

City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Get a Grip Building Permit #: _____ City Drainage #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: Lot 16-A Block 8, East Central Business Addition

City Address: 11840 Cochiti, Albuquerque, NM

Engineering Firm: Walla Engineering Contact: Mike Walla

Address: 6501 America's Parkway NE, Ste 301 Abq, NM 87110

Phone#: 505 881-3008 Fax#: _____ E-mail: mikew@wallaengineering.com

Owner: Ranger Enterprises, LLC Contact: David Hadley

Address: 7300 Arroyo Del Oso Ave NE, Abq, NM 87109

Phone#: 505 268-0929 Fax#: _____ E-mail: ryan@getagrip.com

Architect: Slagle Herr Architects Inc. Contact: Joe Slagle

Address: 413 Second Street SW, Albuquerque, NM 87102

Phone#: 505 246 0870 Fax#: _____ E-mail: joe@slagleherr.com

Surveyor: N/A Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Contractor: N/A Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY)

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED: ☒ Yes ☐ No ☒ Copy Provided

DATE SUBMITTED: 2-28-17 By: Joe Slagle

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

CITY OF ALBUQUERQUE



March 07, 2017

Slagle Herr Architects Inc.
Joe Slagle
413 Second St.
Albuquerque, NM 87102

Re: Get a Grip
11840 Cochiti SE
Traffic Circulation Layout
Architect's Stamp 02-27-17 (L21-D058)

Dear Mr. Slagle

Based upon the information provided in your submittal received 02-28-17, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Per the zoning code, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details.
2. Please show detail for the pedestrian path on the west side of lot. This should be ADA accessible.
3. Please specify the City Standard Drawing Number when applicable.
4. Please show dimension of existing shared driveway.
5. Please include a copy of your shared access agreement with the adjacent property owner.
6. Please include two copies of the traffic circulation layout at the next submittal.

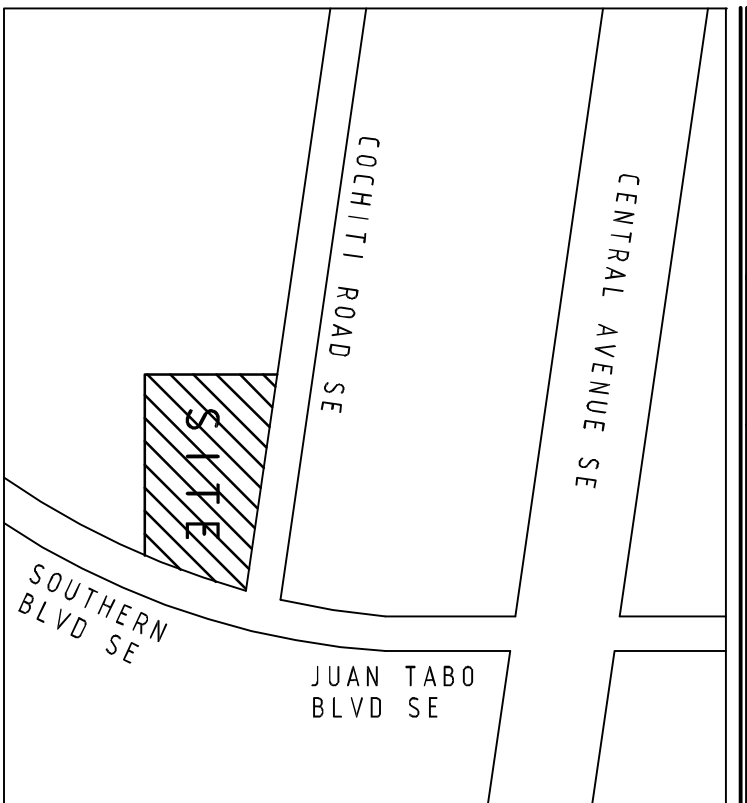
Resubmit a revised plan along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. PDF copies of the plans and submittal package must be emailed to PLNDRS@cabq.gov at time of resubmittal. If you have any questions, please contact me at (505) 924-3630.

