

SITE DATA SUMMARY TABLE	
PROPOSED USE	RESTAURANT
SQUARE FOOTAGE OF PROPOSED USE	12,198 SQ. FT.
TOTAL SITE AREA	101,800 SQ. FT. = 2.337 ACRES
NET SITE AREA	99,389 SQ. FT. = 2.282 ACRES
R.O.W. DEDICATION	0.055 ACRES
FLOOR AREA RATIO	12,198/99,389 = 0.123
REQUIRED PARKING SPACES	1 PER 4 SEATS = 97 SPACES (SEATING CAPACITY 386)
PROVIDED PARKING SPACES	149 TOTAL
REQUIRED PARKING SPACES (HANDICAP)	8
PROVIDED PARKING SPACES (HANDICAP)	8
PERVIOUS AREA	26,869 SQ. FT. (0.617 ACRES)
IMPERVIOUS AREA	74,944 SQ. FT. (1.72 ACRES)
LANDSCAPE PERCENTAGE	26%
REQUIRED LANDSCAPE PERCENTAGE	15%



TRAFFIC CERTIFICATION

I, BRIGITTE M. FULLER, NMPE 15102, OF THE FIRM WILSON & COMPANY, INC. HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 8/15/05. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY STEPHEN E. WALKER OF THE FIRM WALKER SURVEYING. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 8/13/06 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR TEMPORARY CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

*Brigitte Fuller*  
Signature  
9/14/06  
Date

TRAFFIC CERTIFICATION

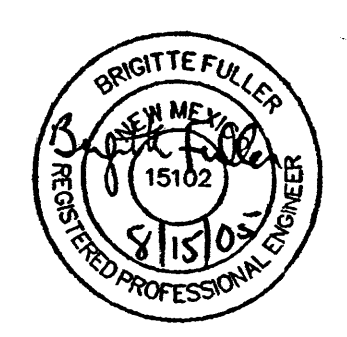
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*Brigitte Fuller* 12/3/06  
Signature  
Date

LEGEND

- |  |   |  |
|--|---|--|
| <ul style="list-style-type: none"> <li>GM <math>\nabla</math> EXIST. GAS VALVE</li> <li>FH <math>\nabla</math> EXIST. FIRE HYDRANT</li> <li>PP <math>\odot</math> EXIST. POWER POLE</li> <li>LP <math>\odot</math> EXIST. LIGHT POLE</li> <li>WM <math>\odot</math> EXIST. WATER VALVE</li> <li>WM <math>\odot</math> EXIST. WATER METER</li> <li>EPB <math>\square</math> EXIST. ELECT. PULL BOX</li> <li>TR <math>\square</math> EXIST. TELE RISER</li> <li>TELE V.L.T. <math>\square</math> EXIST. TELE VAULT</li> <li>INLET <math>\square</math> EXIST. STORM INLET</li> <li>EXIST. IRRIG. CONTROL VALVE</li> <li>EXIST. SEWER MANHOLE</li> <li>EXIST. IRRIGATION MANHOLE</li> <li>EXIST. WATER LINE</li> <li>EXIST. GAS LINE</li> <li>EXIST. GAS LINE</li> <li>EXIST. TELEPHONE LINE</li> <li>EXIST. ELECTRIC LINE</li> <li>EXIST. STORM DRAIN &amp; INLET</li> </ul> | <ul style="list-style-type: none"> <li>17 <math>\square</math> LP</li> <li><math>\nabla</math> GM</li> <li><math>\odot</math> CO</li> <li>TF</li> <li><math>\nabla</math> FH</li> <li>FDC</li> <li><math>\square</math> EXIST. FIRE DEPT. CONNECTION</li> <li><math>\square</math> EXIST. FIRE HYDRANT</li> <li><math>\square</math> EXIST. FIRE METER</li> <li><math>\square</math> EXIST. IRRIG. BACKFLOW PREVENTOR</li> <li><math>\square</math> EXIST. COLD WATER LINE</li> <li><math>\square</math> EXIST. FIRE SERVICE LINE</li> <li><math>\square</math> EXIST. SANITARY SEWER LINE</li> <li><math>\square</math> EXIST. GAS LINE</li> <li><math>\square</math> EXIST. UNDERGROUND ELECT. LINE</li> <li><math>\square</math> EXIST. OVERHEAD ELECT. LINE</li> <li><math>\square</math> EXIST. TELEPHONE CABLE</li> <li><math>\square</math> EXIST. CABLE T.V.</li> </ul> | <ul style="list-style-type: none"> <li>PARKING SPACES</li> <li>PROP. LIGHTING</li> <li>PROP. GAS VALVE</li> <li>PROP. GREASE TRAP</li> <li>PROP. SAN. SEWER CLEANOUT</li> <li>TRANSFORMER</li> <li>PROP. WATER VALVE</li> <li>PROP. FIRE HYDRANT</li> <li>PROP. FIRE DEPT. CONNECTION</li> <li>PROP. FIRE METER</li> <li>PROP. IRRIG. BACKFLOW PREVENTOR</li> <li>PROP. COLD WATER LINE</li> <li>PROP. FIRE SERVICE LINE</li> <li>PROP. SANITARY SEWER LINE</li> <li>PROP. GAS LINE</li> <li>PROP. UNDERGROUND ELECT. LINE</li> <li>PROP. OVERHEAD ELECT. LINE</li> <li>PROP. TELEPHONE CABLE</li> <li>PROP. CABLE T.V.</li> </ul> |
|--|---|--|



TRAFFIC CIRCULATION LAYOUT

**WILSON & COMPANY**  
3950 FOSSIL CREEK BLVD.  
SUITE 106  
FORT WORTH, TEXAS 76137  
817-232-2248 FAX  
817-232-4909

**GOLDEN CORRAL**  
10415 E. CENTRAL AVE. & EUBANK BLVD.  
CITY OF ALBUQUERQUE, NEW MEXICO  
**TRAFFIC CIRCULATION LAYOUT**

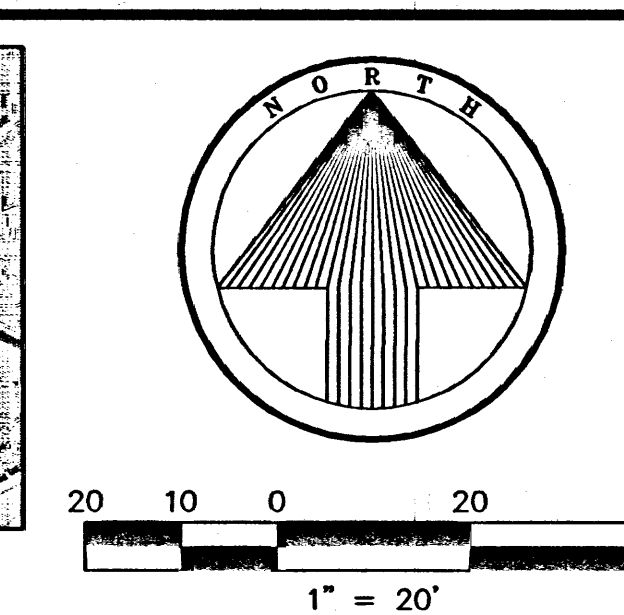
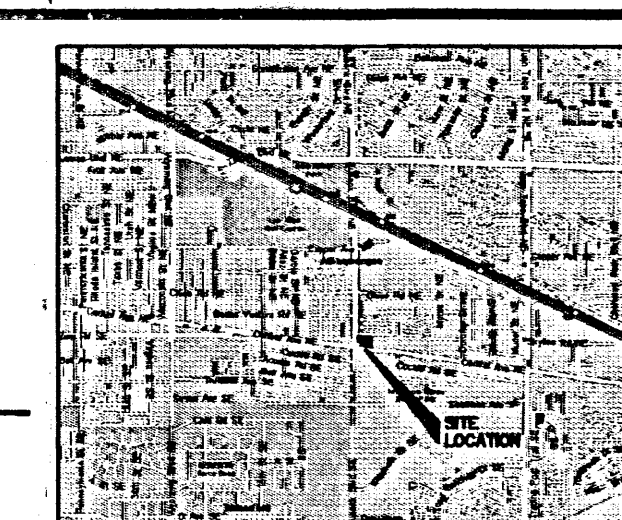
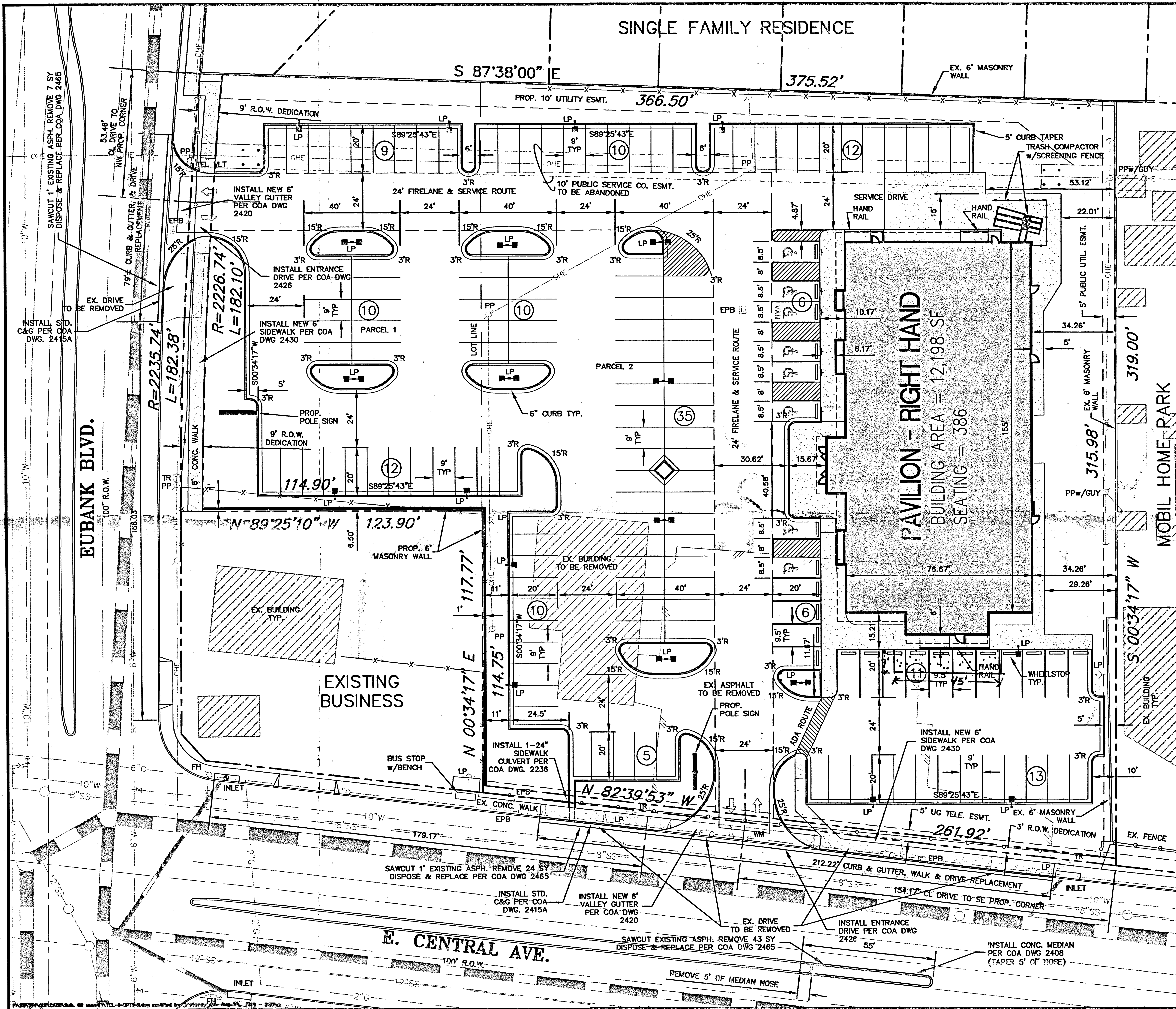


REVISIONS	
CITY SUBMITTAL #2	8/09/06
CITY COMMENTS	

PROJECT ENGINEER  
PAUL PADILLA, P.E.  
DESIGNED BY:  
JDS  
ALBUQUERQUE REF. #

WCEA NO.:  
X5-714-012  
DATE:  
JUNE 24, 2005  
SHEET NO:  
**TCL-1**

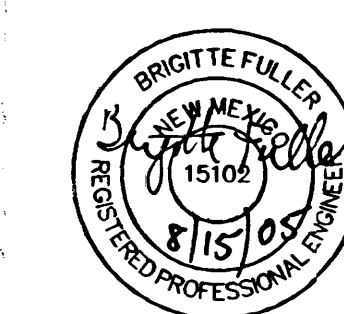




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TRAFFIC CIRCULATION LAYOUT  
APPROVED  
Signed: [Signature] 8/24/05  
D.L.S.

