

CITY OF ALBUQUERQUE



Richard J. Berry, Mayor

April 3, 2017

Mike Walla, P.E.
Walla Engineering
6501 Americas Pwky NE, Suite 301
Albuquerque, NM, 87110

**RE: Get a Grip Resurfacing
Grading and Drainage Plan
Stamp Date: 3/17/17
Hydrology File: L21D058**

Dear Mr. Walla:

PO Box 1293

Based upon the information provided in your submittal received 3/17/2017, the Grading Plan is approved for Building Permit.

Albuquerque

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

New Mexico 87103

Renee C. Brissette

www.cabq.gov

Reneé C. Brissette, P.E.
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: _____ Building Permit #: _____ City Drainage #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: _____

City Address: _____

Engineering Firm: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Owner: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Architect: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- _____ DRAINAGE REPORT
- _____ DRAINAGE PLAN 1st SUBMITTAL
- _____ DRAINAGE PLAN RESUBMITTAL
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ EROSION & SEDIMENT CONTROL PLAN (ESC)
- _____ ENGINEER'S CERT (HYDROLOGY)
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ ENGINEER'S CERT (TCL)
- _____ ENGINEER'S CERT (DRB SITE PLAN)
- _____ ENGINEER'S CERT (ESC)
- _____ SO-19
- _____ OTHER (SPECIFY)

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

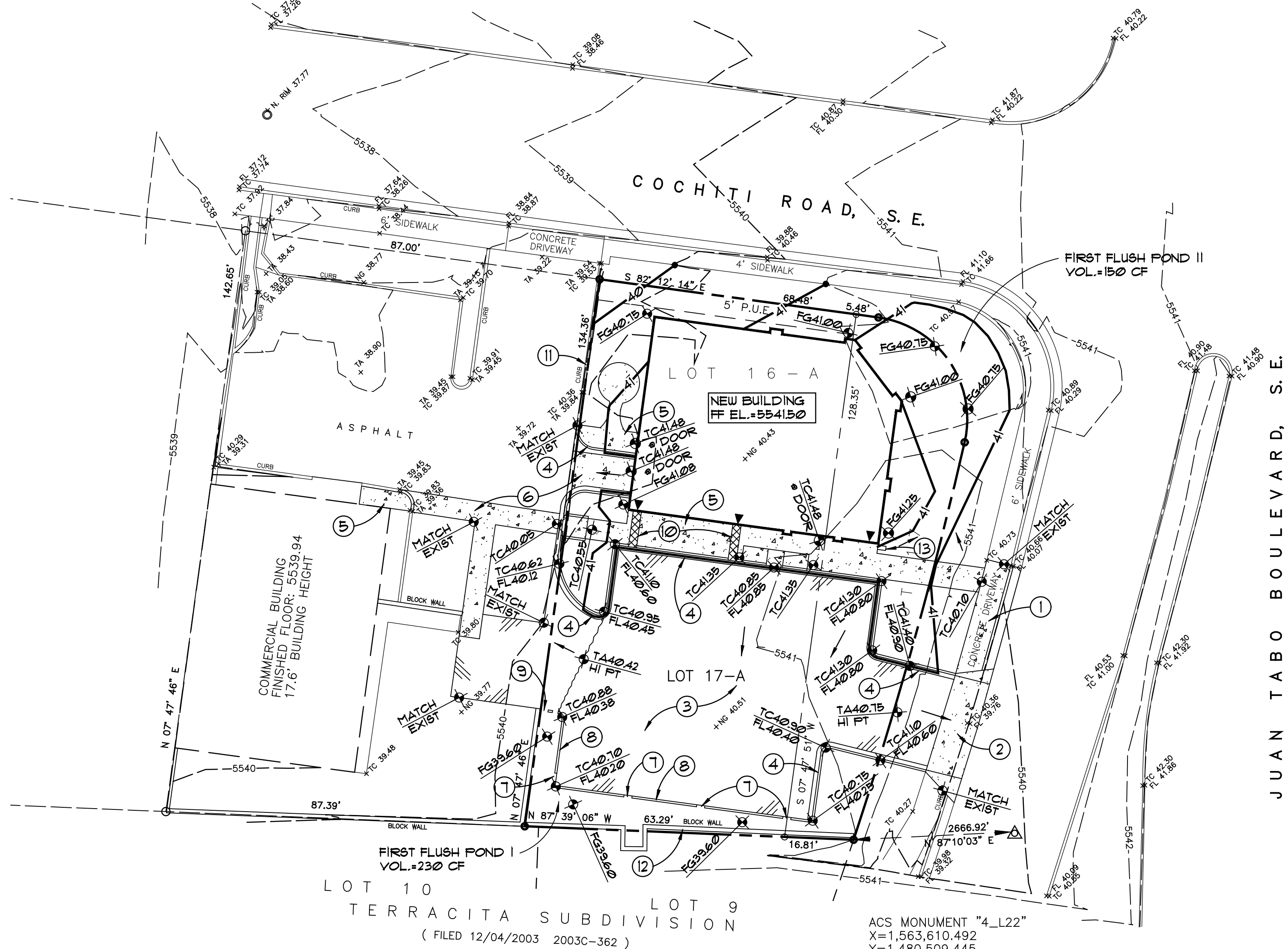
- _____ SIA/FINANCIAL GUARANTEE RELEASE
- _____ PRELIMINARY PLAT APPROVAL
- _____ S. DEV. PLAN FOR SUB'D APPROVAL
- _____ S. DEV. FOR BLDG. PERMIT APPROVAL
- _____ SECTOR PLAN APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY (PERM)
- _____ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- _____ FOUNDATION PERMIT APPROVAL
- _____ BUILDING PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ WORK ORDER APPROVAL
- _____ GRADING CERTIFICATION
- _____ SO-19 APPROVAL
- _____ ESC PERMIT APPROVAL
- _____ ESC CERT. ACCEPTANCE
- _____ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes _____ No _____ Copy Provided

