

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

June 9, 2025

Jesse Macias
M3 Design
2008 N 7th Avenue Unit: AVE
Phoenix, AZ 85007

jmacias@m3designllc.com

Re: Take 5 Car Wash
10415 Central Ave NE
Request for Certificate of Occupancy
Transportation Development Final Inspection
Engineer's Stamp dated 05-18-23 (L21D059B) TRANS-2025-00144
Certification dated 06-9-2025

Dear Mr. Macias,

Based upon the information provided in your submittal received 5-30-25, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact me at (505) 924-3909 or at skanbar@cabq.gov

Sincerely,

Sertil A. Kanbar

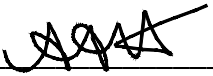
Sertil Kanbar, PhD, PE, CFM
Sr. Engineer, Planning Dept.
Development Review Services

\EA via: email
C: CO Clerk, File

TRAFFIC CERTIFICATION

I, ATEF A. HANNA, NMPE NUMBER 27436, OF THE FIRM BEACON CIVIL ENGINEERING, LLC., HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED SITE PLAN DATED 2023-06-28. I FURTHER CERTIFY THAT I HAVE VISITED THE PROJECT SITE. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR A CERTIFICATE OF OCCUPANCY.

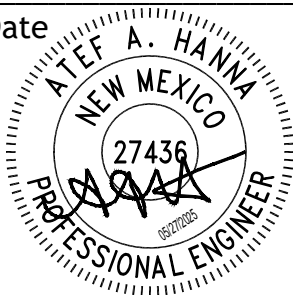
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