LEGEND	
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RECEIVED  
SEP 14 2005  
HYDROLOGY SECTION

**TRAFFIC CIRCULATION LAYOUT**

08/09/05

**WILSON & COMPANY**  
3950 FOSSIL CREEK BLVD.  
FORT WORTH, TEXAS 76137  
817-232-2248  
817-232-4909 FAX

**GOLDEN CORRAL**  
10415 E. CENTRAL AVE. & EUBANK BLVD.  
CITY OF ALBUQUERQUE, NEW MEXICO

**TRAFFIC CIRCULATION LAYOUT**

**REVISIONS**

CITY SUBMITTAL #	DATE
	8/09/05

PROJECT ENGINEER  
**PAUL PADILLA, P.E.**

DESIGNED BY:  
**JDS**

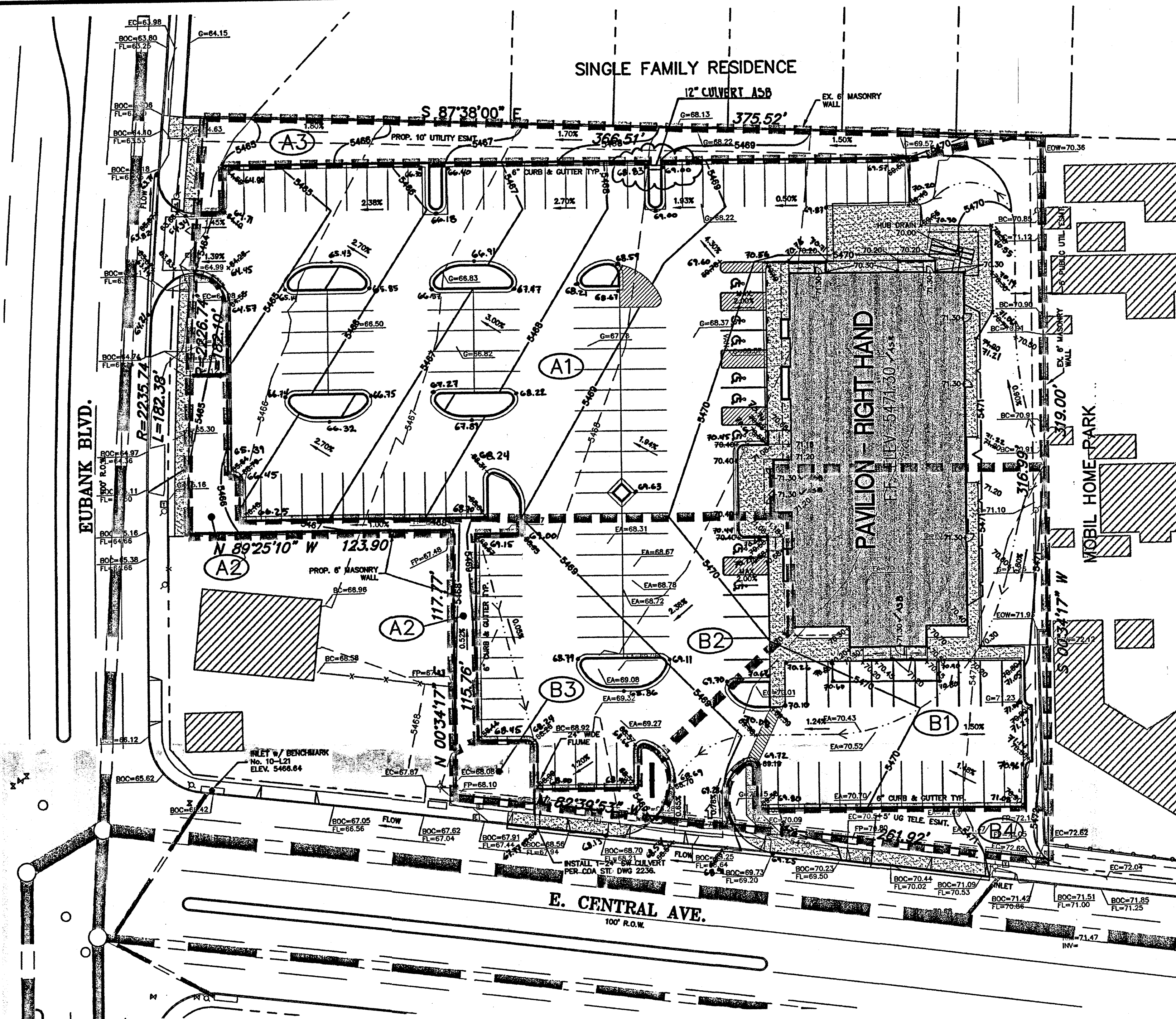
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WCEA NO.:  
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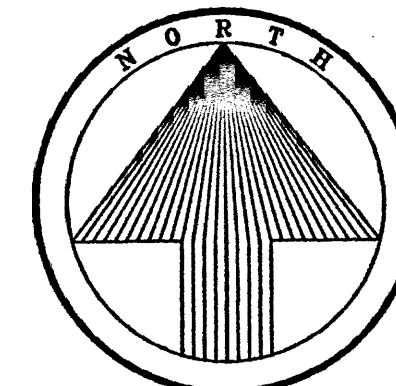




- LEGEND**
- 5471 — PROPOSED CONTOURS
  - 5472 — EXISTING CONTOURS
  - FLOW ARROW
  - +78.50 PROP. SPOT ELEV.

■ DRAINAGE BOUNDARY

(B2) DRAINAGE AREA



30 15 0 30 60  
1" = 30'

**GRADING NOTES**

- CONTRACTOR MUST PROVIDE DUST CONTROL AT ALL TIMES. CONTRACTOR MUST KEEP PUBLIC STREETS CLEAR OF SOIL, MUD, AND DEBRIS AT ALL TIMES.
- CONTRACTOR MUST PREVENT DAMAGE BY DRAINAGE DURING GRADING CONSTRUCTION.
- CONTRACTOR MUST CORRECT ANY DAMAGE TO PUBLIC OR PRIVATE PROPERTY THAT RESULTS FROM WORK DONE UNDER THE APPROVAL OF THIS PERMIT.
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- RECORD DRAWINGS OF THE PUBLIC IMPROVEMENTS BY THE DESIGN ENGINEER ARE REQUIRED PRIOR TO FINAL ACCEPTANCE OF THE PUBLIC IMPROVEMENTS.

**GENERAL NOTES**

- REMOVE ALL VEGETATION, REFUSE OR EXISTING STRUCTURES IN CONFINES OF BUILDING CONSTRUCTION AND PAVING AREAS PRIOR TO COMMENCEMENT OF WORK.
- IN THE EVENT THAT ROCK IS ENCOUNTERED IN THE FOUNDATION EXCAVATION, AND IF THIS ROCK MUST BE REMOVED BY DYNAMITE OR COMPRESSOR, THE OWNER WILL REIMBURSE THE CONTRACTOR FOR THE PREDETERMINED COST OF THESE OPERATIONS.
- BACKFILLING OF WALLS IN INTERIOR AREAS WHERE CONCRETE SLAB WILL BEAR ON GRADE SHALL BE GRITS OR BANK RUN GRAVEL, WELL COMPACTED, BROUGHT TO A SUBGRADE OF 8" BELOW FINISH FLOOR LINE.
- BACKFILLING OF EXTERIOR FOUNDATION WALLS SHALL BE CLEAN GRAVEL WELL COMPACTED, BROUGHT TO A SUBGRADE OF 8" BELOW FINISH SIDEWALK PAVING.
- REMAINDER OF SITE SHALL BE GRADED TO ASSURE DRAINAGE OF SURFACE WATER FROM BUILDING.
- REMOVE EXCESS SOILS FROM THE SITE AND LEGALLY DISPOSE.
- GRADES NOT OTHERWISE INDICATED ON THE PLANS SHALL BE UNIFORM LEVELS OR SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE GIVEN. ABRUPT CHANGES IN SLOPES SHALL BE WELL ROUNDED. THE CONTRACTOR IS RESPONSIBLE FOR POSITIVE SITE DRAINAGE.
- SITE FILL SHOULD BE NON-ORGANIC SOILS COMPACTED IN 6" LIFTS TO A MINIMUM OF 95% STANDARD PROCTOR DENSITY.
- ADA ROUTES NOT TO EXCEED 5% RUNNING SLOPE AND 2% CROSS SLOPE. HCAP PARKING AND ACCESS AISLES NOT TO EXCEED 2% SLOPE IN ANY DIRECTION.
- GREASE TRAP SHALL BE TRAFFIC BEARING AND RIM ELEVATIONS SHALL MATCH FINAL PAVING ELEVATION.
- ALL SITE EXCAVATION SHALL BE CONSIDERED UNCLASSIFIED EXCAVATION.
- STORM DRAIN AND OTHER UTILITIES AS SHOWN ON THESE PLANS ARE FROM RECORD DRAWINGS PROVIDED BY THE UTILITY COMPANIES. THE ENGINEER DOES NOT GUARANTEE EITHER THE LOCATION OR ACCURACY. THE CONTRACTOR SHALL VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION.
- ALL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.

**DRAINAGE CERTIFICATION**

I, BRIGITTE M. FULLER, NMPE 15102, OF THE FIRM WILSON & COMPANY, INC. HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 6/28/05. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR TEMPORARY CERTIFICATE OF OCCUPANCY.

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*Brigitte Fuller 9/14/06*  
BRIGITTE M. FULLER, NMPE 15102



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*Brigitte Fuller 12/3/06*  
BRIGITTE M. FULLER, NMPE 15102

**LEGAL DESCRIPTION**

TRACT "A" BELLAMAH'S CENTRAL ADDITION A 2.337 ACRE TRACT OF LAND.

**EXISTING CONDITIONS**

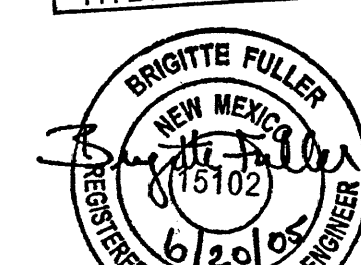
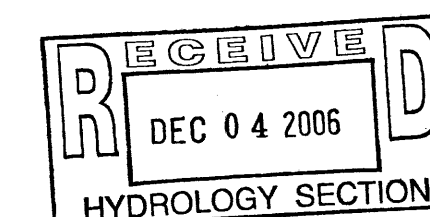
THE PROJECT SITE BEING A 2.337 ACRES OF LAND LOCATED AT THE NE CORNER OF E. CENTRAL AVE. & EUBANK BLVD. CONTAINS A XX SF BUILDING, XX SF OF ASPHALT PARKING AND THE REMAINDER OF THE SITE IS COVERED IN GRAVEL. ALONG THE NORTH AND EAST PROPERTY LINES ARE 6" MASONRY SCREENING WALLS THAT WILL REMAIN AND THEY ACT AS DRAINAGE FLOW BARRIERS. THE MAJORITY OF THE SITES RUNOFF MIGRATES WEST TO EUBANK BLVD. THE REMAINING RUNOFF MIGRATES WEST SOUTHWEST CORNER OF THE STREET INTERSECTION. SURFACE DRAINAGE FLOWING WEST ALONG E. CENTRAL'S NORTH CURB LINE IS INTERCEPTED BY TWO CURB INLETS. ONE IS NEAR THE SE PROPERTY CORNER AND THE SECOND IS NEAR THE STREET INTERSECTION. SURFACE FLOW DRAINING NORTH ALONG THE EAST CURB LINE OF EUBANK IS INTERCEPTED BY A CURB INLET APPROX. 100 FEET NORTH OF THE NW PROPERTY CORNER. NO UNDERGROUND SYSTEM EXIST ON SITE.

**PROPOSED CONDITIONS**

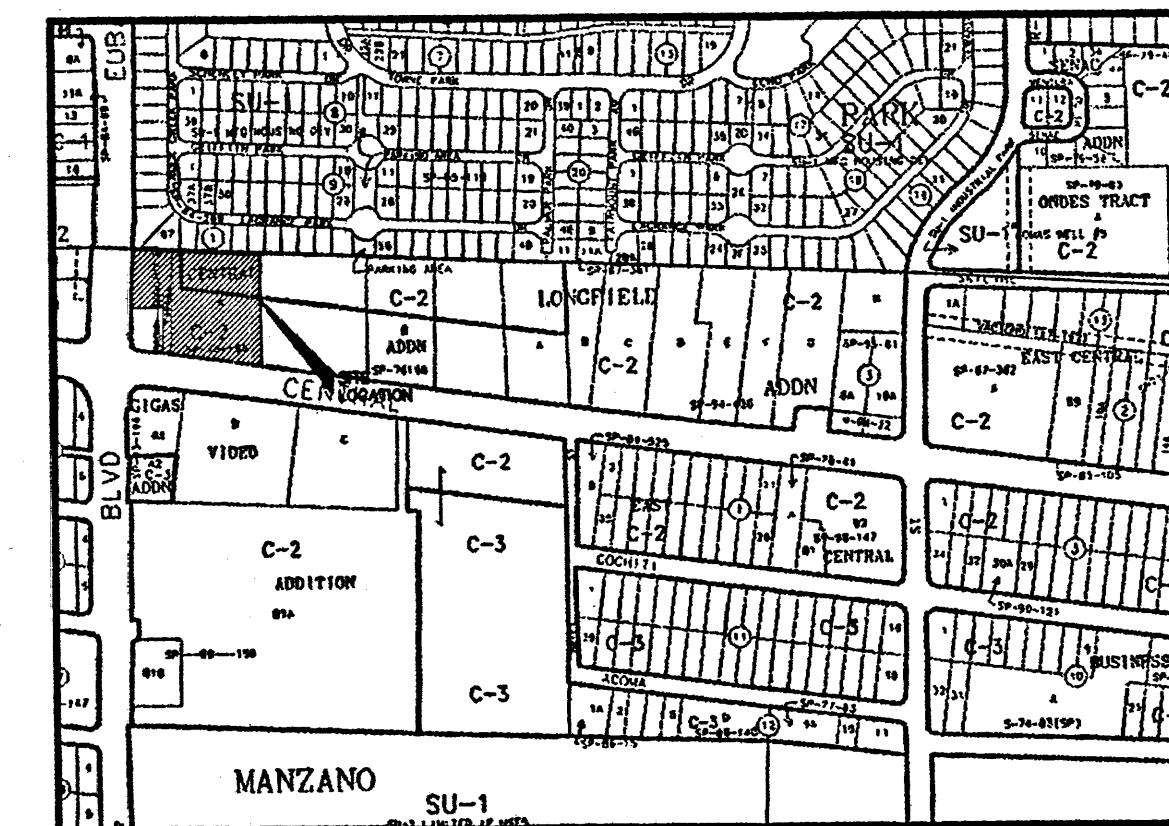
THE PROPOSED CONDITIONS INCLUDE THE CONSTRUCTION OF A GOLDEN CORRAL RESTAURANT. THE BUILDING IS 12,198 SF AND WILL BE SITUATED NEAR THE EAST PROPERTY LINE AND IS BORDERED BY A PROPOSED PARKING LOT TO THE WEST AND SOUTH SIDE OF THE BUILDING. THE PROPOSED DRAINAGE WILL BE ENTIRELY SURFACE FLOW. APPROX. 58 PERCENT THE SITES RUNOFF WILL MIGRATE WEST TO EUBANK AND THE REMAINING 42 PERCENT WILL MIGRATE SOUTH TO E. CENTRAL AVE.