DATE SUBMITTED: _____ By: _____

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



KEYED NOTES

- 1 REMOVE EXISTING DRIVEWAY AND REPLACE WITH NEW SIDEWALK AND STANDARD CURB AND GUTTER PER C.O.A. STANDARD DRAWINGS 2430 AND 2415
- 2 NEW CONCRETE DRIVE PAD PER C.O.A. STANDARD DRAWING 2425
- 3 ASPHALT PAVING PER DETAIL 1/C201
- 4 SITE CONCRETE CURB AND GUTTER PER DETAIL 2/C201
- 5 4", 4000 PSI AIR-ENTRAINED CONCRETE SIDEWALK OVER SUBGRADE COMPACTED TO 95% OF MAXIMUM DENSITY
- 6 6", 4000 PSI AIR-ENTRAINED CONCRETE DRIVE REINFORCED WITH #4 @ 16" O.C. EACH WAY ON CHAIRS OVER 12" OF SUBGRADE COMPACTED TO 95% OF MAXIMUM DENSITY
- 7 2'-0" WIDE CURB BREAK FOR DRAINAGE FLOW
- 8 RETAINING CURB PER DETAIL 3/C201
- 9 2'-0" WIDE CURB BREAK AT POND OVERFLOW - INVERT ELEVATION = 402.12 (FIELD VERIFY)
- 10 2'-0" WIDE SIDEWALK CULVERT PER DETAIL 4/C201
- 11 EXISTING CURB TO REMAIN
- 12 EXISTING BLOCK WALL TO REMAIN
- 13 SPLASH BLOCK - SEE ARCH.

LEGEND

- PROPERTY LINE
- NEW BUILDING LINE
- 5540--- EXISTING CONTOUR
- 40--- NEW CONTOUR
- TC 40.97 + EXISTING SPOT ELEVATION
- 4050.00 NEW SPOT ELEVATION
- NEW FLOW DIRECTION ARROW
- TA TOP OF ASPHALT
- TC TOP OF CONCRETE OR CURB
- FG FINISHED GRADE
- FL FLOW LINE
- NG NATURAL GROUND
- INV INVERT
- NEW CONCRETE PAVING
- NEW AC PAVING
- ROOF DRAIN LOCATION