Sincerely,

Logan Patz
Senior Engineer, Planning Dept.
Development Review Services

LWP via: email
C: File

VICINITY MAP



SITE DATA:

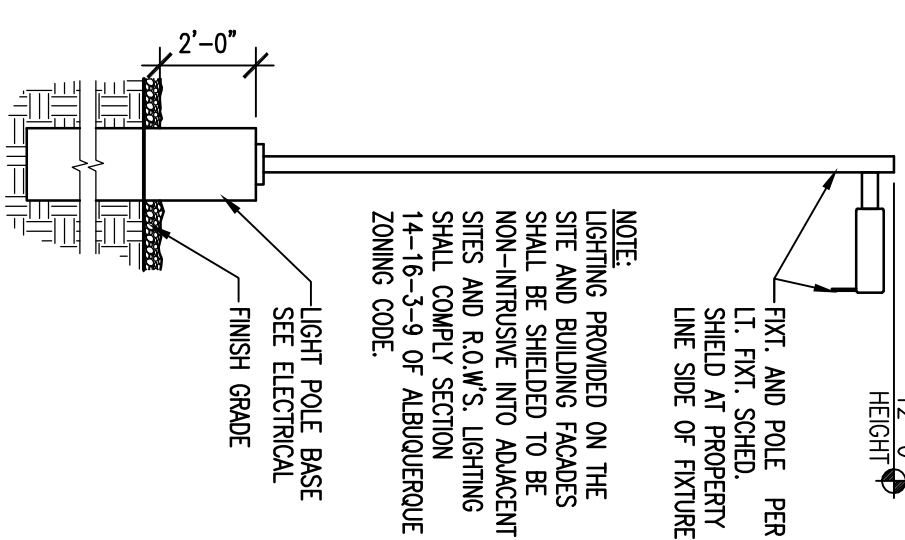
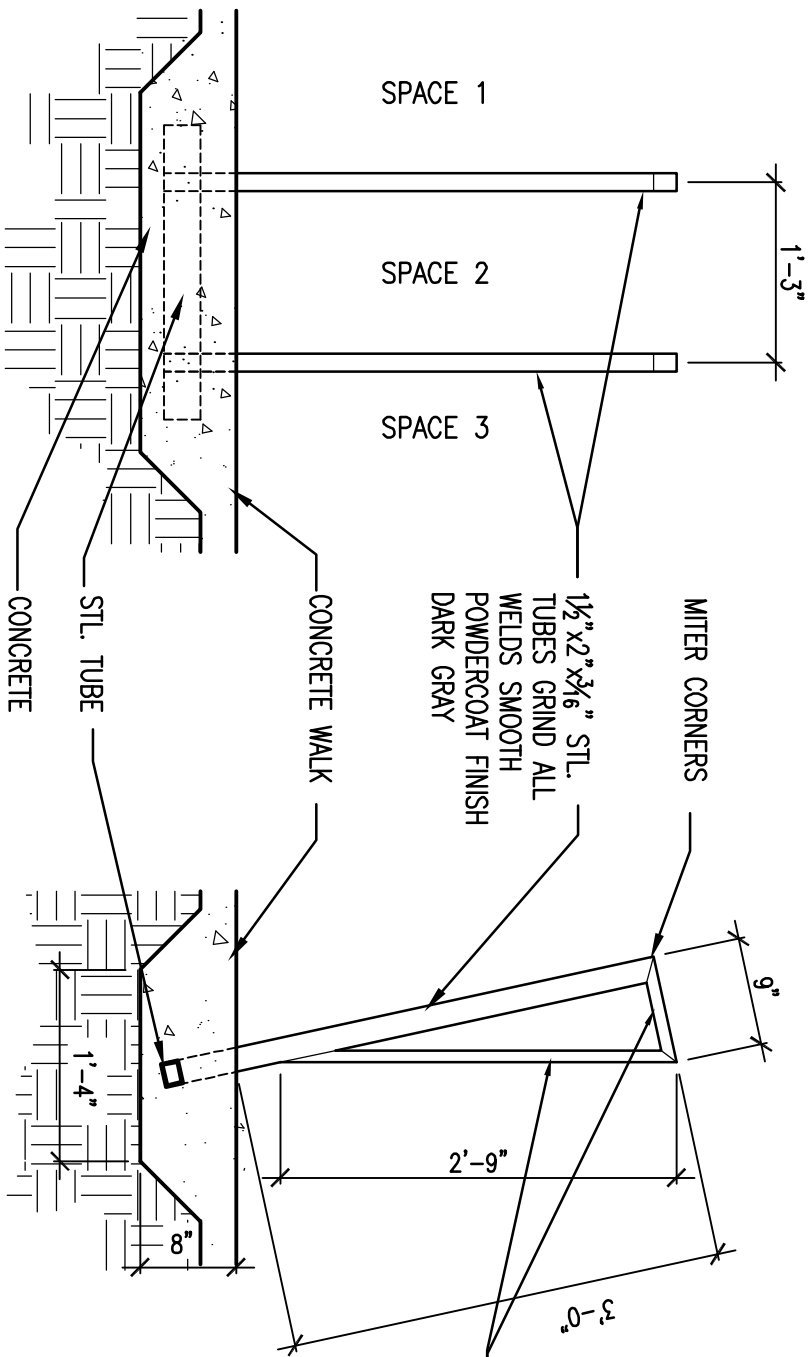
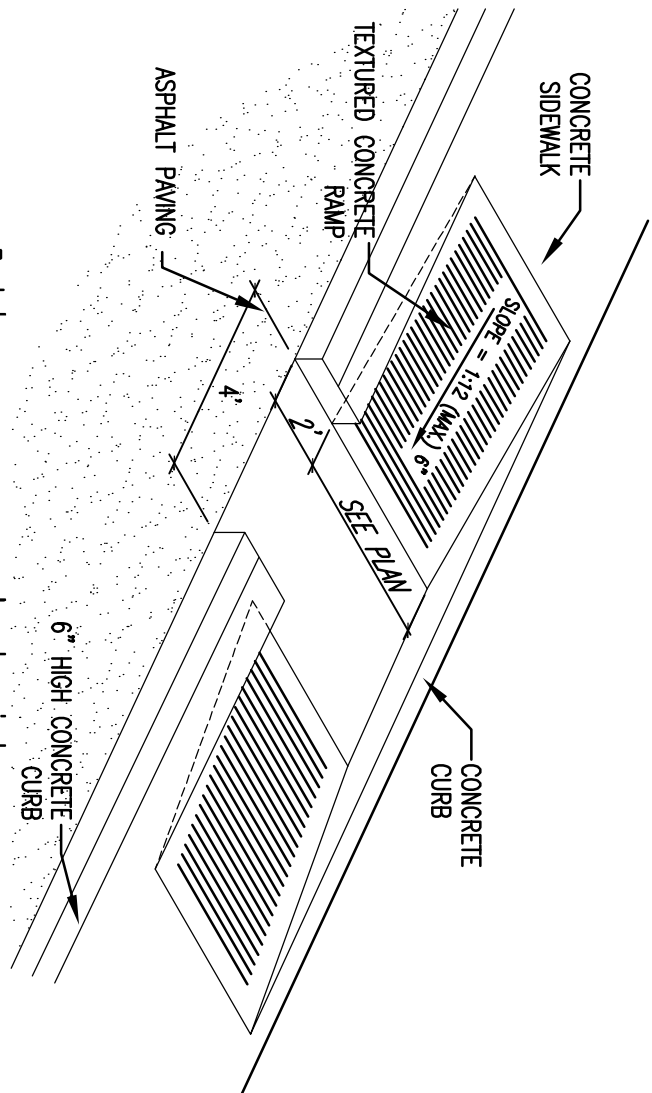
LOCATION:	11840 COCHITI ROAD SE ALBUQUERQUE, NM 87123
LEGAL DESCRIPTION:	LOT 15-A, BLOCK 8 EAST CENTRAL BUSINESS ADDITION
UPC #:	102105850040510227