**HYDROLOGY SUMMARY**

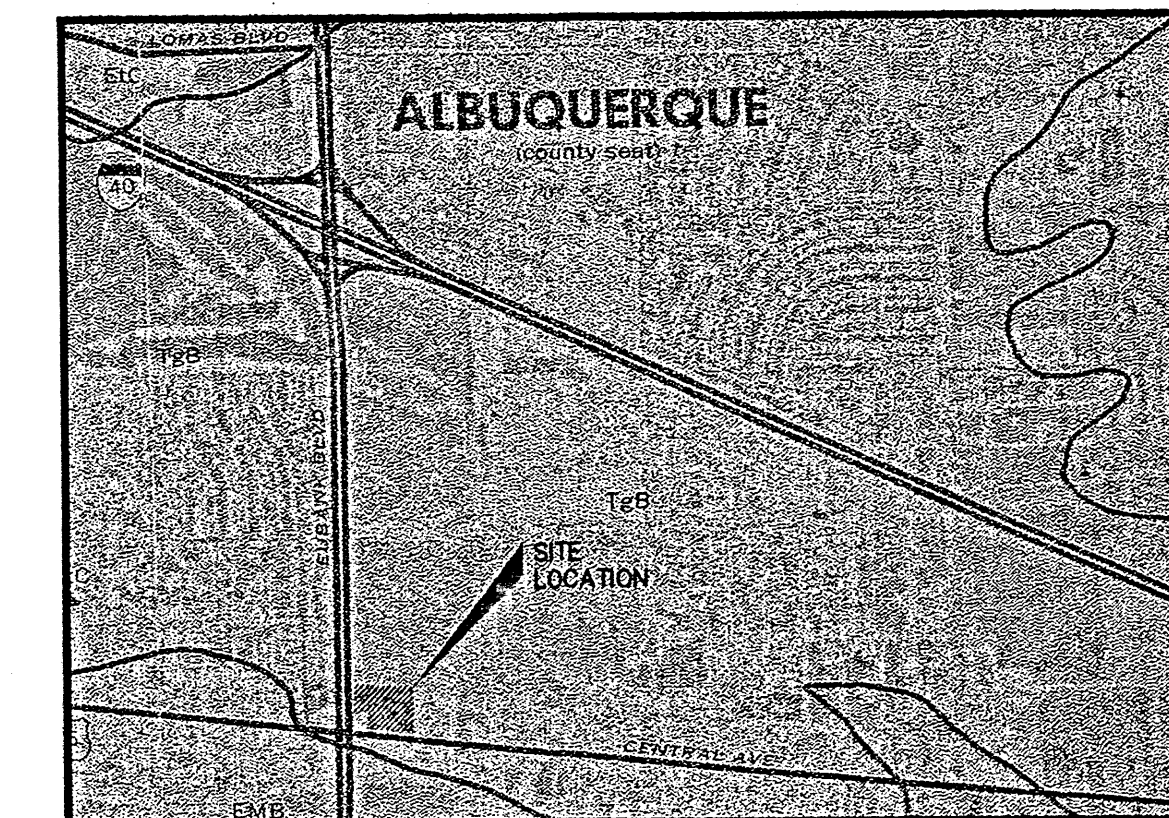
DRAINAGE AREA	AREA (ACRE)	C	Tc (MIN)	Ix (IN/HR)	Qx (CFS)	REMARKS
A1	1.23	0.93	12	5.38	6.15	SURFACE DRAINS TO EUBANK
A2	0.09	0.64	12	5.38	0.21	SURFACE DRAINS TO EUBANK
A3	0.13	0.64	12	5.38	0.30	SURFACE DRAINS TO EUBANK
B1	0.45	0.93	12	5.38	2.25	SURFACE DRAINS TO CENTRAL
B2	0.30	0.93	12	5.38	1.50	SURFACE DRAINS TO CENTRAL
B3	0.04	0.64	12	5.38	0.09	SURFACE DRAINS TO CENTRAL
B4	0.05	0.64	12	5.38	0.12	SURFACE DRAINS TO CENTRAL



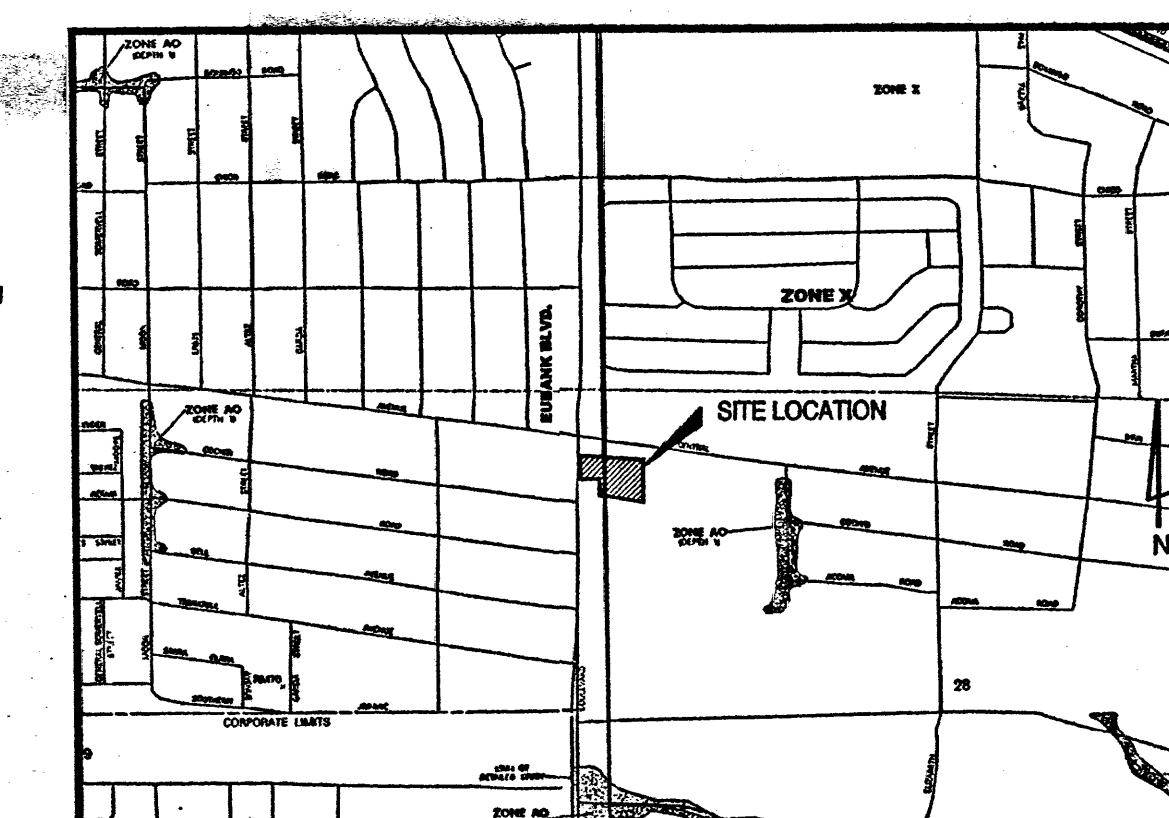
**GRADING PLAN**



**VICINITY MAP**  
REFER TO ZONE ATLAS MAP L-21-Z



**SOILS MAP**  
REFERENCE: SCS BERNALILLO COUNTY SOIL SURVEY  
SHEET NO. 32



**FLOOD INSURANCE MAP**  
REFERENCE: FIRM MAP # 35001C0358 D

**WILSON & COMPANY**  
3950 FOSSIL CREEK BLVD.  
SUITE 106  
FORT WORTH, TEXAS 76137  
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**GOLDEN CORRAL**  
10415 E. CENTRAL AVE. & EUBANK BLVD.  
CITY OF ALBUQUERQUE, NEW MEXICO



**REVISIONS**

NO.	DATE	DESCRIPTION

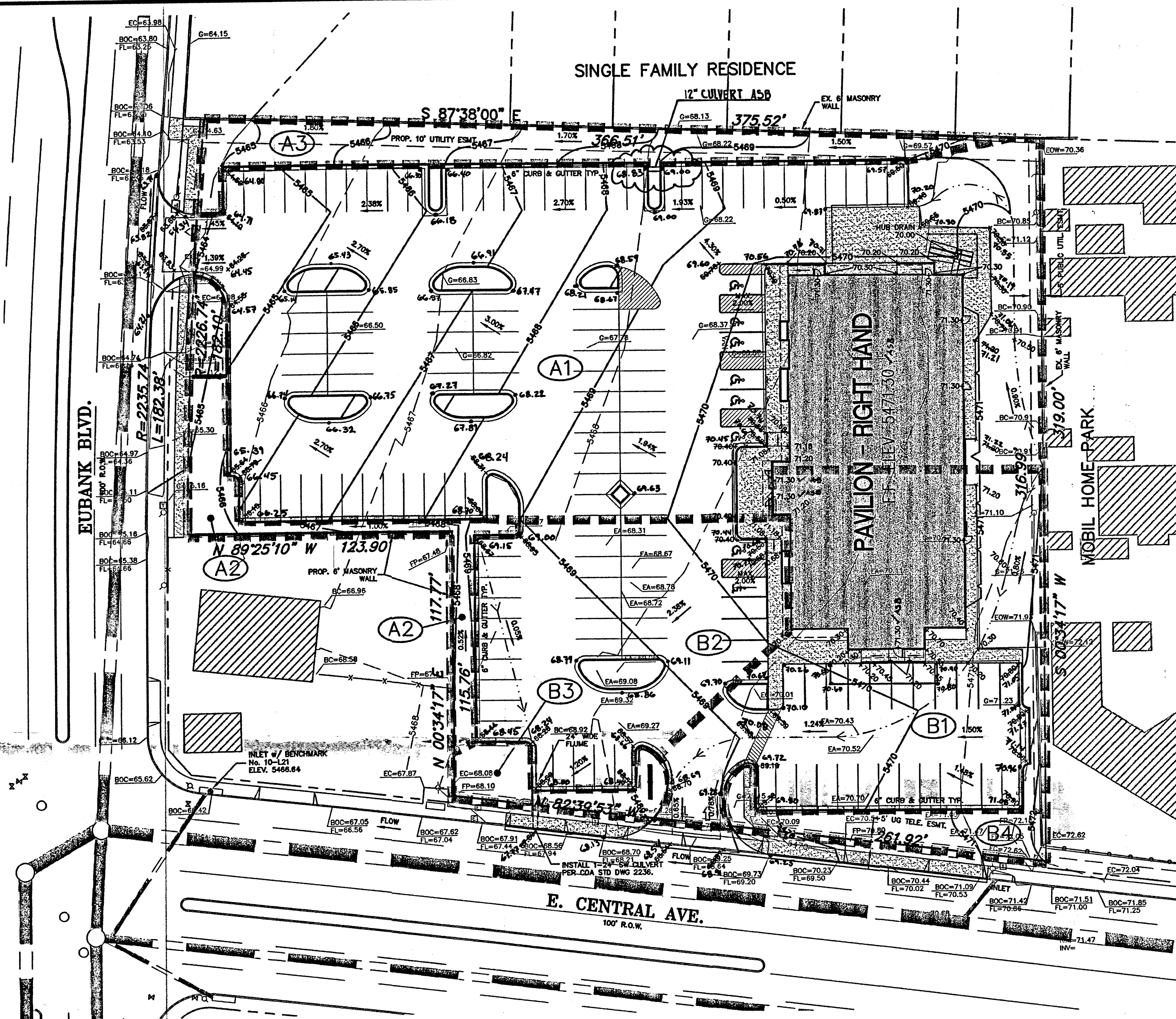
PROJECT ENGINEER  
PAUL PADILLA, P.E.  
DESIGNED BY:  
JDS  
ALBUQUERQUE REF. #  
?? (DR04-52) ??  
WCEA NO.:  
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SHEET NO:

**GD 1**





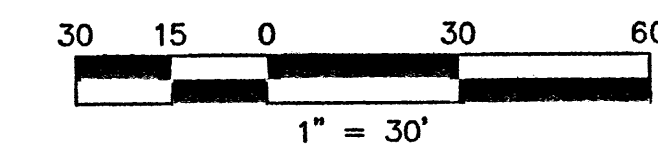
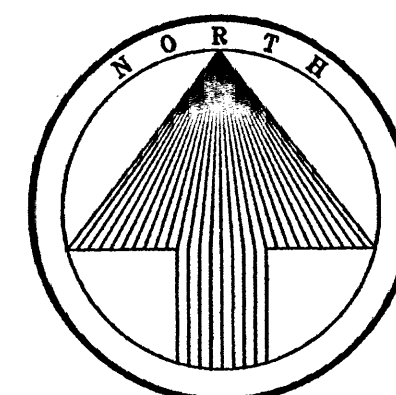