HYDROLOGY CALCULATIONS

PRECIPITATION ZONE 3									
DESIGN STORM: (IN)									
			1hr	6hr	24hr	4day	10day		
EXISTING CONDITIONS	LAND	AREA							
TRIMNT	(ACRE)	%	F6	Q	Q	V6	V24	V4DAY	V10DAY
			(CF6/AC)	(CF6)	(CF)	(CF)	(CF)	(CF)	(CF)
A	0.000	0%	0.30	1.87	0.00	0	0	0	0
B	0.000	0%	1.08	2.60	0.00	0	0	0	0
C	0.210	80%	1.46	3.45	0.12	1.113	1.113	1.113	1.113
D	0.052	20%	2.64	5.02	0.26	4.98	5.93	7.53	9.32
TOTALS	0.262	100%			0.38	1.611	1.706	1.866	2.045
PROPOSED CONDITIONS	LAND	AREA							
TRIMNT	(ACRE)	%	F6	Q	Q	V6	V24	V4DAY	V10DAY
			(CF6/AC)	(CF6)	(CF)	(CF)	(CF)	(CF)	(CF)
A	0.000	0%	0.30	1.87	0.00	0	0	0	0
B	0.005	32%	1.08	2.60	0.22	3.33	3.33	3.33	3.33
C	0.000	0%	1.46	3.45	0.00	0	0	0	0
D	0.171	68%	2.64	5.02	0.93	1.636	2.011	2.564	3.114
TOTALS	0.262	100%			1.11	2.023	2.351	2.897	3.507

FIRST FLUSH: 0.171 AC x 43560/sf/AC x 0.44"/12 IN PER FT = 283 CF

LEGAL DESCRIPTION

LOT 17-A, BLOCK 8, EAST CENTRAL BUSINESS ADDITION, A REPLAT OF LOT 16-A AND THE WESTERLY PORTION OF LOT 17, BLOCK 8, EAST CENTRAL BUSINESS ADDITION WITHIN SECTION 28, T. 10 N. R. 4 E. NM 17M, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO FEBRUARY 2011

BENCHMARK

ACS MONUMENT "4.L22"
X=1563.610.492
Y=1480.509.445
GROUND-TO-GRID: 0.999643379
MAPPING ANGLE: -00°08'50.94"
NMSP CENTRAL ZONE NAD 83
NAVD 88 MSL
ELEVATION: 5586.425

DESIGN NARRATIVE

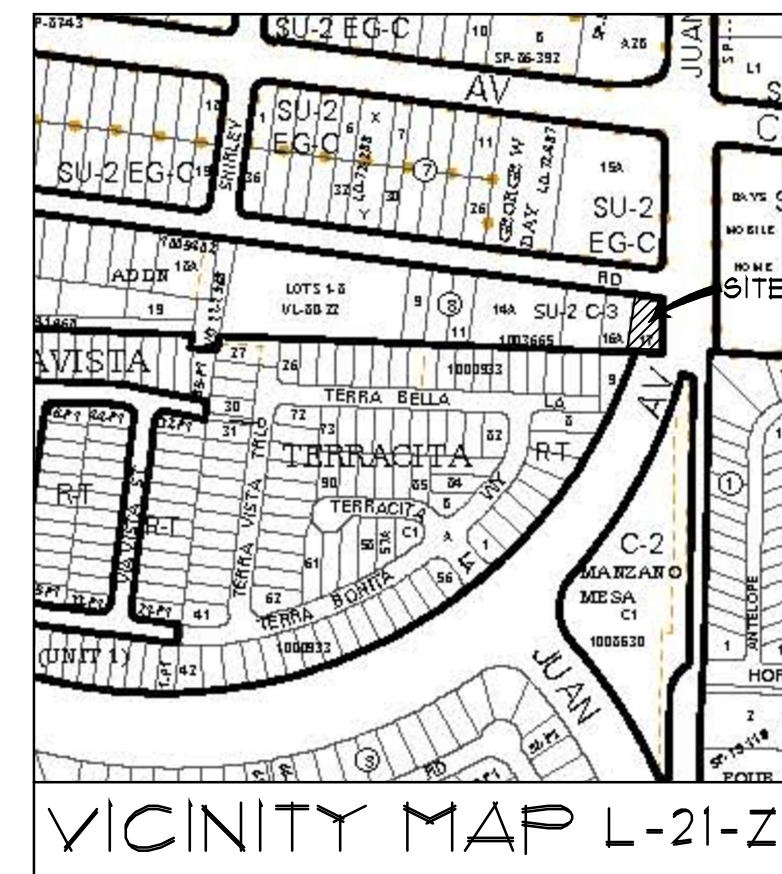
THE SUBJECT PROJECT IS A 0.282 ACRE PARTIALLY DEVELOPED SITE THAT IS BEING RENOVATED IN ORDER TO CONSTRUCT A NEW 2800 SF BUILDING. THE WORK WILL REQUIRE THE REMOVAL OF AN EXISTING BUILDING PAD AND PAVED DRIVE. THE NEW PROJECT WILL INCLUDE A PAVED PARKING AREA AND MODIFY THE DRIVE ACCESS TO THE SITE. THE BUILDING AND PAVED AREA WILL DIRECT DEVELOPED RUNOFF TO SMALL PONDING AREAS ON THE EAST AND SOUTH SIDES OF THE SITE IN ORDER TO STORE FIRST FLUSH VOLUMES PRIOR TO OUTLET OF FLOWS TO THE WEST AND OFF THE PROPERTY. THIS SCHEME MATCHES THE EXISTING SCHEME WHEREBY HISTORIC RUNOFF HAS DISCHARGED FROM THIS PARCEL THRU THE ADJACENT PROPERTY WEST OF THE SITE AND THEN TO COCHITI RD. WHICH BORDERS BOTH PROPERTIES ON THE NORTH. FROM THERE, DEVELOPED RUNOFF IS DIRECTED TO DOWNSTEAM FACILITIES. NO ADDITIONAL OFFSITE FLOWS AFFECT THE SUBJECT SITE AND CALCULATIONS INDICATE THAT THE INCREASE IN DEVELOPED FLOW AS A RESULT OF THIS PROJECT AMOUNTS TO APPROXIMATELY 0.2 CFS.

