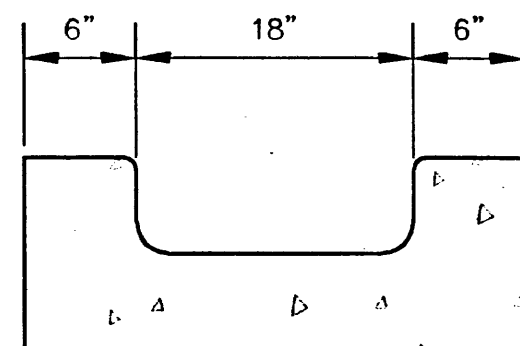




COMPACT SUBGRADE TO MIN. 95% OF MODIFIED PROCTOR (ASTM D-1557)

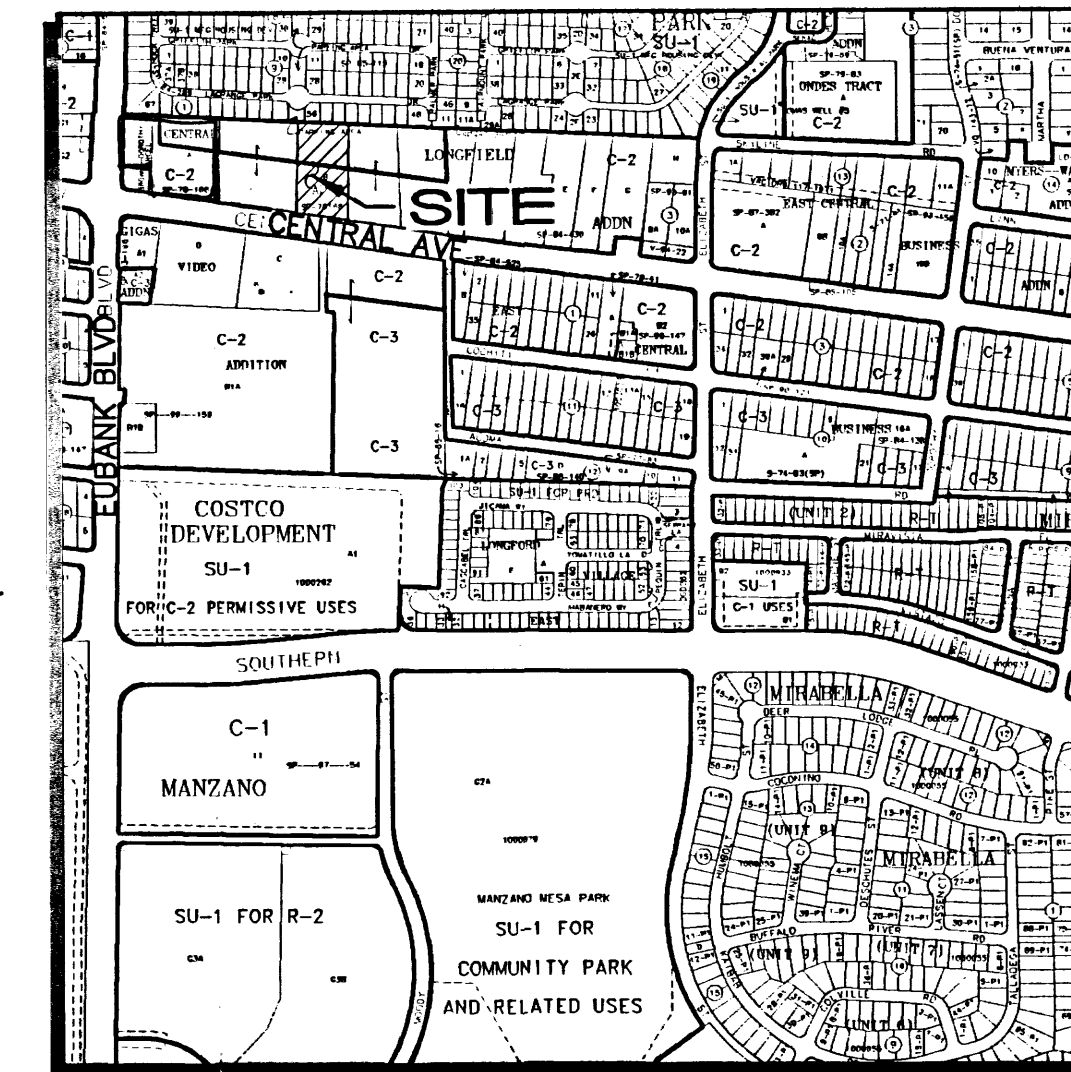
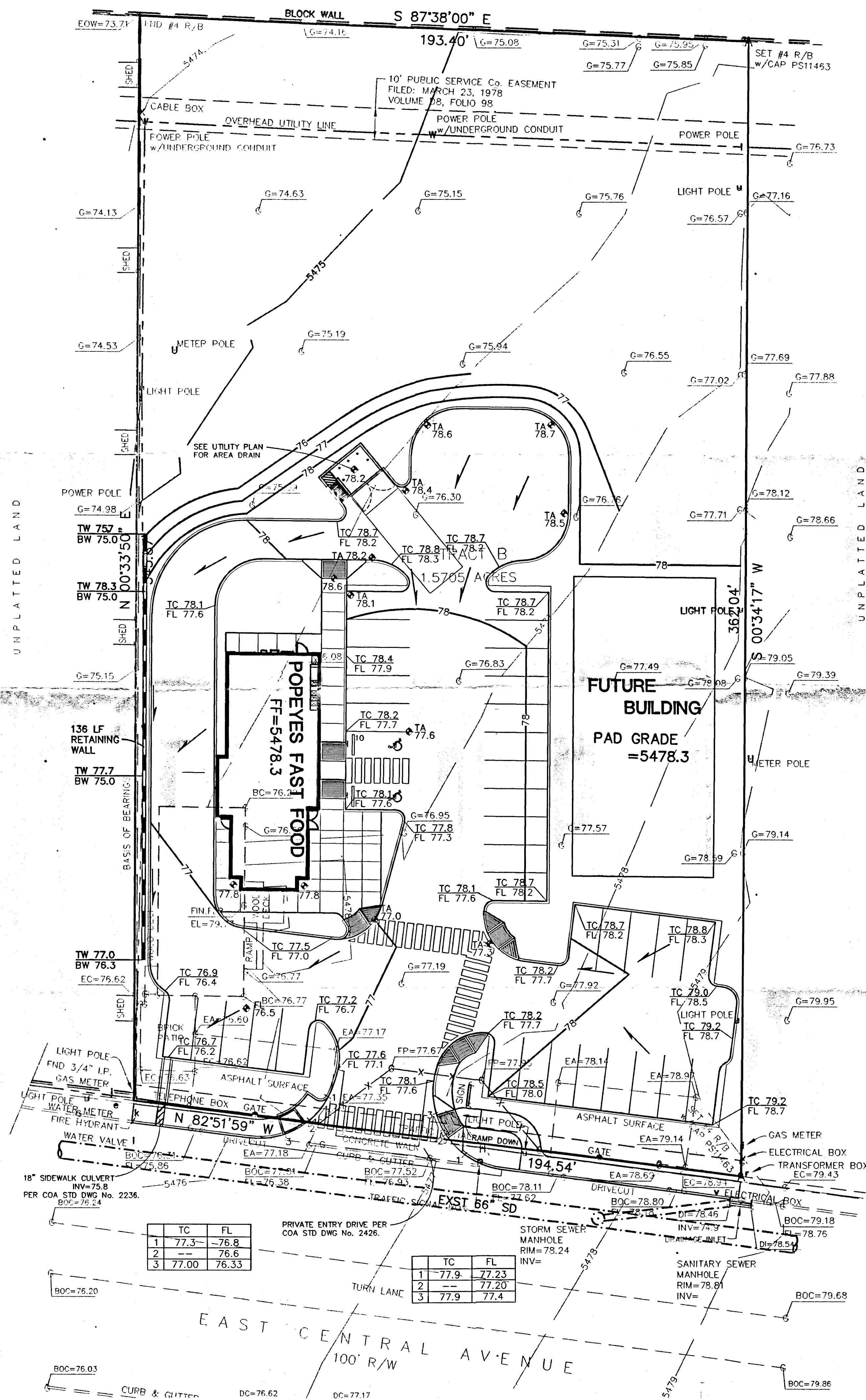
CONCRETE DRAINAGE CHANNEL