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■ DRAINAGE BOUNDARY

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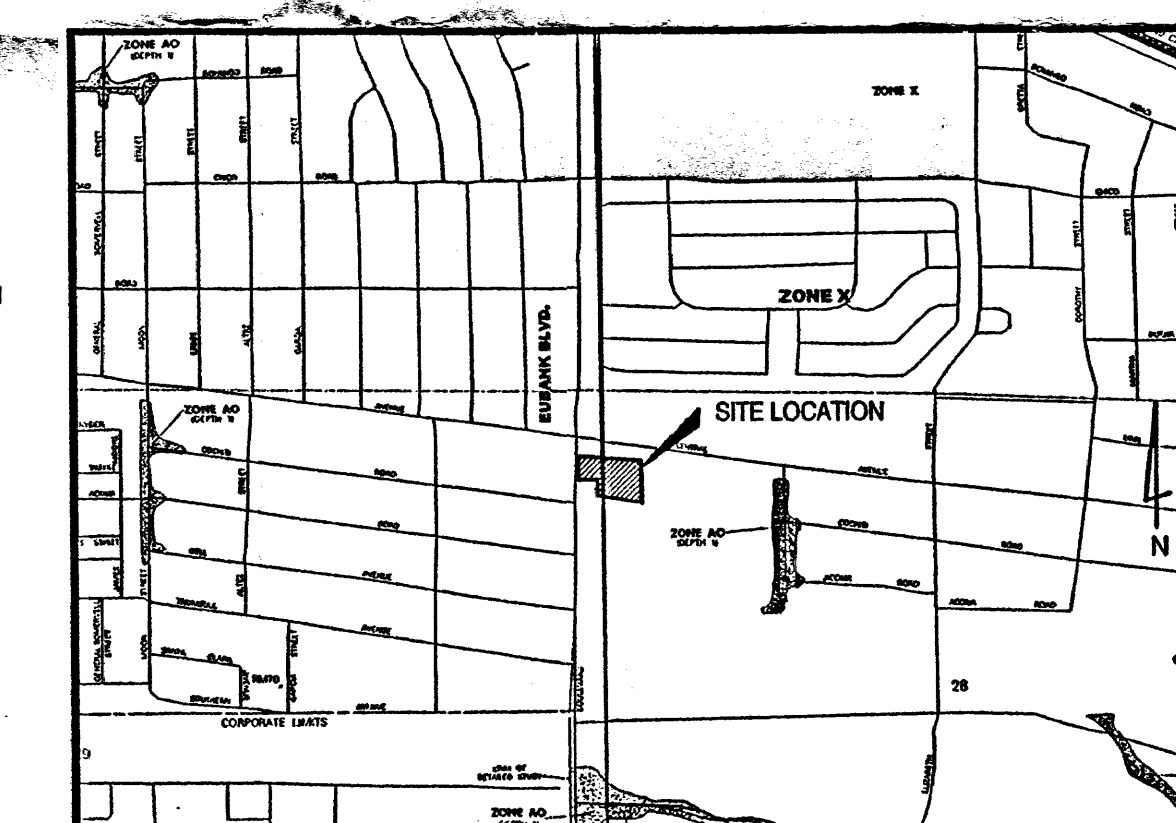
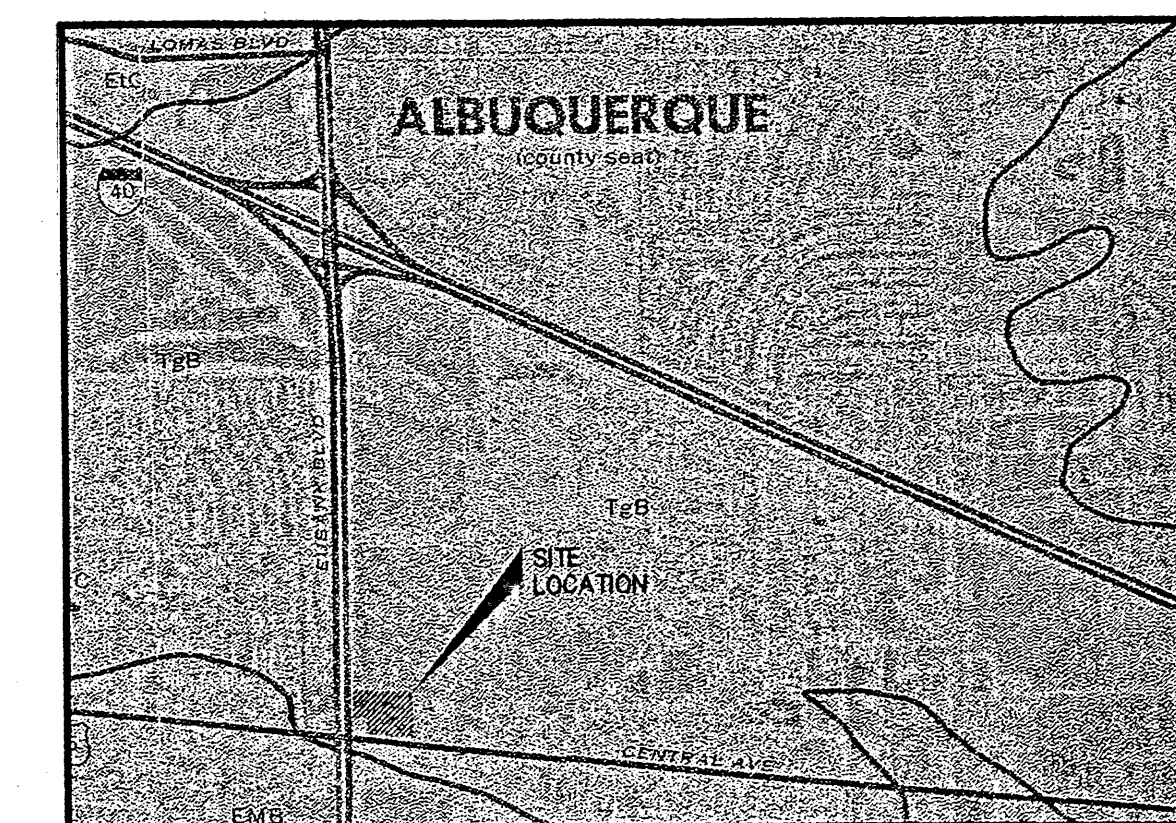
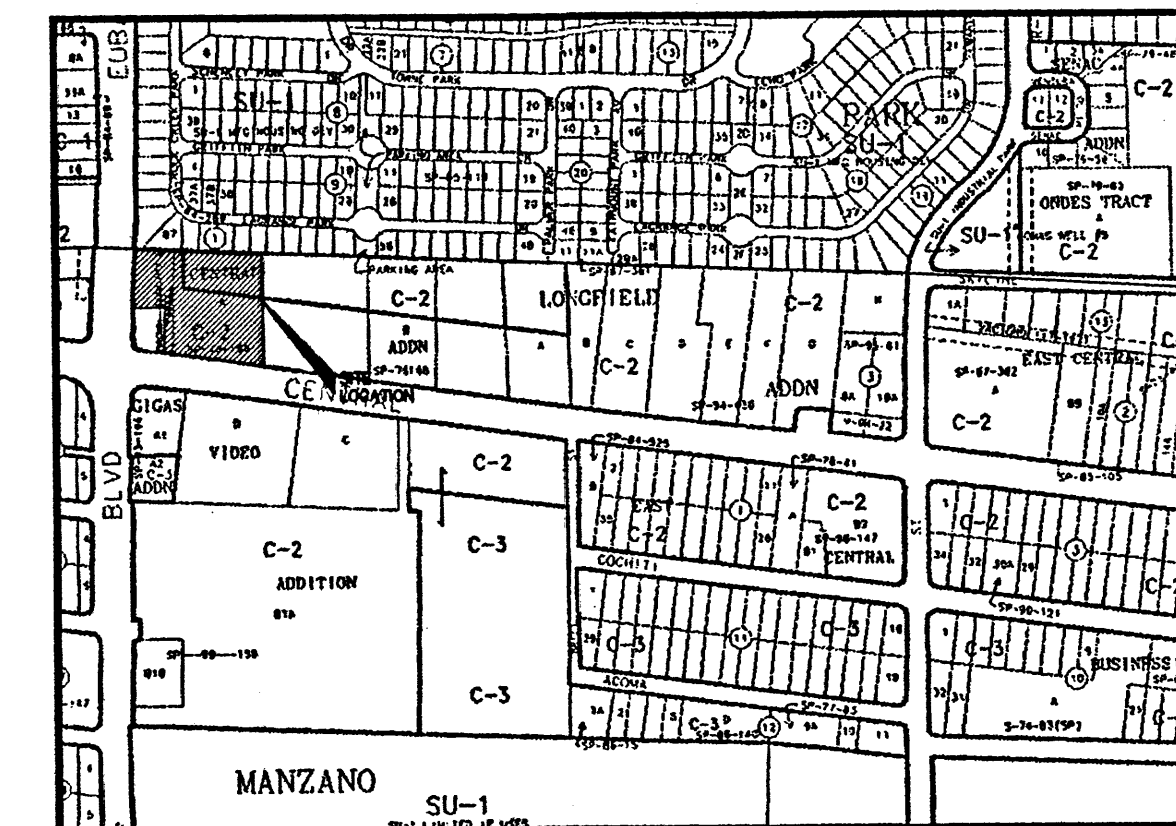


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- RECORD DRAWINGS OF THE PUBLIC IMPROVEMENTS BY THE DESIGN ENGINEER ARE REQUIRED PRIOR TO FINAL ACCEPTANCE OF THE PUBLIC IMPROVEMENTS.

**GENERAL NOTES**

- REMOVE ALL VEGETATION, REFUSE OR EXISTING STRUCTURES IN CONFINES OF BUILDING CONSTRUCTION AND PAVING AREAS PRIOR TO COMMENCEMENT OF WORK.
- IN THE EVENT THAT ROCK IS ENCOUNTERED IN THE FOUNDATION EXCAVATION, AND IF THIS ROCK MUST BE REMOVED BY DYNAMITE OR COMPRESSOR, THE OWNER WILL REIMBURSE THE CONTRACTOR FOR THE PREDETERMINED COST OF THESE OPERATIONS.
- BACKFILLING OF WALLS IN INTERIOR AREAS WHERE CONCRETE SLAB WILL BEAR ON GRADE SHALL BE GRITS OR BANK RUN GRAVEL, WELL COMPACTED, BROUGHT TO A SUBGRADE OF 8" BELOW FINISH FLOOR LINE.
- BACKFILLING OF EXTERIOR FOUNDATION WALLS SHALL BE CLEAN GRAVEL WELL COMPACTED, BROUGHT TO A SUBGRADE OF 8" BELOW FINISH SIDEWALK PAVING.
- REMAINDER OF SITE SHALL BE GRADED TO ASSURE DRAINAGE OF SURFACE WATER FROM BUILDING.
- REMOVE EXCESS SOILS FROM THE SITE AND LEGALLY DISPOSE.
- GRADES NOT OTHERWISE INDICATED ON THE PLANS SHALL BE UNIFORM LEVELS OR SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE GIVEN, ABRUPT CHANGES IN SLOPES SHALL BE WELL ROUNDED. THE CONTRACTOR IS RESPONSIBLE FOR POSITIVE SITE DRAINAGE.
- SITE FILL SHOULD BE NON-ORGANIC SOILS COMPACTED IN 6" LIFTS TO A MINIMUM OF 98% STANDARD PROCTOR DENSITY.
- ADA ROUTES NOT TO EXCEED 5% RUNNING SLOPE AND 2% CROSS SLOPE. HCAP PARKING AND ACCESS AISLES NOT TO EXCEED 2% SLOPE IN ANY DIRECTION.
- GREASE TRAP SHALL BE TRAFFIC BEARING AND RIM ELEVATIONS SHALL MATCH FINAL PAVING ELEVATION.
- ALL SITE EXCAVATION SHALL BE CONSIDERED UNCLASSIFIED EXCAVATION.
- STORM DRAIN AND OTHER UTILITIES AS SHOWN ON THESE PLANS ARE FROM RECORD DRAWINGS PROVIDED BY THE UTILITY COMPANIES. THE ENGINEER DOES NOT GUARANTEE EITHER THE LOCATION OR ACCURACY. THE CONTRACTOR SHALL VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION.
- ALL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.



**LEGAL DESCRIPTION**

TRACT "A" BELLAMAH'S CENTRAL ADDITION A 2.337 ACRE TRACT OF LAND.

**EXISTING CONDITIONS**

THE PROJECT SITE BEING A 2.337 ACRES OF LAND LOCATED AT THE NE CORNER OF E. CENTRAL AVE. & EUBANK BLVD. CONTAINS A XX SF BUILDING, XX SF OF ASPHALT PARKING AND THE REMAINDER OF THE SITE IS COVERED IN GRAVEL. ALONG THE NORTH AND EAST PROPERTY LINES ARE 6" MASONRY SCREENING WALLS THAT WILL REMAIN AND THEY ACT AS DRAINAGE FLOW BARRIERS. THE MAJORITY OF THE SITES RUNOFF MIGRATES WEST TO EUBANK BLVD. THE REMAINING RUNOFF MIGRATES WEST SOUTHWEST TO E. CENTRAL AND/OR AN ADJACENT PROPERTY OCCUPYING THE IMMEDIATE NE CORNER OF THE STREET INTERSECTION. SURFACE DRAINAGE FLOWING WEST ALONG E. CENTRAL'S NORTH CURB LINE IS INTERCEPTED BY TWO CURB INLETS. ONE IS NEAR THE SE PROPERTY CORNER AND THE SECOND IS NEAR THE STREET INTERSECTION. SURFACE FLOW DRAINING NORTH ALONG THE EAST CURB LINE OF EUBANK IS INTERCEPTED BY A CURB INLET APPROX. 100 FEET NORTH OF THE NW PROPERTY CORNER. NO UNDERGROUND SYSTEM EXIST ON SITE.

**PROPOSED CONDITIONS**

THE PROPOSED CONDITIONS INCLUDE THE CONSTRUCTION OF A GOLDEN CORRAL RESTAURANT. THE BUILDING IS 12,198 SF AND WILL BE SITUATED NEAR THE EAST PROPERTY LINE AND IS BORDERED BY A PROPOSED PARKING LOT TO THE WEST AND SOUTH SIDE OF THE BUILDING. THE PROPOSED DRAINAGE WILL BE ENTIRELY SURFACE FLOW. APPROX. 58 PERCENT THE SITES RUNOFF WILL MIGRATE WEST TO EUBANK AND THE REMAINING 42 PERCENT WILL MIGRATE SOUTH TO E. CENTRAL AVE.

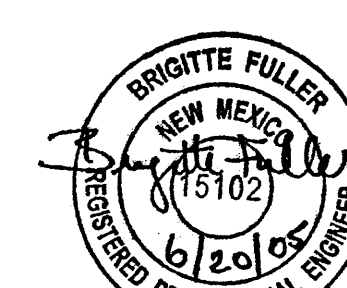
I, BRIGITTE M. FULLER, NMPE 15102, OF THE FIRM WILSON & COMPANY, INC. HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 6/2005. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR TEMPORARY CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

*Brigitte Fuller 9/14/06*  
BRIGITTE M. FULLER, NMPE 15102



HYDROLOGY SUMMARY						
DRAINAGE AREA	AREA (ACRE)	C	T <sub>c</sub> (MIN)	I <sub>x</sub> (IN/HR)	Q <sub>x</sub> (CFS)	REMARKS
A1	1.23	0.93	12	5.38	6.15	SURFACE DRAINS TO EUBANK
A2	0.09	0.64	12	5.38	0.21	SURFACE DRAINS TO EUBANK
A3	0.13	0.64	12	5.38	0.30	SURFACE DRAINS TO EUBANK
B1	0.45	0.93	12	5.38	2.25	SURFACE DRAINS TO CENTRAL
B2	0.30	0.93	12	5.38	1.50	SURFACE DRAINS TO CENTRAL
B3	0.04	0.64	12	5.38	0.09	SURFACE DRAINS TO CENTRAL
B4	0.05	0.64	12	5.38	0.12	SURFACE DRAINS TO CENTRAL



GRADING PLAN

**WILSON & COMPANY**  
3950 FOSSIL CREEK BLVD.  
SUITE 108 NORTH, TEXAS 76137  
FORT WORTH, TEXAS 76137  
817-232-4908 FAX  
817-232-4908