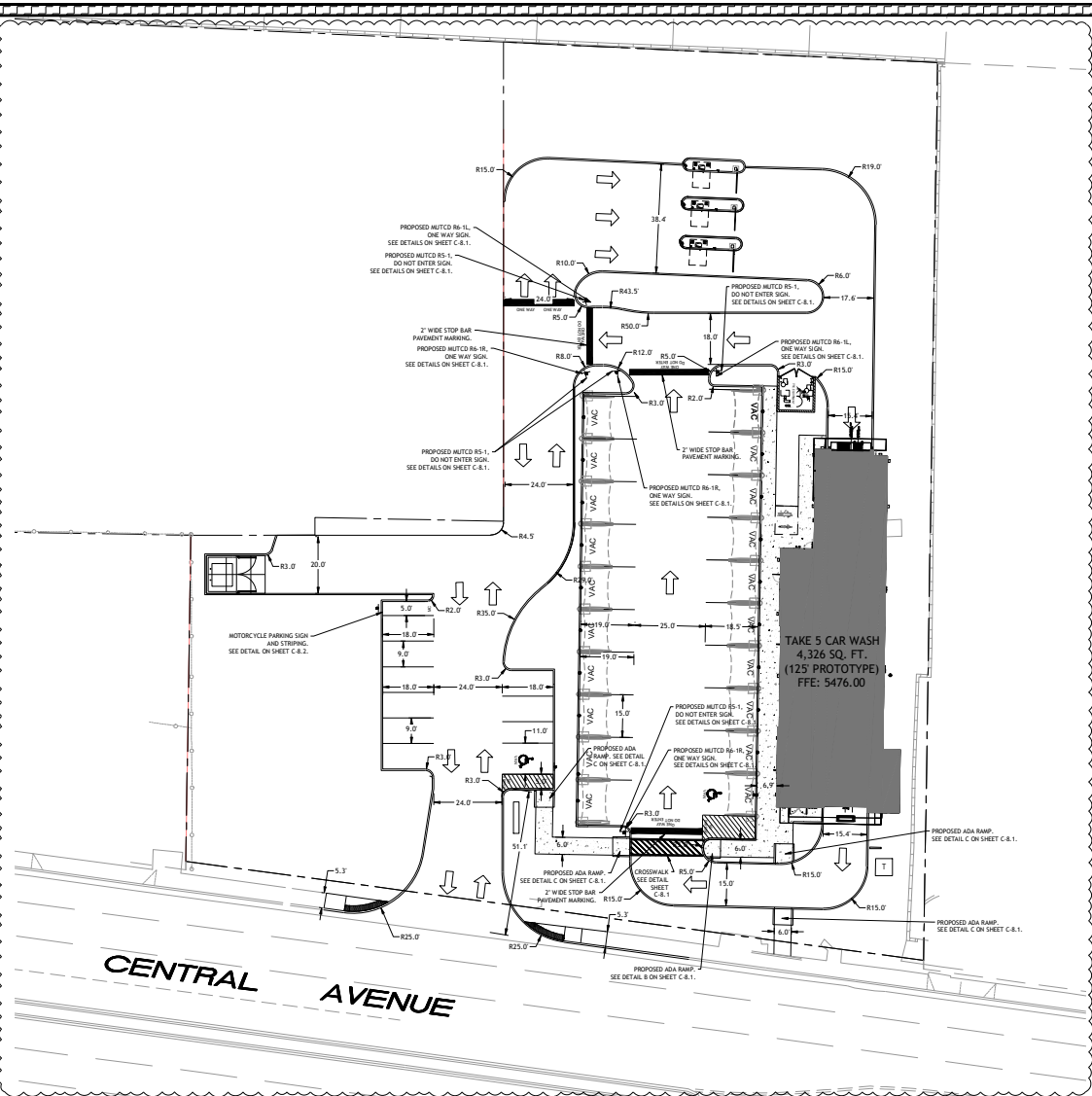


Atef A. Hanna, NMPE 27436

05/27/25

Date





CODE DATA

PROJECT DESCRIPTION:
THE PROJECT IS A NEW 1-STORY CAR WASH

BUILDING ADDRESS:
10415 CENTRAL AVENUE NE
ALBUQUERQUE, NEW MEXICO 87123

LEGAL DESCRIPTION:
TR A-1-B PLAT FOR TRACTS A-1-A AND A-1-B BELLAMAH'S
CENTRAL

SITE ACREAGE:
LOT A-1-B: 1.3885 AC (60,483± SQ. FT.)

BUILDING GROSS SQUARE FOOTAGE:
1 STORY BUILDING - 4,326 GROSS SF

PARKING:
REQUIRED PARKING: PER JURISDICTIONAL REQUIREMENTS
BICYCLE PARKING: 2 SPACES
MOTORCYCLE PARKING (5X18)
PROPOSED PARKING:
19 VACUUM STALLS (15X19)
9 STANDARD PARKING (9X18)
1 ADA VACUUM STALL (15X19)
1 ADA STANDARD PARKING (11X18)

SITE SLOPES:
• PARKING LOT SLOPE SHALL BE BETWEEN 1% AND 5%
• PARKING LOT AREAS ADJACENT TO MAJOR CIRCULATION
AISLES OR MAJOR ENTRANCES SHALL BE BETWEEN 1% (MIN.)
AND 5% (MAX.)
• ADA PARKING SHALL BE BETWEEN 1% (MIN.) & 2% (MAX.)

CLEAR SIGHT TRIANGLE:
LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SITE
REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND
SHRUBBERY BETWEEN 3 AND 8 FEET TALL WILL NOT BE
ACCEPTABLE WITHIN THE CLEAR SIGHT TRIANGLE.

VICINITY MAP

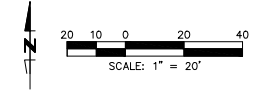


ZONING MAP



ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH
SIDEWALK AND CURB AND GUTTER. SEE CITY STANDARDS 2430
& 2415A ON SHEETS C-8.1 AND C-8.2

LEGEND
--- PARCEL BOUNDARY LINE
- - - SIGHT VISIBILITY TRIANGLE
■ PROPOSED BUILDING FOOTPRINT



ISSUED FOR PERMITTING

DESIGNED BY:	CS	DRAWN BY:	CS	ISSUE DATE:	01/02/22
CHECKED BY:	AM	APPROVED BY:	AM	DATE:	01/02/22
DATE:	01/02/22	PROJECT LOCATION:			
DATE:	01/02/22	CITY COMMENTS:			



ATEF A. HANNA, PE #27436

BEACON
ENGINEERING

LAND DEVELOPMENT ENGINEERS
8330 GARDENWAY
DALLAS, TX 75246

TAKE 5 CAR WASH

OF
NEW MEXICO
CENTRAL &
UBANKS

10415 CENTRAL
AVE NE,
ALBUQUERQUE,
NM

SHEET NAME:

CIRCULATION PLAN

SHEET NUMBER:

C-8.0