NTS

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACK FILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL	NAME	DATE
INSPECTOR		



LEGAL DESCRIPTION: TRACT B BELLAMAH CENTRAL ADDITION

AREA: 1.570 ACRES

SURVEY: TOPOGRAPHIC & BOUNDARY SURVEY BY HARRIS SURVEYING INC. DATED JUNE 2005

BENCHMARK: COA STATION No. "10-L21" ELEVATION= 5466.64

FLOODPLAIN: FEMA PANEL 359 INDICATES THE SITE IS WITHIN ZONE 'X' IDENTIFIED AS BEING OUTSIDE THE 500-YR FLOODPLAIN.

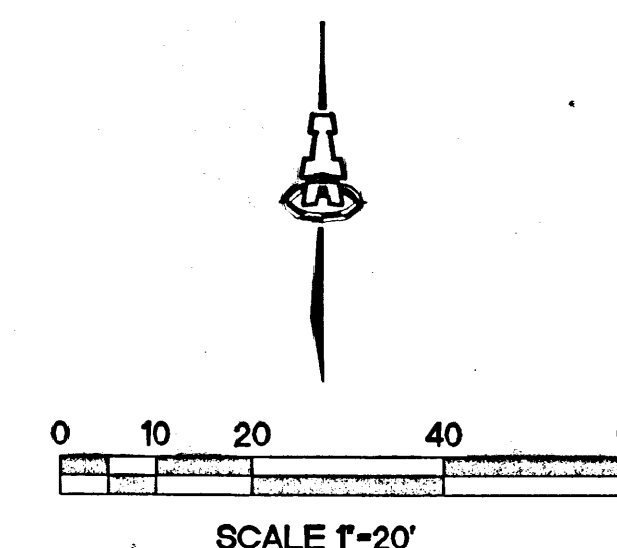
EXISTING CONDITIONS: SITE WAS PREVIOUSLY A MOBILE HOME SALES LOT. THE SITE SLOPES DOWN AT 1.5-2% TOWARD THE NW CORNER. IT IS PREDOMINANTLY GRAVEL COVERED WITH SMALL ASPHALT SURFACES & A SMALL BUILDING ONSITE.

ZONE: 3 LAND TREATMENT: 100%
 $Q_{100} = (1.57)(3.45 \text{ cfs/Ac}) = 5.4 \text{ cfs}$

PROPOSED CONDITIONS: A 2,250 SF RESTAURANT IS PROPOSED ALONG WITH ASSOCIATED PAVED PARKING & LANDSCAPE. THE NORTHERN 1/3 OF THE LOT WILL REMAIN UNCHANGED. ALL DEVELOPED FLOW IS DIRECTED TO THE SOUTHWEST AND DISCHARGES TO CENTRAL VIA A SIDEWALK CULVERT. THE MINOR INCREASE IN RUNOFF WILL NOT ADVERSELY AFFECT DOWN STREAM FACILITIES.

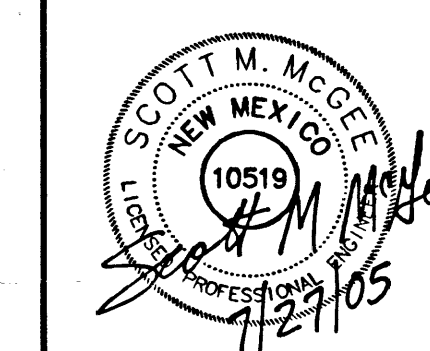
LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
- FLOW ARROW
- FF = 5478.3 FINISH FLOOR ELEVATION
- RETAINING WALL
- SIDEWALK CULVERT
- TOP OF CURB ELEVATION
- FLOWLINE
- TOP OF WALL ELEVATION
- BOTTOM OF WALL ELEVATION
- BOC BACK OF CURB
- INV INVERT ELEVATION
- G= GROUND ELEVATION



ISAACSON & ARFMAN, P.A.
 Consulting Engineering Associates
 128 Monroe Street N.E.
 Albuquerque, New Mexico 87108
 Ph. 505-268-8828 Fax 505-268-2632
 1468GRD.DWGthor 07.26.05