**GOLDEN CORRAL**  
10415 E. CENTRAL AVE. & EUBANK BLVD.  
CITY OF ALBUQUERQUE, NEW MEXICO  
**GRADING PLAN**



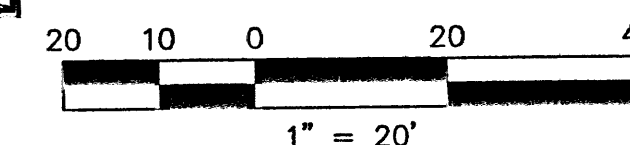
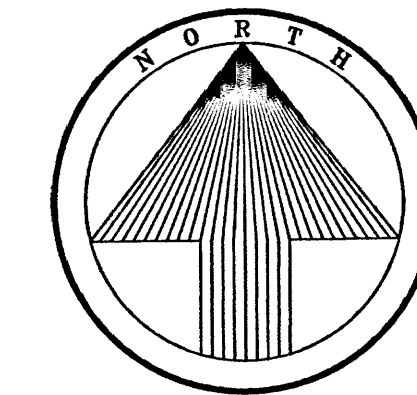
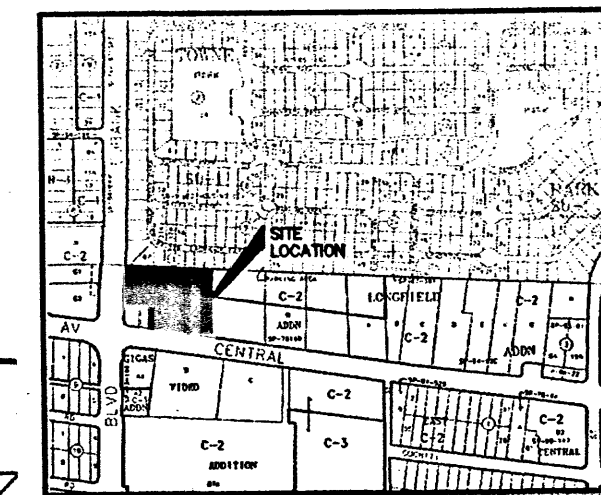
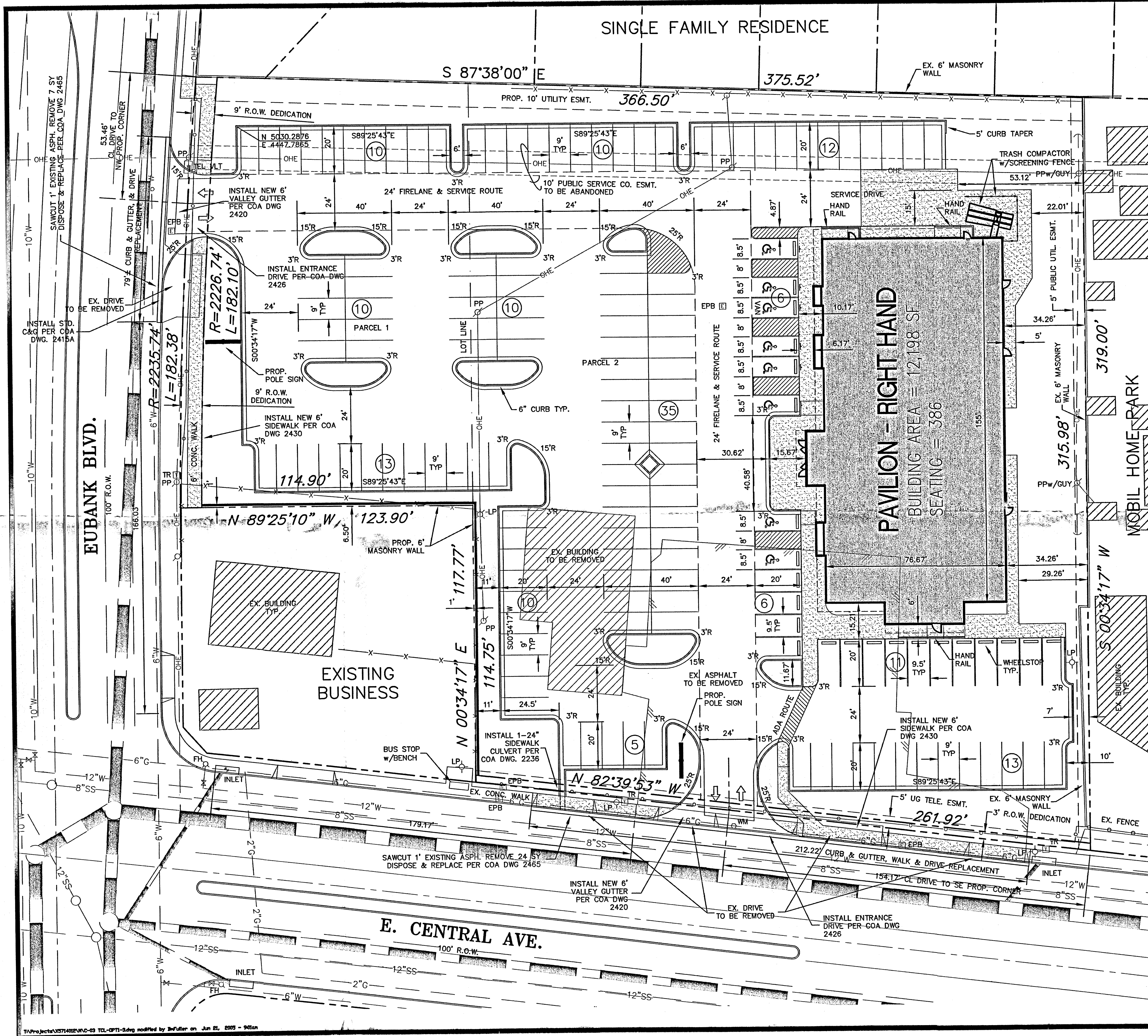
**REVISIONS**

NO.	DESCRIPTION	DATE

PROJECT ENGINEER  
PAUL PADILLA, P.E.  
DESIGNED BY:  
JDS  
ALBUQUERQUE REF. #  
?? (DR04-52) ??  
WCEA NO.:  
X5-714-012  
DATE:  
JUNE 2005  
SHEET NO:

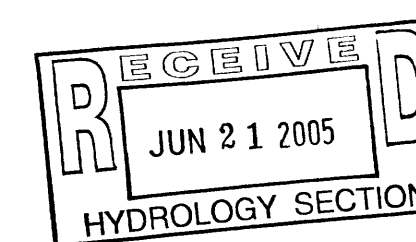
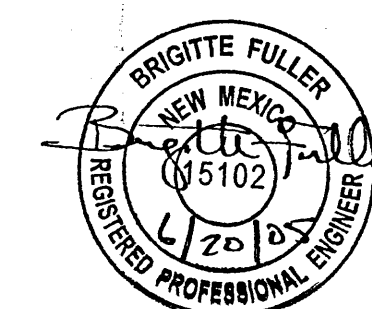
**GD 1**





SITE DATA SUMMARY TABLE	
ZONING	C-7
SITE ADDRESS	10415 E. CENTRAL AVE.
PROPOSED USE	= RESTAURANT
SQUARE FOOTAGE OF PROPOSED USE	= 12,198 SQ. FT.
TOTAL SITE AREA	= 100.800 SQ. FT. = 2.337 ACRES
NET SITE AREA	= 98.282 SQ. FT. = 2.282 ACRES
R.O.W. DEDICATION	= 0.483 ACRES
FLOOR AREA RATIO	= 12.199/99.399 = 0.123
REQUIRED PARKING SPACES	= 1 PER 4 SEATS = 97 SPACES (SEATING CAPACITY 396)
PROVIDED PARKING SPACES	= 151 TOTAL
REQUIRED PARKING SPACES (HANDICAP)	= 8
PROVIDED PARKING SPACES (HANDICAP)	= 8
PERVIOUS AREA	= 26,869 SQ. FT. (0.617 ACRES)
IMPERVIOUS AREA	= 74,944 SQ. FT. (1.72 ACRES)
LANDSCAPE PERCENTAGE	= 26%
REQUIRED LANDSCAPE PERCENTAGE	= 15%

<p>                       </p>	<p>PARKING SPACES</p> <p>PROP. LIGHTING</p> <p>PROP. GAS VALVE</p> <p>PROP. GREASE TRAP</p> <p>PROP. SAN. SEWER CLEANOUT</p> <p>TRANSFORMER</p> <p>PROP. WATER VALVE</p> <p>PROP. FIRE HYDRANT</p> <p>PROP. FIRE DEPT. CONNECTION</p> <p>PROP. WATER METER</p> <p>PROP. IRRIG. BACKFLOW PREVENTOR</p> <p>PROP. COLD WATER LINE</p> <p>PROP. FIRE SERVICE LINE</p> <p>PROP. SANITARY SEWER LINE</p> <p>PROP. GAS LINE</p> <p>PROP. UNDERGROUND ELECT.</p> <p>PROP. OVERHEAD ELECT. LINE</p> <p>PROP. TELEPHONE CABLE</p> <p>PROP. CABLE T.V.</p>
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## TRAFFIC CIRCULATION LAYOUT

**WILSON  
& COMPANY**  
3950 FOSSIL CREEK BLVD.  
SUITE 106  
FORT WORTH, TEXAS 76137  
817-232-2248  
817-232-4909 FAX

**GOLDEN CORRAL**  
10415 E. CENTRAL AVE. & EUBANK BLVD.  
CITY OF ALBUQUERQUE, NEW MEXICO

**TRAFFIC CIRCULATION LAYOUT**

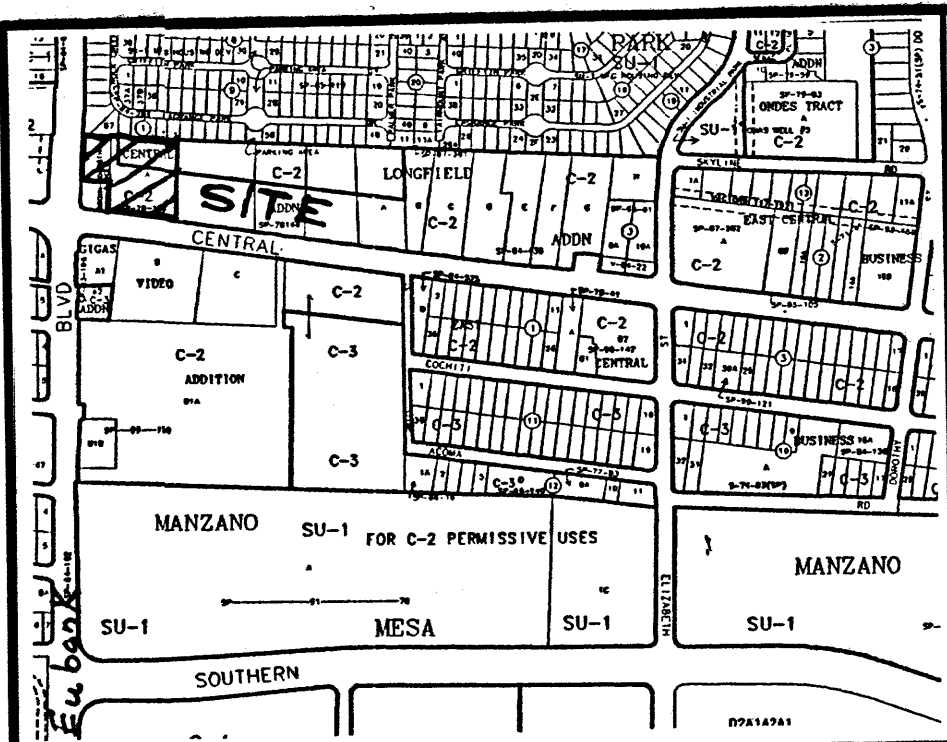


## REVISIONS

PROJECT ENGINEER PAUL PADILLA, P.E.
DESIGNED BY: JDS
ALBUQUERQUE REF. # ?? (DR04-52) ??
WCEA NO.: X5-714-012
DATE: JUNE 2005
SHEET NO:

## TCL-1





VICINITY MAP No. L-21

#### LEGAL DESCRIPTION

TRACT LETTERED "A" OF BELLAMAH'S CENTRAL ADDITION, IN THE NORTHWEST 1/4, NORTHWEST 1/4 OF SECTION 28, TOWNSHIP 10 NORTH, RANGE 4 EAST, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MARCH 23, 1978 IN MAP BOOK VOLUME DB, FOLIO 98.

TOGETHER WITH

THE DORTHOBY E. BROWN PARCEL, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JULY 7, 1966 IN BOOK B4, PAGE 57 BEGINNING AT THE SOUTHEAST CORNER OF THE HEREON DESCRIBED TRACT, BEING A POINT ON THE NORTHERLY LINE OF CENTRAL AVENUE, WHENCE CITY OF ALBUQUERQUE CONTROL STATION "6-L21" HAVING NEW MEXICO STATE PLANE COORDINATES OF (CENTRAL ZONE, NAD 1927)  $x=417,975.01$  AND  $y=1,481,220.09$  BEARS S. 81 deg. 04' 00" E., A DISTANCE OF 1908.91 FEET RUNNING;

THENCE N. 82 deg. 39' 53" W., ALONG THE NORTHERLY LINE OF CENTRAL AVENUE, A DISTANCE OF 261.92 FEET TO THE SOUTHWEST CORNER;

THENCE N. 00 deg. 34' 17" E., A DISTANCE OF 117.77 FEET TO A POINT;

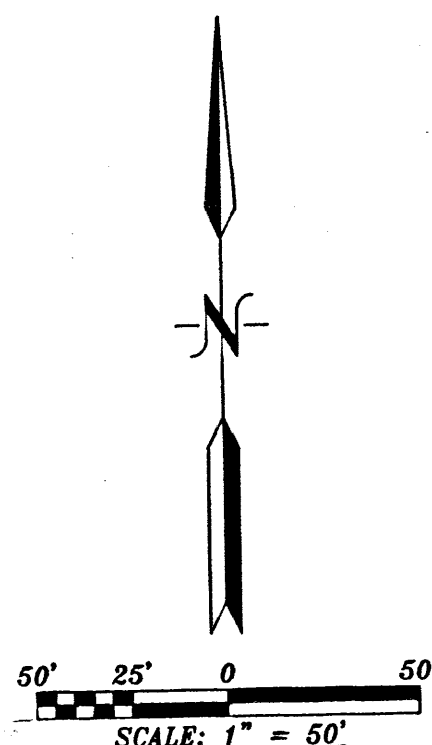
THENCE N. 89 deg. 25' 10" W., A DISTANCE OF 123.87 FEET TO A POINT ON THE EASTERLY LINE OF EUBANK BOULEVARD;

THENCE ALONG THE EASTERLY LINE OF EUBANK BOULEVARD, 182.38 FEET. ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 2,235.74 FEET AND A CHORD BEARING AND DISTANCE OF N. 03 deg. 17' 41" E., 182.33 FEET TO THE NORTHWEST CORNER;

THENCE S. 87 deg. 38' 00" E., A DISTANCE OF 375.52 FEET TO THE NORTHEAST CORNER;

THENCE S. 00 deg. 34' 17" W., A DISTANCE OF 319.00 FEET TO THE SOUTHEAST CORNER AND PLACE OF BEGINNING CONTAINING 2.2817 ACRES MORE OR LESS.