EROSION CONTROL PLAN

- 1 CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- 2 CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
- 3 CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUN OFF ON SITE.
- 4 REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- 5 ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
- 6 CONTRACTOR IS RESPONSIBLE FOR OBTAINING NPDES PERMIT FOR THE SITE, IF NECESSARY.

DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY NOTICE TO CONTRACTOR

1. AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT THE LINE LOCATING SERVICE, NEW MEXICO ONE CALL 260-1930, (NM ONE CALL "811") FOR THE LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.



Walla ENGINEERING LTD
Structural Engineering
Civil Engineering
8501 American Parkway NE • Suite 307
Albuquerque, New Mexico • 87110
861-3508 • Facsimile 861-4025

a new commercial building for:

GETAGRIP
resurfacing

11840 cochiti road se
albuquerque, new mexico

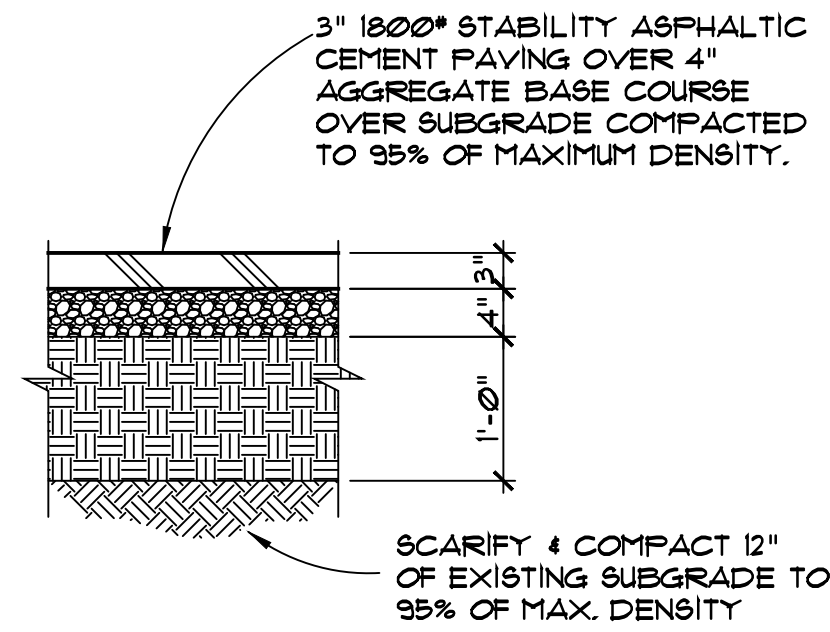
slagleherrarchitects
413 second st sw
albuquerque nm
87102
5052460870
slagleherr.com