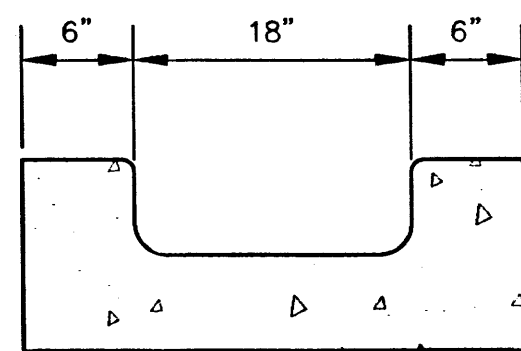
GEORGE RANHART ARCHITECT AND ASSOCIATES PC
 2325 SAN PEDRO N.E. SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877



PROJECT TITLE: POPEYES CENTRAL AND EUBANK N.E. ALBUQUERQUE, NEW MEXICO
 PROJECT MANAGER: STEPHEN DUNBAR
 DRAWN BY: [blank]
 JOB NO.: [blank]
 SHEET TITLE: GRADING & DRAINAGE PLAN

DATE: [blank] sheet - [blank]
 SCALE: C101 of - [blank]

HYDROLOGY SECTION
 JUL 28 2005



COMPACT SUBGRADE TO MIN. 95% OF MODIFIED PROCTOR (ASTM D-1557)