N.T.S.



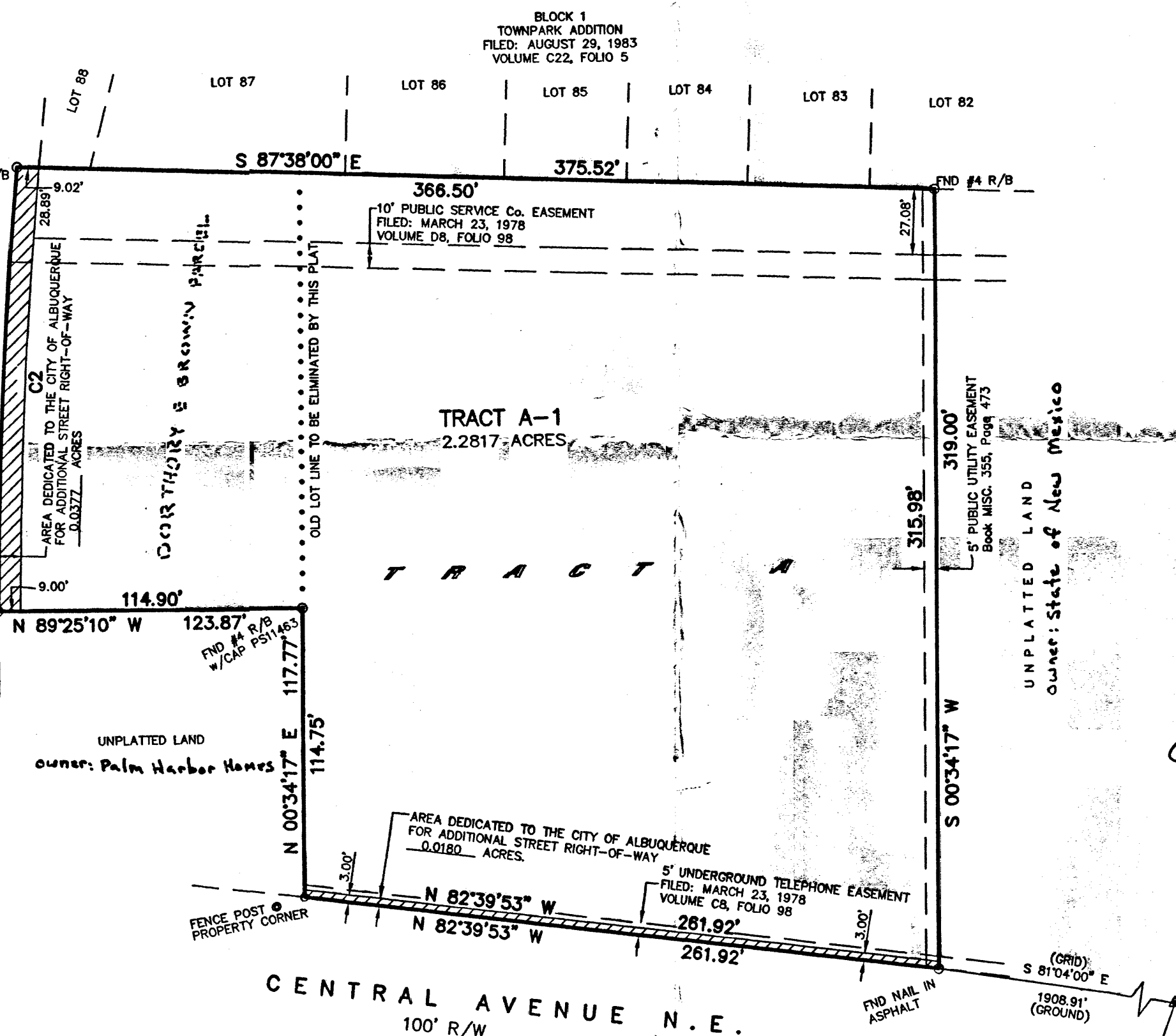
#### PURPOSE OF PLAT:

THE PURPOSE OF THIS PLAT IS TO COMBINE THE TWO (2) TRACTS INTO ONE (1) TRACTS, DEDICATE ADDITIONAL STREET RIGHT-OF-WAY AND GRANT ANY EASEMENTS AS SHOWN.

#### GENERAL NOTES:

- 1: UNLESS NOTED, No. 4 REBAR WITH CAP STAMPED P.S.#11463 WERE SET AT ALL PROPERTY CORNERS.
- 2: THIS PLAT SHOWS ALL EASEMENTS OF RECORD.
- 3: TOTAL AREA OF PROPERTY: 2.3373 ACRES.
- 4: TALOS LOG No. 2005317645
- 5: BASIS OF BEARINGS IS THE NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD 1927.
- 6: DISTANCES ARE GROUND, BEARINGS ARE GRID.
- 7: BEARINGS AND DISTANCES SHOWN IN PARENTHESES ARE RECORD.
- 8: DATE OF FIELD WORK: MAY, 2005
- 9: CURRENT ZONING: C-2

EUBANK BOULEVARD N.E.  
106' R/W and VARIES



#### FREE CONSENT

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND PROPRIETOR-THEREOF. SAID OWNER / PROPRIETOR DOES HEREBY GRANT ANY AND ALL EASEMENTS AS MAY BE CREATED BY THIS PLAT. THOSE SIGNING AS OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED AND ALSO DO DEDICATE TO THE CITY OF ALBUQUERQUE ADDITIONAL RIGHT-OF-WAY IN FEE SIMPLE WITH WARRANTY COVENANTS.

#### ACKNOWLEDGMENT

S.S.  
STATE OF NEW MEXICO )  
COUNTY OF BERNALILLO )

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME A NOTARY PUBLIC

THIS 6th DAY OF July, 2005

BY: Palm Harbor Homes  
OWNERS NAME

MY COMMISSION EXPIRES: 5-5-09 BY: Kathy L. Lewis  
NOTARY PUBLIC



## PLAT OF TRACT A-1 BELLAMAH'S CENTRAL ADDITION WITHIN SECTION 28, TOWNSHIP 10 NORTH, RANGE 4 EAST, N.M.P.M. CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO JUNE, 2005

PROJECT NUMBER: 1004337

APPLICATION NUMBER: 05DRB01177

#### UTILITY APPROVALS:

PNM ELECTRIC SERVICES 7-22-05  
PNM GAS SERVICES 7-22-05  
QWEST TELECOMMUNICATIONS 7-22-05  
COMCAST 7-22-05  
NEW MEXICO UTILITIES N/A 7-22-05

#### CITY APPROVALS:

CITY SURVEYOR 7-19-05  
REAL PROPERTY DIVISION (CONDITIONAL) 7/27/05  
ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL) 7/27/05  
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION 7-27-05  
UTILITIES DEVELOPMENT 7-27-05  
PARKS AND RECREATION DEPARTMENT 7/27/05  
AMAFCA 7/27/05  
CITY ENGINEER 7/27/05  
DRB CHAIRPERSON, PLANNING DEPARTMENT 7/28/05

#### CURVE DATA

C1	C2
R = 2235.74'	R = 2226.74'
D = 04°40'26"	D = 04°41'08"
CB = N 317°41' E	CB = N 318°07' E
CH = 182.33'	CH = 182.05'
L = 182.38'	L = 182.10'

#### SURVEYORS CERTIFICATE:

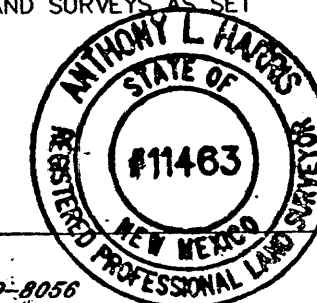
STATE OF NEW MEXICO ) S.S.  
COUNTY OF BERNALILLO )

I, ANTHONY L. HARRIS, A DULY PROFESSIONAL LICENSED LAND SURVEYOR, UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT I AM RESPONSIBLE FOR SAID PLAT AND MEETS THE REQUIREMENTS FOR MONUMENTATION AND SURVEY OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND MEETS THE MINIMUM REQUIREMENTS FOR LAND SURVEYS AS SET FORTH BY THE STATE OF NEW MEXICO.

GIVEN UNDER MY HAND AND SEAL AT ALBUQUERQUE, NEW MEXICO,  
THIS 12th DAY OF July, 2005.

ANTHONY L. HARRIS, P.S. # 11463

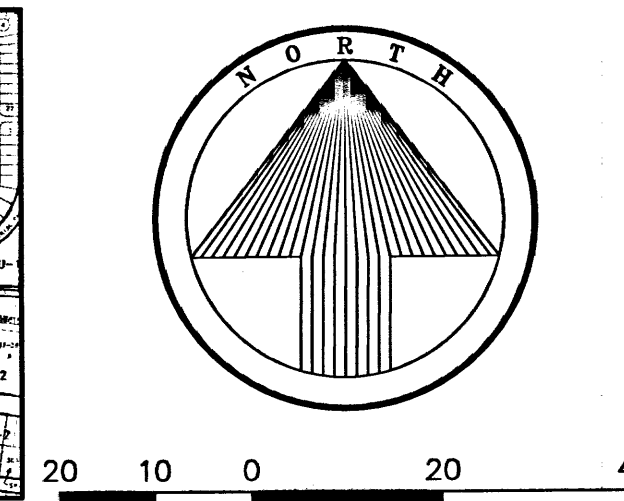
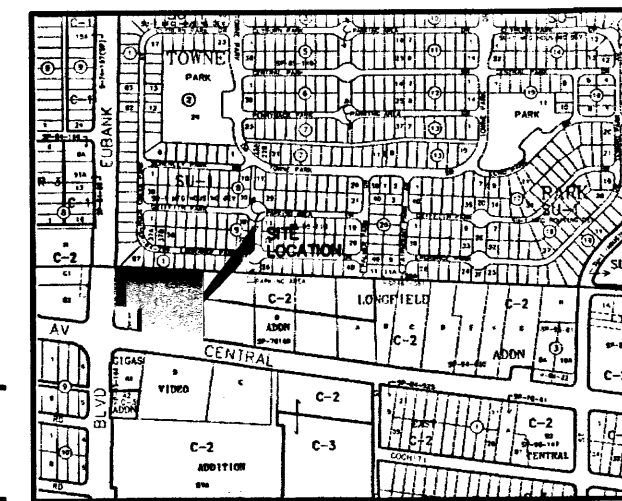
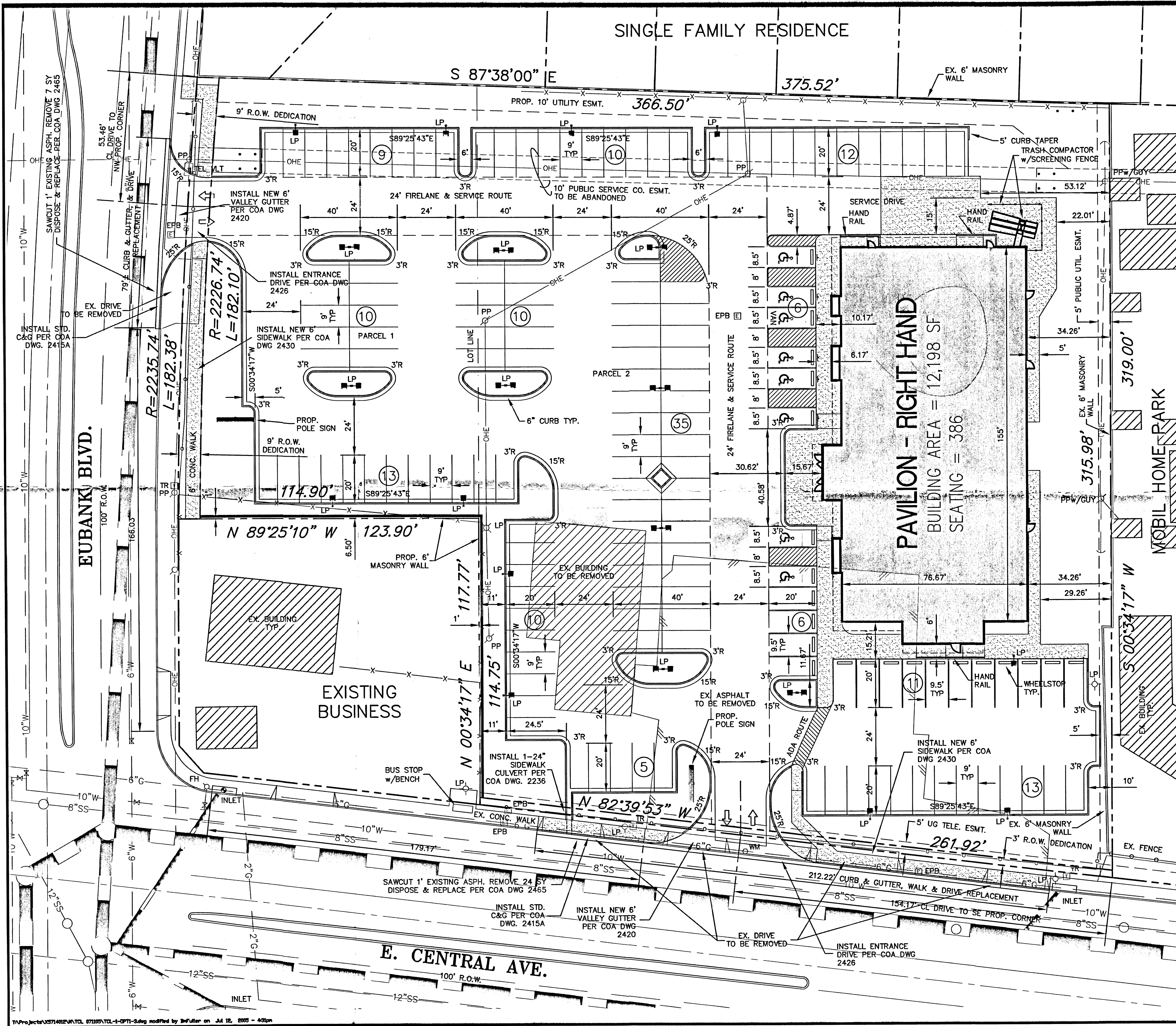
PHONE: (505) 889-8056  
FAX: (505) 889-8645







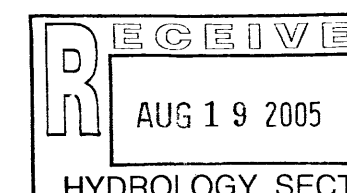
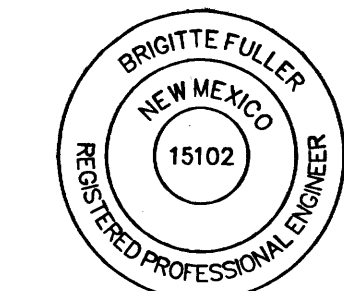




CITY OF ALBUQUERQUE  
"SOLID WASTE"  
MANAGEMENT DEPARTMENT  
APPROVED 7/25/05  
M.H.

