED BY	DATE
APPROVED BY	DATE
RECORDED BY	DATE

BENCH MARKS	
NO.	DATE

SURVEY INFORMATION	
FIELD NOTES	DATE
NO.	BY

ENGINEER'S SEAL

REVISIONS	By	Date
DESIGN	NL/RLB	03/03
	DH	03/03
	RLB	03/03

Bohannon & Huston
 Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

TERRACITA SUBDIVISION
EROSION CONTROL AND GRADING PLAN

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of
	L-21-Z	1	2

ROUGH GRADING (±0.5')
 APPROVED FOR ROUGH GRADING DATE

TERRACITA SUBDIVISION BASIN MAP