GRADING AND DRAINAGE PLAN



revisions

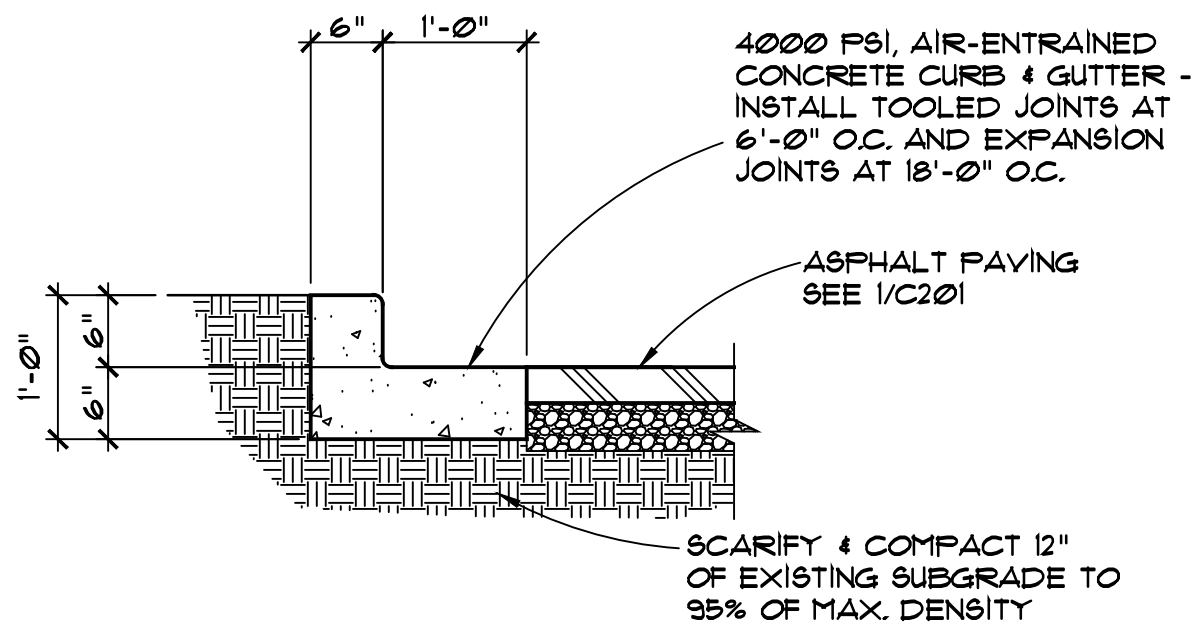
date
3-17-17
sheet
C101



1
C201

TYPICAL PAVING SECTION

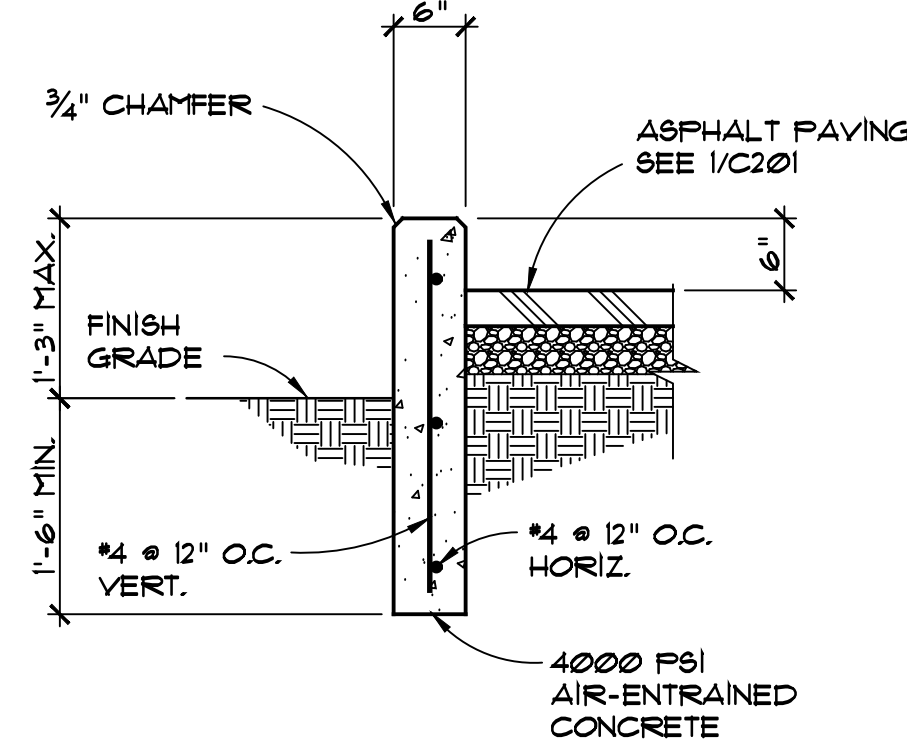
3/4" = 1'-0"