SITE DATA SUMMARY TABLE	
ZONING: C-2	
SITE ADDRESS: 10415 E. CENTRAL AVE.	
TRACT A-1	
BELLAMAH'S CENTRAL ADDITION	
PROPOSED USE: RESTAURANT	
SQUARE FOOTAGE OF PROPOSED USE: 12,198 SQ. FT.	
TOTAL SITE AREA = 101,800 SQ. FT. = 2.337 ACRES	
NET SITE AREA = 99,389 SQ. FT. = 2.282 ACRES	
R.O.W. DEDICATION = 0.055 ACRES	
FLOOR AREA RATIO = 12,198/99,389 = 0.123	
REQUIRED PARKING SPACES = 1 PER 4 SEATS = 97 SPACES (SEATING CAPACITY 386)	
PROVIDED PARKING SPACES = 150 TOTAL	
REQUIRED PARKING SPACES (HANDICAP) = 8	
PROVIDED PARKING SPACES (HANDICAP) = 8	
PERVIOUS AREA = 28,869 SQ. FT. (0.617 ACRES)	
IMPERVIOUS AREA = 74,944 SQ. FT. (1.72 ACRES)	
LANDSCAPE PERCENTAGE = 26%	
REQUIRED LANDSCAPE PERCENTAGE = 15%	

LEGEND	
GM	EXIST. GAS VALVE
FH	EXIST. FIRE HYDRANT
PP	EXIST. POWER POLE
LP	EXIST. LIGHT POLE
WM	EXIST. WATER VALVE
EPB	EXIST. WATER METER
TR	EXIST. ELECT. PULL BOX
TELE V.T.	EXIST. TELE RISER
INLET	EXIST. TELE VAULT
	EXIST. STORM INLET
	EXIST. IRRIG. CONTROL VALVE
	EXIST. SEWER MANHOLE
	EXIST. IRRIGATION MANHOLE
	EXIST. WATER LINE
	EXIST. GAS LINE
	EXIST. TELEPHONE LINE
	EXIST. ELECTRIC LINE
	EXIST. STORM DRAIN & INLET
17	PARKING SPACES
LP	PROP. LIGHTING
GM	PROP. GAS VALVE
EPB	PROP. GREASE TRAP
WM	PROP. SAN. SEWER CLEANOUT
TR	TRANSFORMER
FH	PROP. WATER VALVE
FDC	PROP. FIRE HYDRANT
	PROP. FIRE DEPT. CONNECTION
	PROP. WATER METER
	PROP. IRRIG. BACKFLOW PREVENTOR
	PROP. COLD WATER LINE
	PROP. FIRE SERVICE LINE
	PROP. SANITARY SEWER LINE
	PROP. GAS LINE
	PROP. UNDERGROUND ELECT. LINE
	PROP. OVERHEAD ELECT. LINE
	PROP. TELEPHONE CABLE
	PROP. CABLE T.V.



**TRAFFIC CIRCULATION LAYOUT**

07/11/05

**WILSON & COMPANY**  
3950 FOSSIL CREEK BLVD.  
SUITE 100  
BOYD, TEXAS 76137  
817-232-4909 FAX

**GOLDEN CORRAL**  
10415 E. CENTRAL AVE. & EUBANK BLVD.  
CITY OF ALBUQUERQUE, NEW MEXICO

**TRAFFIC CIRCULATION LAYOUT**



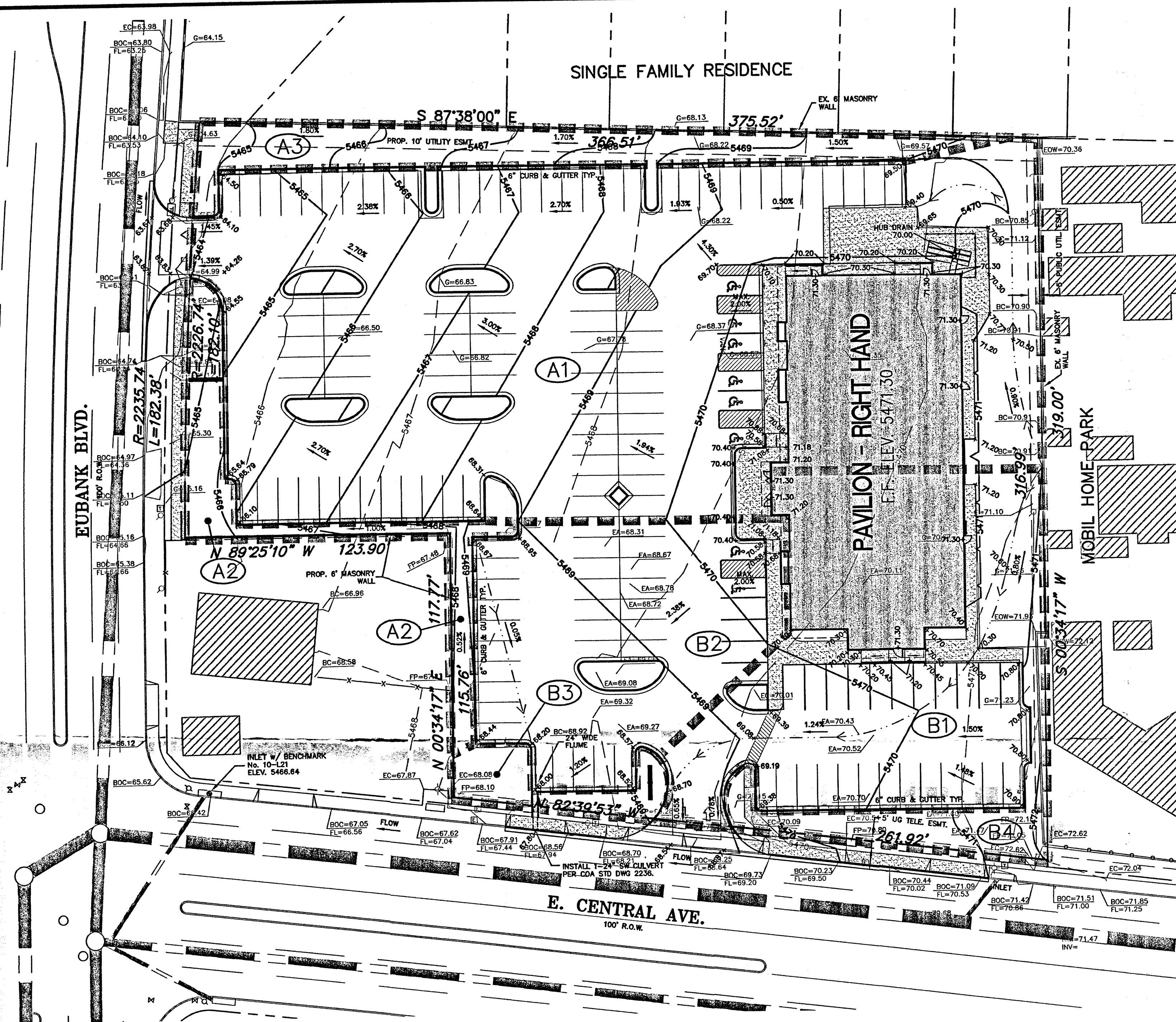
REVISIONS

PROJECT ENGINEER  
PAUL PADILLA, P.E.  
DESIGNED BY:  
JDS  
ALBUQUERQUE REF. #

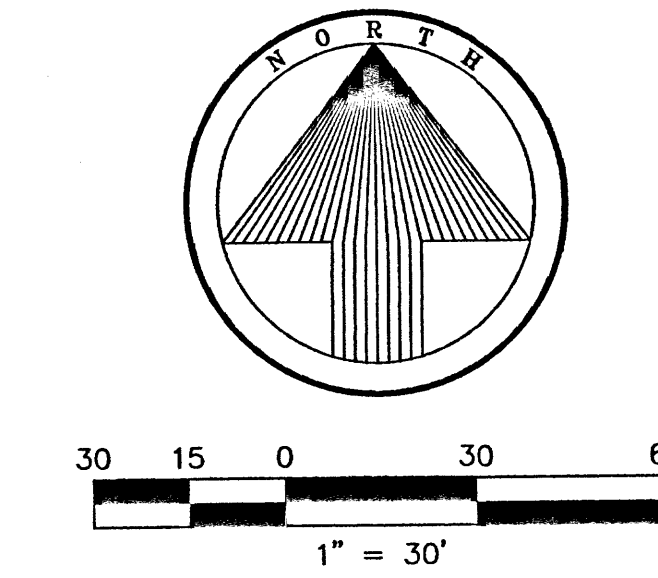
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X5-714-012  
DATE:  
JUNE 24, 2005  
SHEET NO:

**TCL-1**



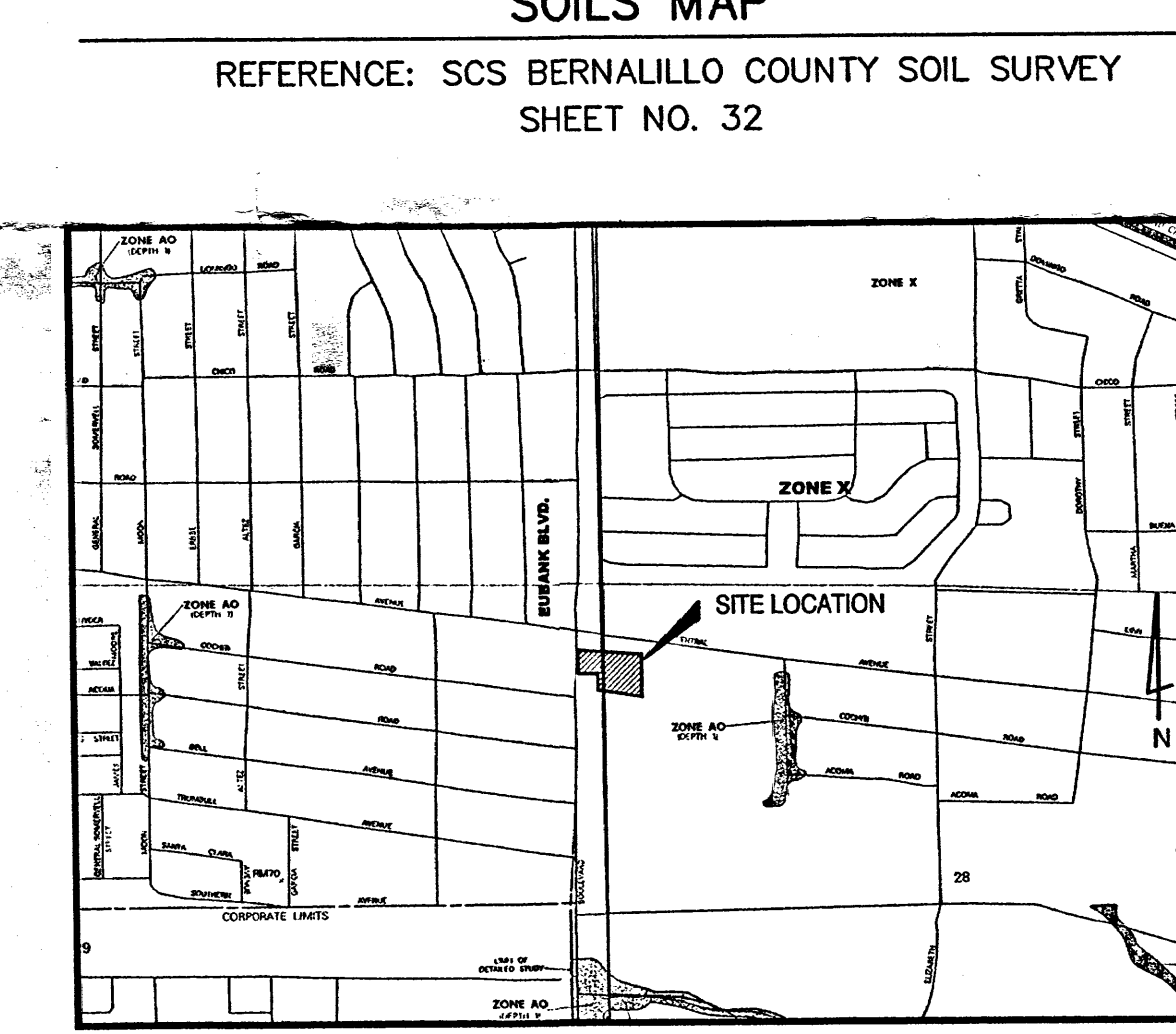
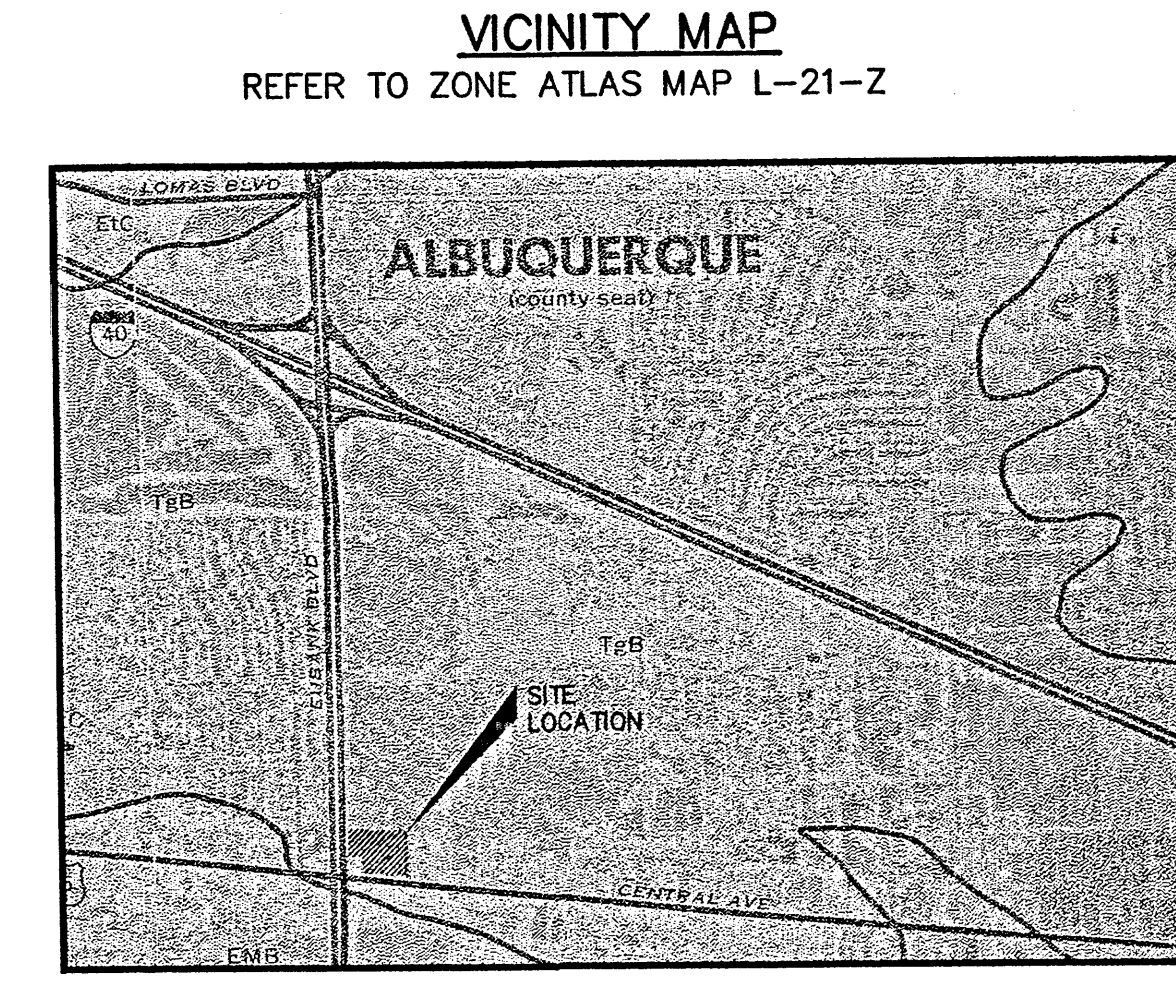
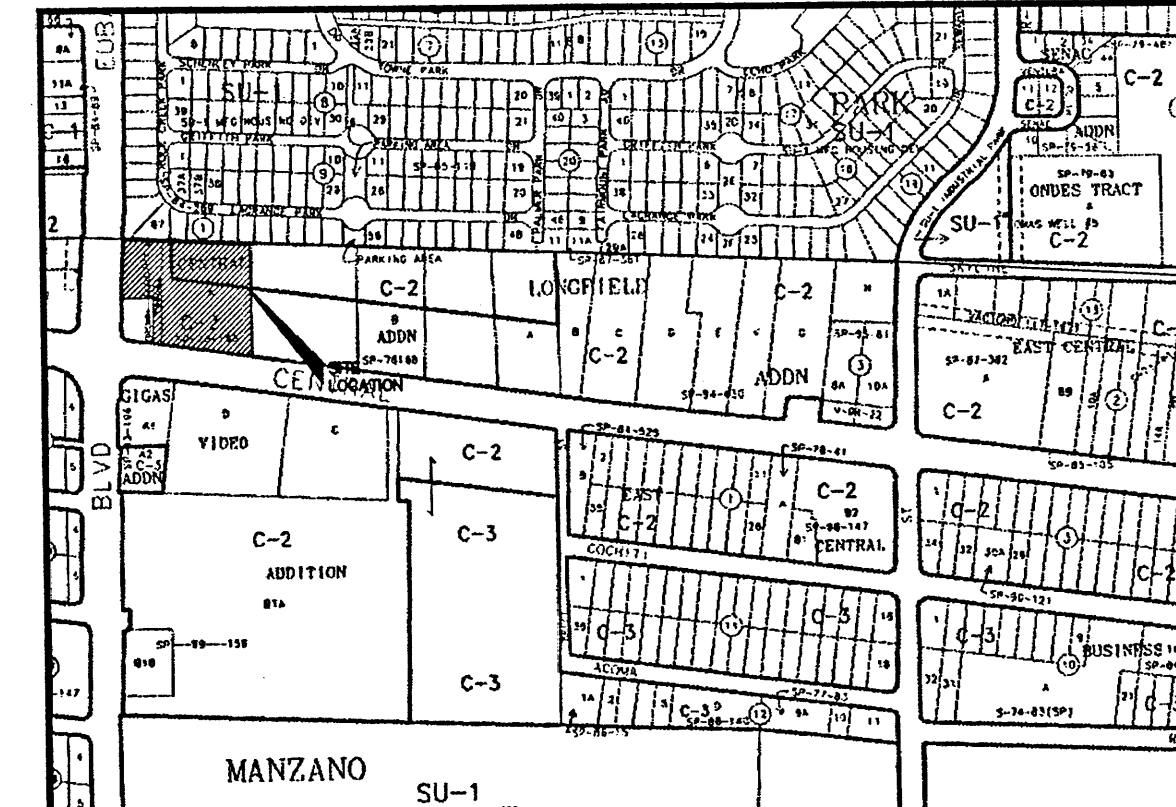


- LEGEND**
- 5471— PROPOSED CONTOURS
  - 5472— EXISTING CONTOURS
  - FLOW ARROW
  - +78.50 PROP. SPOT ELEV.
  - DRAINAGE BOUNDARY
  - (B2) DRAINAGE AREA



- GRADING NOTES**
- CONTRACTOR MUST PROVIDE DUST CONTROL AT ALL TIMES. CONTRACTOR MUST KEEP PUBLIC STREETS CLEAR OF SOIL, MUD, AND DEBRIS AT ALL TIMES.
  - CONTRACTOR MUST PREVENT DAMAGE BY DRAINAGE DURING GRADING CONSTRUCTION.
  - CONTRACTOR MUST CORRECT ANY DAMAGE TO PUBLIC OR PRIVATE PROPERTY THAT RESULTS FROM WORK DONE UNDER THE APPROVAL OF THIS PERMIT.
  - IF GRADING TOTALS MORE THAN 5 ACRES CONTRACTOR MUST OBTAIN A CONSTRUCTION GRADING PERMIT FROM THE ARIZONA DEPARTMENT OF ENVIRONMENTAL QUALITY.
  - ALL ON-SITE GRADING MUST COMPLY WITH CHAPTER 70 OF THE UNIFORM BUILDING CODE.
  - ALL GRADING IN THE PUBLIC RIGHT-OF-WAY MUST COMPLY WITH M.A.G. SPECIFICATIONS AND STANDARD DETAILS; THE ENGINEER'S APPROVED PLANS AND SPECIFICATIONS FOR THE PROJECT; AND THE SOILS ENGINEER'S GEOTECHNICAL REPORT FOR THE PROJECT.
  - AS-GRADED CERTIFICATION OF THE ON-SITE GRADING BY THE DESIGN ENGINEER IS REQUIRED PRIOR TO FINAL ACCEPTANCE OF ANY ON-SITE GRADING OR DRAINAGE IMPROVEMENTS.
  - RECORD DRAWINGS OF THE PUBLIC IMPROVEMENTS BY THE DESIGN ENGINEER ARE REQUIRED PRIOR TO FINAL ACCEPTANCE OF THE PUBLIC IMPROVEMENTS.

- GENERAL NOTES**
- REMOVE ALL VEGETATION, REFUSE OR EXISTING STRUCTURES IN CONFINES OF BUILDING CONSTRUCTION AND PAVING AREAS PRIOR TO COMMENCEMENT OF WORK.
  - IN THE EVENT THAT ROCK IS ENCOUNTERED IN THE FOUNDATION EXCAVATION, AND IF THIS ROCK MUST BE REMOVED BY DYNAMITE OR COMPRESSOR, THE OWNER WILL REIMBURSE THE CONTRACTOR FOR THE PREDETERMINED COST OF THESE OPERATIONS.
  - BACKFILLING OF WALLS IN INTERIOR AREAS WHERE CONCRETE SLAB WILL BEAR ON GRADE SHALL BE GRITS OR BANK RUN GRAVEL, WELL COMPACTED, BROUGHT TO A SUBGRADE OF 8" BELOW FINISH FLOOR LINE.
  - BACKFILLING OF EXTERIOR FOUNDATION WALLS SHALL BE CLEAN GRAVEL WELL COMPACTED, BROUGHT TO A SUBGRADE OF 8" BELOW FINISH SIDEWALK PAVING.
  - REMAINDER OF SITE SHALL BE GRADED TO ASSURE DRAINAGE OF SURFACE WATER FROM BUILDING.
  - REMOVE EXCESS SOILS FROM THE SITE AND LEGALLY DISPOSE.
  - GRADES NOT OTHERWISE INDICATED ON THE PLANS SHALL BE UNIFORM LEVELS OR SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE GIVEN, ABRUPT CHANGES IN SLOPES SHALL BE WELL ROUNDED. THE CONTRACTOR IS RESPONSIBLE FOR POSITIVE SITE DRAINAGE.
  - SITE FILL SHOULD BE NON-ORGANIC SOILS COMPACTED IN 6" LIFTS TO A MINIMUM OF 98% STANDARD PROCTOR DENSITY.
  - ADA ROUTES NOT TO EXCEED 5% RUNNING SLOPE AND 2% CROSS SLOPE. HCAP PARKING AND ACCESS AISLES NOT TO EXCEED 2% SLOPE IN ANY DIRECTION.
  - GREASE TRAP SHALL BE TRAFFIC BEARING AND RIM ELEVATIONS SHALL MATCH FINAL PAVING ELEVATION.
  - ALL SITE EXCAVATION SHALL BE CONSIDERED UNCLASSIFIED EXCAVATION.
  - STORM DRAIN AND OTHER UTILITIES AS SHOWN ON THESE PLANS ARE FROM RECORD DRAWINGS PROVIDED BY THE UTILITY COMPANIES. THE ENGINEER DOES NOT GUARANTEE EITHER THE LOCATION OR ACCURACY. THE CONTRACTOR SHALL VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION.
  - ALL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.



**LEGAL DESCRIPTION**  
TRACT "A" BELLAMAH'S CENTRAL ADDITION A 2.337 ACRE TRACT OF LAND.

**EXISTING CONDITIONS**  
THE PROJECT SITE BEING A 2.337 ACRES OF LAND LOCATED AT THE NE CORNER OF E. CENTRAL AVE. & EUBANK BLVD. CONTAINS A 12,198 SF OF ASPHALT PARKING AND THE REMAINDER OF THE SITE IS COVERED IN GRAVEL ALONG THE NORTH AND EAST PROPERTY LINES ARE 6" MASONRY SCREENING WALLS THAT WILL REMAIN AND THEY ACT AS DRAINAGE FLOW BARRIERS. THE MAJORITY OF THE SITE'S RUNOFF MIGRATES WEST TO EUBANK BLVD. THE REMAINING RUNOFF MIGRATES WEST SOUTHWEST TO E. CENTRAL AND/OR AN ADJACENT PROPERTY OCCUPYING THE IMMEDIATE NE CORNER OF THE STREET INTERSECTION. SURFACE DRAINAGE FLOWING WEST ALONG E. CENTRAL'S NORTH CURB LINE IS INTERCEPTED BY TWO CURB INLETS. ONE IS NEAR THE SE PROPERTY CORNER AND THE SECOND IS NEAR THE STREET INTERSECTION. SURFACE FLOW DRAINING NORTH ALONG THE EAST CURB LINE OF EUBANK IS INTERCEPTED BY A CURB INLET APPROX. 100 FEET NORTH OF THE NW PROPERTY CORNER. NO UNDERGROUND SYSTEM EXIST ON SITE.

**PROPOSED CONDITIONS**  
THE PROPOSED CONDITIONS INCLUDE THE CONSTRUCTION OF A GOLDEN CORRAL RESTAURANT. THE BUILDING IS 12,198 SF AND WILL BE SITUATED NEAR THE EAST PROPERTY LINE AND IS BORDERED BY A PROPOSED PARKING LOT TO THE WEST AND SOUTH SIDE OF THE BUILDING. THE PROPOSED DRAINAGE WILL BE ENTIRELY SURFACE FLOW. APPROX. 58 PERCENT THE SITE'S RUNOFF WILL MIGRATE WEST TO EUBANK AND THE REMAINING 42 PERCENT WILL MIGRATE SOUTH TO E. CENTRAL AVE.

Zone 3

HYDROLOGY SUMMARY

DRAINAGE AREA	AREA (ACRE)	C	Tc (MIN)	I <sub>x</sub> ✓ (IN/HR)	Q <sub>x</sub> (CFS)	REMARKS
A1	1.23	0.93	12	5.38	6.15 ✓	SURFACE DRAINS TO EUBANK
A2	0.09	0.64	12	5.38	0.21	SURFACE DRAINS TO EUBANK
A3	0.13	0.64	12	5.38	0.30	SURFACE DRAINS TO EUBANK
B1	0.45	0.93	12	5.38	2.25	SURFACE DRAINS TO CENTRAL
B2	0.30	0.93	12	5.38	1.50	SURFACE DRAINS TO CENTRAL
B3	0.04	0.64	12	5.38	0.09	SURFACE DRAINS TO CENTRAL
B4	0.05	0.64	12	5.38	0.12	SURFACE DRAINS TO CENTRAL
	2.29				10.62	



GRADING PLAN

**WILSON & COMPANY**  
3950 FOSSIL CREEK BLVD.  
SUITE 108 NORTH, TEXAS 76137  
817-232-4509 FAX 817-232-4509

**GOLDEN CORRAL**  
10415 E. CENTRAL AVE. & EUBANK BLVD.  
CITY OF ALBUQUERQUE, NEW MEXICO

**GRADING PLAN**

**golden corral**  
patel & drill

REVISIONS	

PROJECT ENGINEER  
PAUL PADILLA, P.E.

DESIGNED BY:  
JDS

ALBUQUERQUE REF. #  
?? (DR04-52) ??

WCEA NO.:  
X5-714-012

DATE:  
JUNE 2005

SHEET NO.:  
GD 1