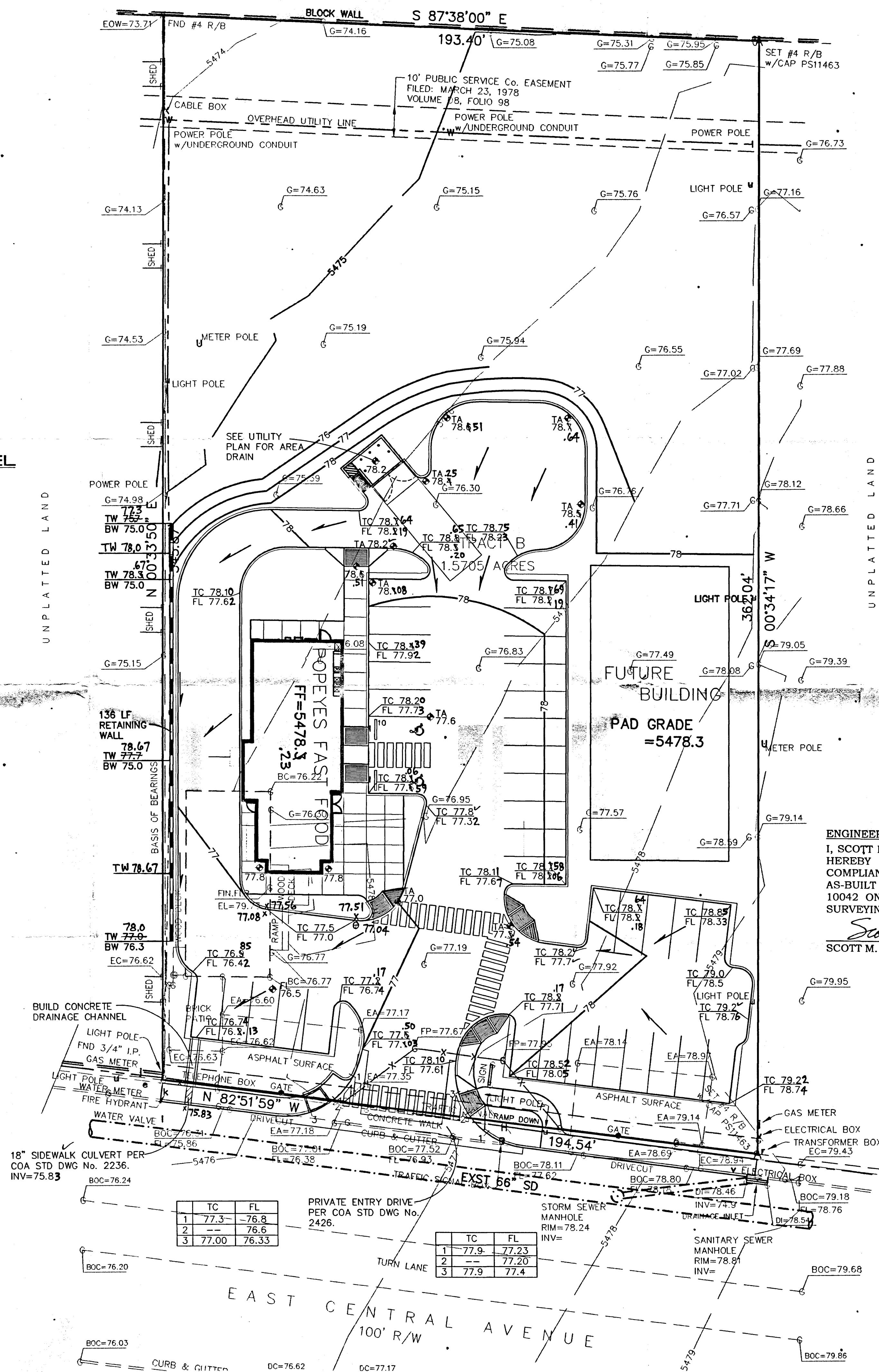
CONCRETE DRAINAGE CHANNEL

NTS

NOTICE TO CONTRACTORS

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5. BACK FILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

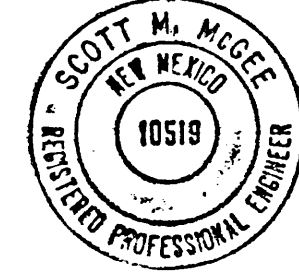
APPROVAL	NAME	DATE
INSPECTOR		



ENGINEER'S CERTIFICATION

I, SCOTT M. MCGEE, LICENSED UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PROJECT WAS CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED PLAN (CITY APPROVAL LETTER DATED 08/11/05). AS-BUILT GRADES WERE FIELD VERIFIED BY HALL SURVEYING COMPANY, NMLS NO. 10042 ON 12/14/05 IN ACCORDANCE WITH THE "NEW MEXICO ENGINEERING AND SURVEYING ACT" SECTION 61-23-1 THROUGH 61-23-32 NMSD (1978).

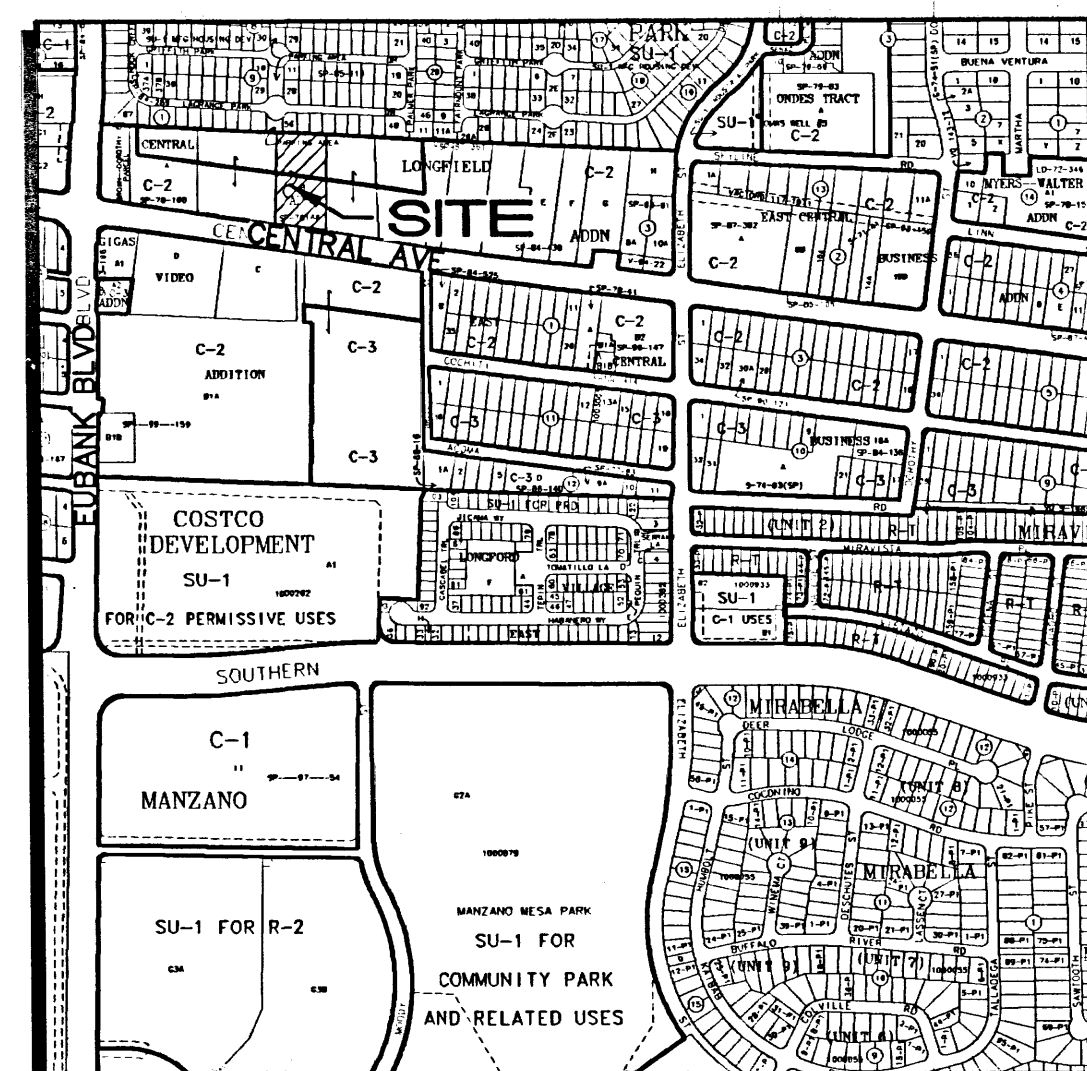
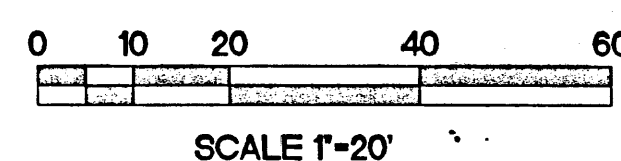
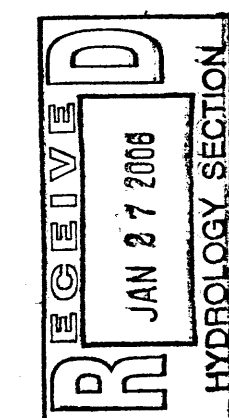
Scott M. McGee
SCOTT M. MCGEE, NMPE NO. 10519