CURRENT ZONING:	SI-2/C-3
SETBACK REQUIREMENTS:	5' FRONT YARD SETBACK L-21
ZONE ATLAS PAGE:	59 (NON-SPRINKLED)
BUILDING CONSTRUCTION:	2012 IBC
APPLICABLE CODE:	COA ZONING ORDINANCE EAST GATEWAY SECTOR DEVELOPMENT PLAN
TOTAL LOT AREA:	(0.205 AC.) 8966 S.F.
BUILDING FOOTPRINT AREA:	2800 S.F.
NET LOT AREA (LOT AREA-BAU FOOTPRINT):	6166 S.F.
FLOOR AREA RATIO (GROSS BLD. AREA/LOT AREA):	31.2 %
PAVED AREA:	3535 S.F.
LANDSCAPE AREA:	2621 S.F.
LANDSCAPE % NET LOT AREA:	42 %
LANDSCAPE TO PAVED AREA RATIO:	1 : 1.34
REQUIRED PARKING:	11 SPACES
SHOWROOM:	1 SPACE PER 200 SF
OFFICE:	1 SPACE PER 200 SF
WAREHOUSE:	1 SPACE PER 2000 SF
PARKING PROVIDED:	13 SPACES
REQUIRED H.C. PARKING:	1 SPACE
H.C. PARKING PROVIDED:	1 SPACE
BICYCLE PARKING PROVIDED:	2 SPACES
REQUIRED MOTORCYCLE PARKING:	1 SPACE
MOTORCYCLE PARKING PROVIDED:	1 SPACE