2
C201

TYPICAL CURB AND GUTTER SECTION

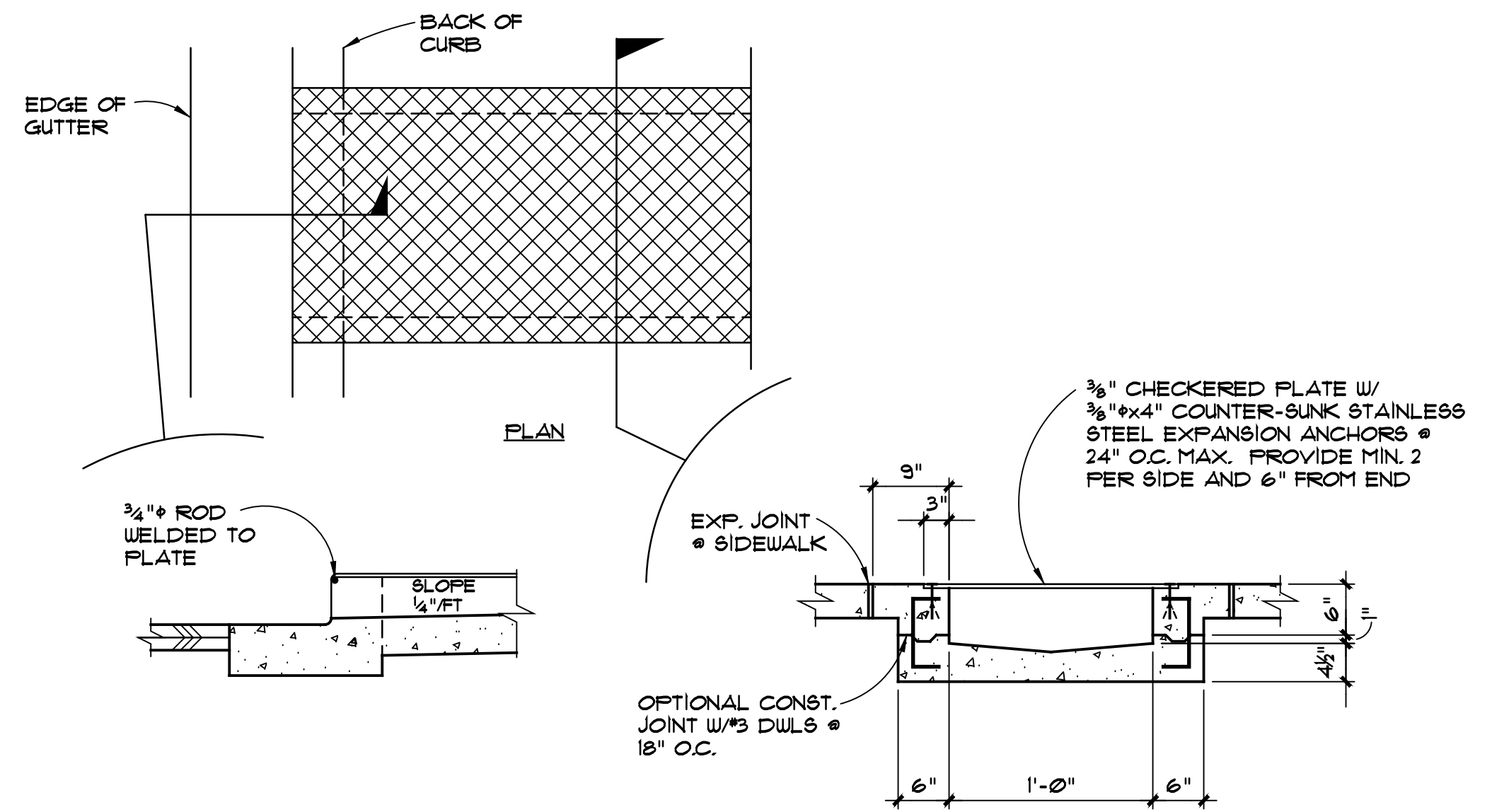
3/4" = 1'-0"



3
C201

RETAINING CURB SECTION

3/4" = 1'-0"



4
C201

TYPICAL SIDEWALK CULVERT

N.T.S.

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8501 American Parkway NE Suite 301
Albuquerque, New Mexico 87110
861-3508 • Facsimile 861-4025

a new commercial
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resurfacing

11840 cochiti road se
albuquerque, new mexico

slagleherrarchitects
413 second st sw
albuquerque nm
87102
505 246 0870
slagleherr.com

GRADING AND
DRAINAGE DETAILS



revisions

date
3-17-17
sheet
C201