DATE 1/25/06

LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
- FLOW ARROW
- FF = 5478.3 FINISH FLOOR ELEVATION
- RETAINING WALL
- SIDEWALK CULVERT
- TOP OF CURB ELEVATION
- FLOWLINE
- TOP OF WALL ELEVATION
- BOTTOM OF WALL
- BACK OF CURB
- INVERT ELEVATION
- GROUND ELEVATION
- AS-BUILT ELEVATION



L-21-Z 1"=750'±

LEGAL DESCRIPTION: TRACT B BELLAMAH CENTRAL ADDITION
AREA: 1.570 ACRES
SURVEY: TOPOGRAPHIC & BOUNDARY SURVEY BY HARRIS SURVEYING INC, DATED JUNE 2005
BENCHMARK: COA STATION No. "10-L21" ELEVATION= 5466.64
FLOODPLAIN: FEMA PANEL 359 INDICATES THE SITE IS WITHIN ZONE "X" IDENTIFIED AS BEING OUTSIDE THE 500-YR FLOODPLAIN.
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ZONE: 3 **LAND TREATMENT:** 100%
 $Q_{100} = (1.57)(3.45 \text{ cfs}/\text{Ac}) = 5.4 \text{ cfs}$
PROPOSED CONDITIONS: A 2,250 SF RESTAURANT IS PROPOSED ALONG WITH ASSOCIATED PAVED PARKING & LANDSCAPE. THE NORTHERN 1/4 OF THE LOT WILL REMAIN UNCHANGED. ALL DEVELOPED FLOW IS DIRECTED TO THE SOUTHWEST AND DISCHARGES TO CENTRAL VIA A SIDEWALK CULVERT.
 $Q_{100} = (1.57)(4.00 \text{ cfs}/\text{Ac}) = 6.3 \text{ cfs}$
THE MINOR INCREASE IN RUNOFF WILL NOT ADVERSELY AFFECT DOWN STREAM FACILITIES.