GENERAL NOTES:

1. VERIFY SITE UTILITY ROUTING AND NEW UTILITY CONNECTIONS WITH UTILITY PROVIDERS.
2. CROSS DIMENSIONS TO FACE OF CURB, LANDSCAPE, DRIVEWAY, SIDEWALK, CURB & GUTTER ALONG STREET FRONTAGES AS NECESSARY IN COORDINATION WITH ALBUQUERQUE STANDARDS.
3. SITE LIGHTING SHALL BE PROVIDED ON BUILDING EAVES AND IN THE PARKING LOT TO BE CUT-OFF TYPE ANGLED TO NON-INTRUSIVE TO ADJACENT PROPERTIES AND RIGHT-OF-WAYS.

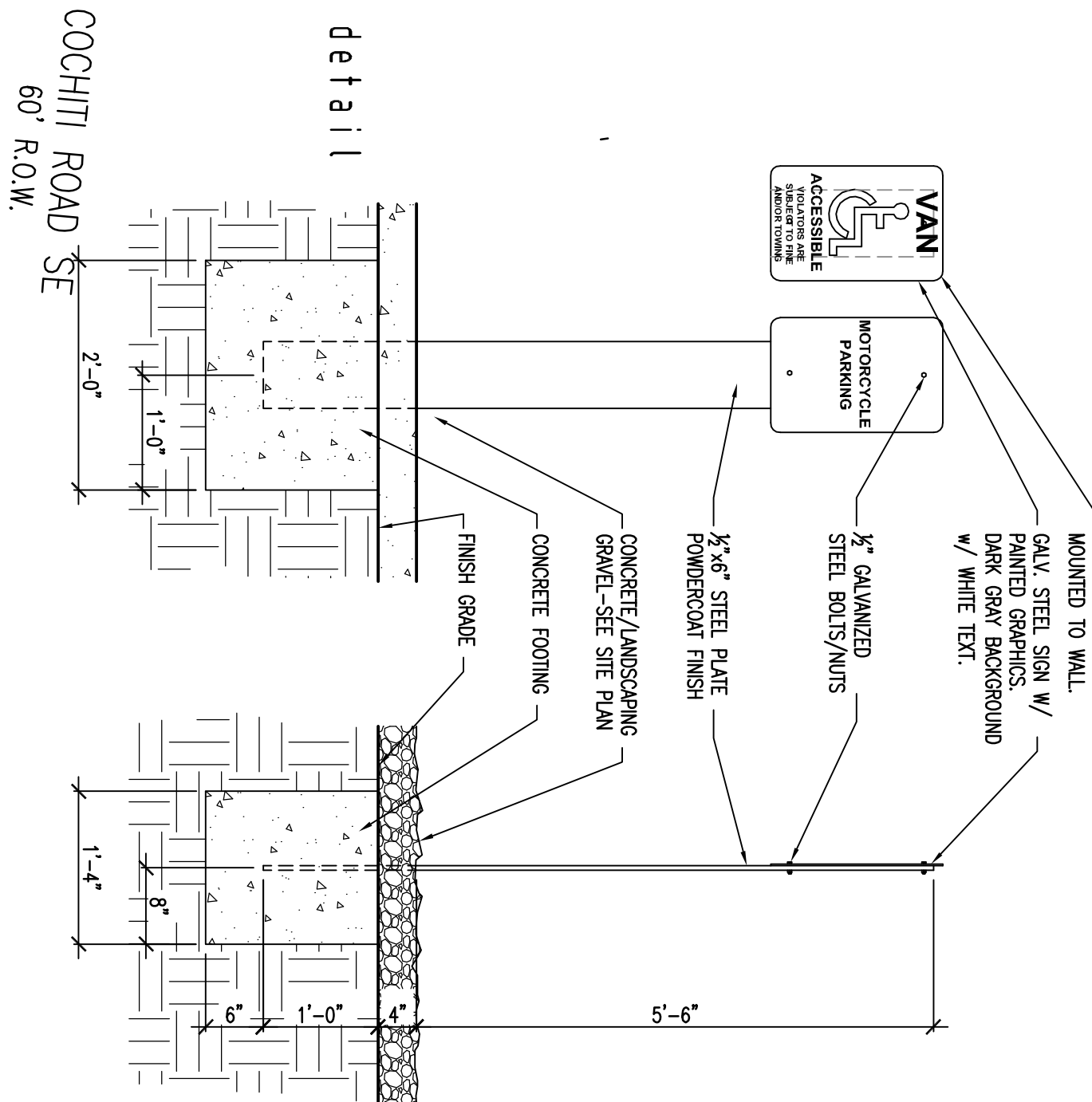
KEYED NOTES

1. EXISTING DRIVEWAY, HCP RAMPS, CURB RETURN AND SIDEWALK TO REMAIN
2. EXISTING CHAINLINK FENCE AND GATE TO BE REMOVED.
3. EXISTING CONCRETE PAD TO BE REMOVED.
4. EXISTING ASPHALT PAVING TO BE REMOVED.
5. EXISTING CONCRETE DRIVEWAY TO BE REMOVED.
6. EXISTING MASONRY WALL TO BE REMOVED.
7. EXISTING CURB TO REMAIN.
8. EXISTING CURB TO BE REMOVED AT THIS LOCATION
9. NEW 6" CONCRETE DRIVE OVER COMPACTED BASE COURSE
10. EXISTING LIGHT POLE TO BE REMOVED
11. EXISTING PROPERTY LINE TO REMAIN
12. NEW 4" THK. CONC. PAD: BROOM FINISH
13. NEW 4" THK. CONC. WALK: BROOM FINISH, WIDTH AS SHOWN
14. CUT AND REMOVE EXISTING ASPHALT. INSTALL NEW 6" THK. CONC. WALK FLUSH W/ ASPHALT.
15. HCP RAMP: SEE E-1011
16. HCP SIGN MOUNTED TO WALL: SEE E-1011
17. MOTORCYCLE PARKING SIGN: SEE E-1011
18. NEW CURB & GUTTER AND 6" SIDEWALK TO MATCH EXISTING PER ADA, STD. DIM.
19. EXISTING PILE
20. NEW 6' HIGH X 27" LONG ROLLING GATE WITH AUTO OPERATOR. DELIVERED AND INSTALL GATE TRACK ON CONC. PAD FLUSH W/ ASPHALT
21. NEW 6' HIGH X 27" LONG ROLLING GATE WITH AUTO OPERATOR
22. NEW 6' HIGH MASONRY WALL: SEE E-1011
23. EXTEND EXISTING COYOTE FENCE TO CORNER AND OVER EXISTING CONCRETE CULVERT.
24. 2" WIDE BLOCKS. TEXT TO READ "NO PARKING"
25. TEXT TO READ "MOTORCYCLE PARKING ONLY"
26. INTERNATIONAL HCP SYMBOL: PAINT BLUE
27. 4" WIDE WHITE PARKING STRIPES, TYP.
28. NEW CURB AND GUTTER: SEE E-1011
29. EXIST. PARKING AGENT TO REMAIN AS IS.
30. NEW METAL GATES: SEE E-1011
31. NEW 6' HIGH MASONRY WALL: SEE E-1011
32. NEW 6' HIGH WROUGHT IRON FENCE AND GATE W/ LOCKING DEVICE
33. NEW 6' HIGH WROUGHT IRON GATE W/ LOCKING DEVICE
34. EXISTING DUMPSTER
35. NEW CONCRETE DRIVE PAD PER COA STANDARD DRAINING
36. NEW ASPHALT PAVING PER SOILS INVESTIGATION REPORT
37. DOWNSPOUT: SEE ROOF PLAN
38. MTL. SIDEWALK CULVERT: SEE E-1011
39. CLEAR SIGHT TRIANGLE: LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE TREES, WALLS, TREES, AND SHRUBBERY BETWEEN 3' & 8' TALL (MEASURED FROM THE GUTTER PAV) WILL NOT BE ACCEPTABLE IN THIS AREA.
40. BIKE RACK: SEE E-1011



3' site lighting detail

a 0 0 1 1 n t s



2' hcp sign detail

a 0 0 1 1 3 / 4 " = 1'-0"

4' bike rack detail

a 0 0 1 1 3 / 4 " = 1'-0"

COCHITI ROAD SE
60' R.O.W.

EXISTING 4' SIDEWALK

EXIST. CONCRETE DRIVEWAY

EXISTING 6' SIDEWALK

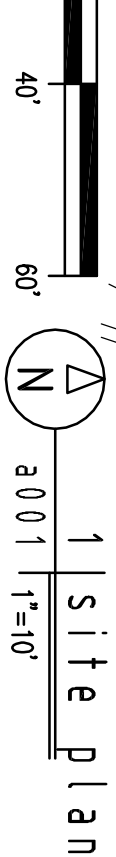
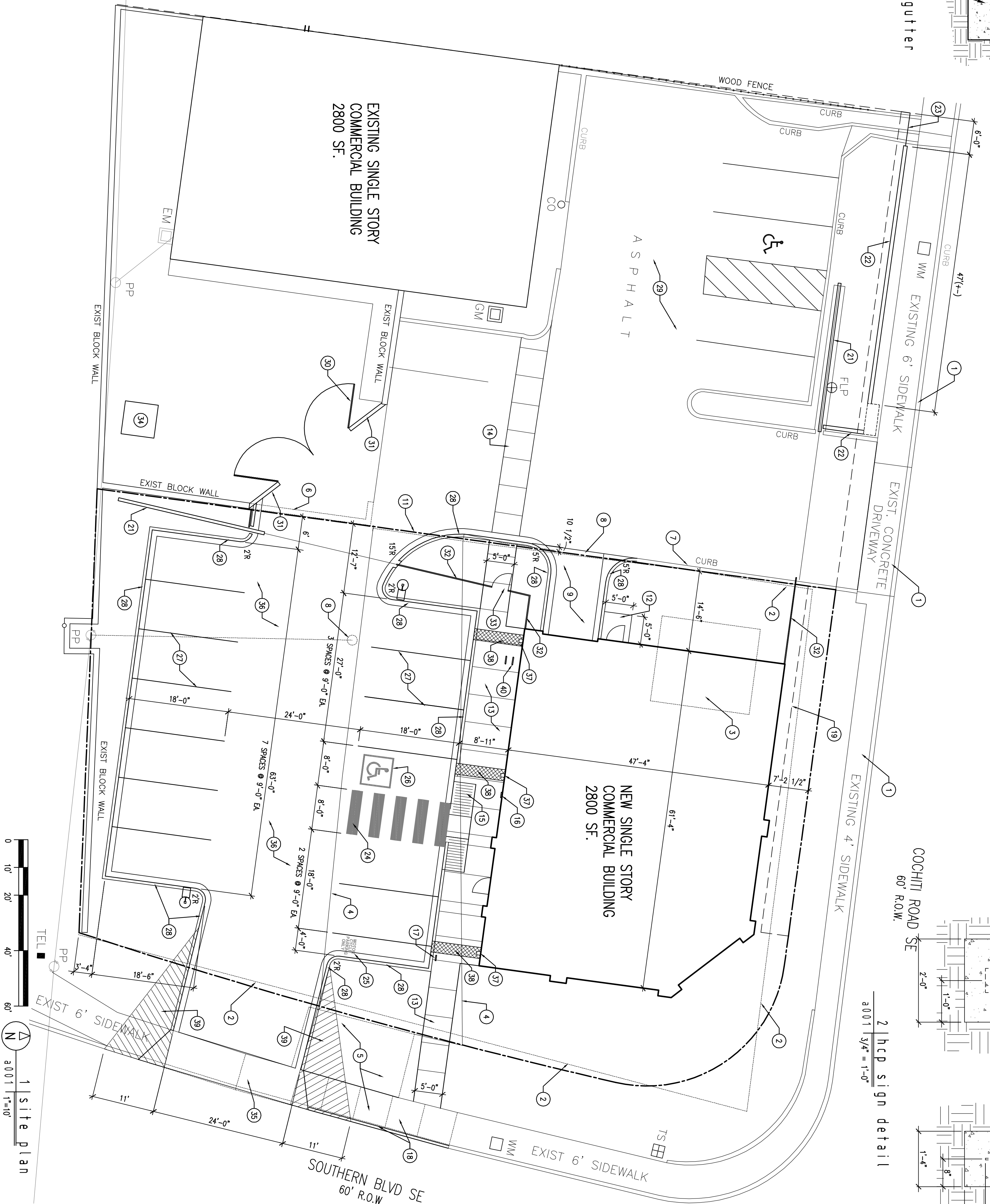
CURB

WOOD FENCE

NEW SINGLE STORY
COMMERCIAL BUILDING
2800 SF.

ASPHALT

EXISTING SINGLE STORY
COMMERCIAL BUILDING
2800 SF.



1' site plan
a 0 0 1 1' = 10'

a new commercial
building for:

GETAGRIP
resurfacing

11840 cochiti road se
albuquerque, new mexico

slaglehennrich architects

4 1 3 s e o n d s t s w
a 1 b u q u e r q u e n m
8 7 1 0 2
5 0 5 2 4 6 0 8 7 0
s 1 a g l e h e n r i c h a r c h t e c t s

SITE PLAN

revisions

date
2-27-17
sheet
A0001