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 Fax. 505-268-2632
1468GRD.DWGthor 07.26.05

REVISION

BY

DATE

REV

PROJECT TITLE

POPEYES

CENTRAL AND EUBANK N.E.

ALBUQUERQUE, NEW MEXICO

PROJECT MANAGER

STEPHEN DUNBAR

SHEET TITLE

GRADING & DRAINAGE PLAN

DATE:

sheet-

SCALE:

C101

of-

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC

2325 SAN PEDRO N.E.

SUITE 2-B

ALBUQUERQUE, NEW MEXICO 87110

PHONE (505) 884-9110

FAX (505) 884-9110

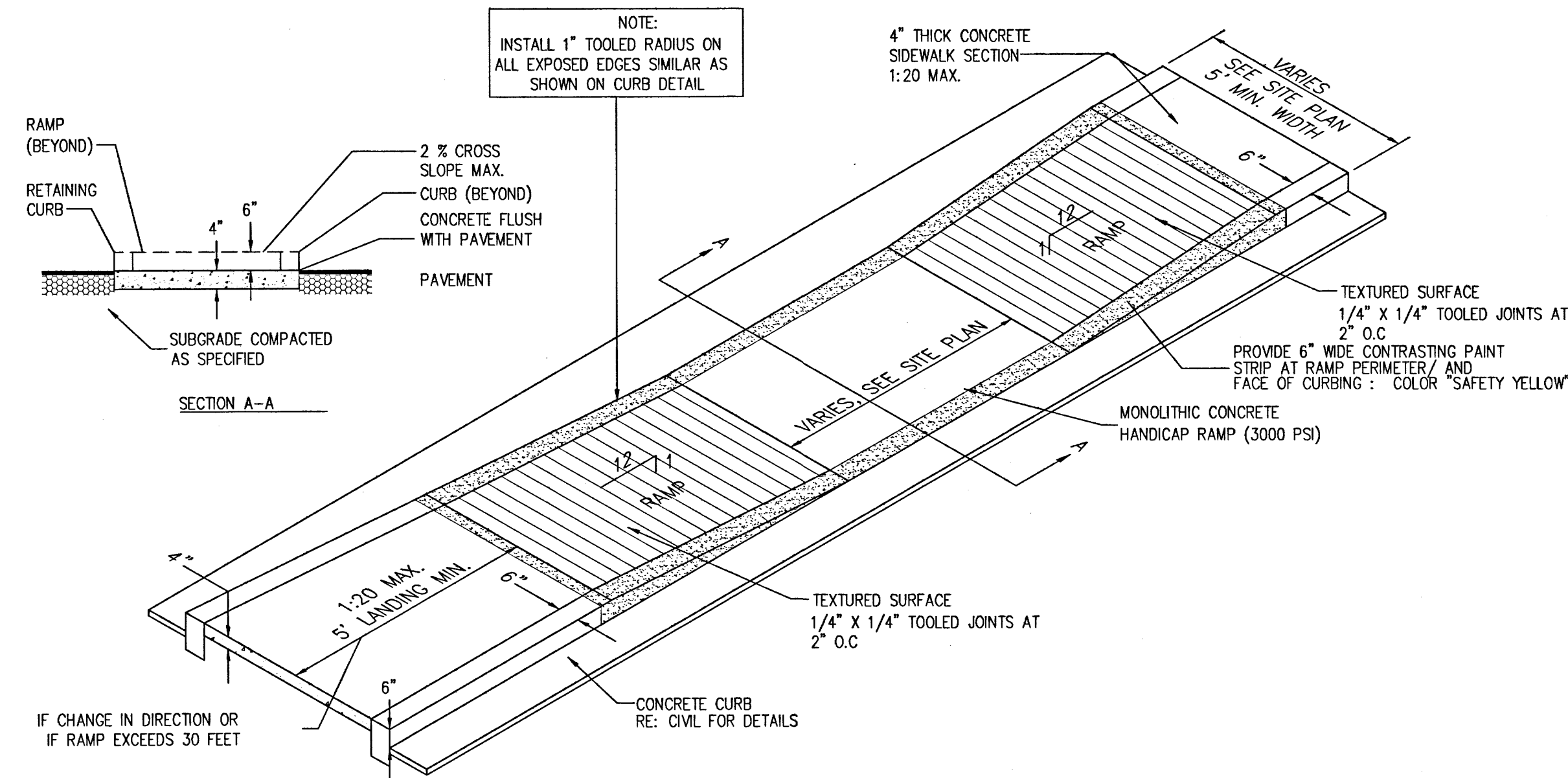
SCOTT M. MCGEE

NEW MEXICO

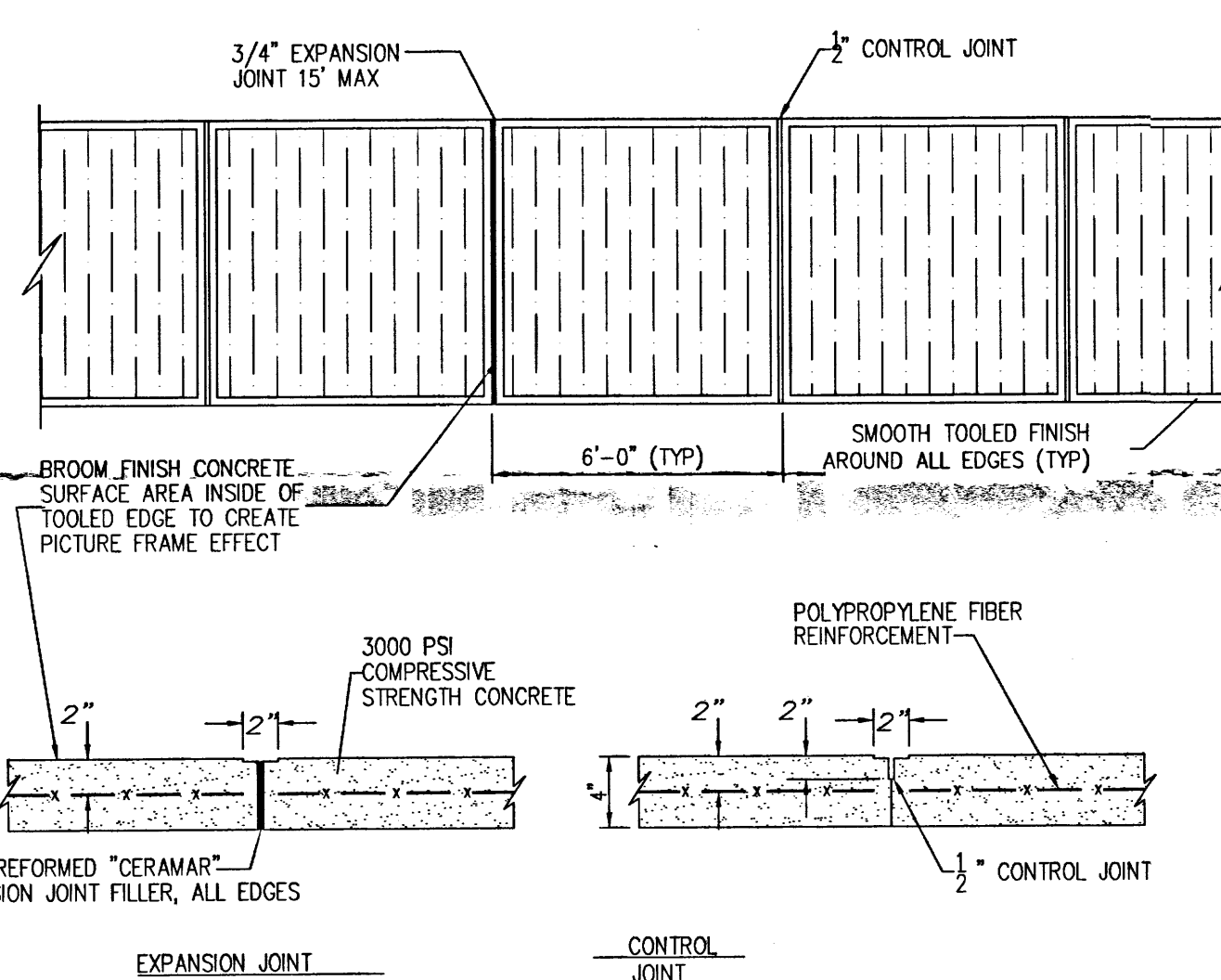
10519

PROFESSIONAL ENGINEER

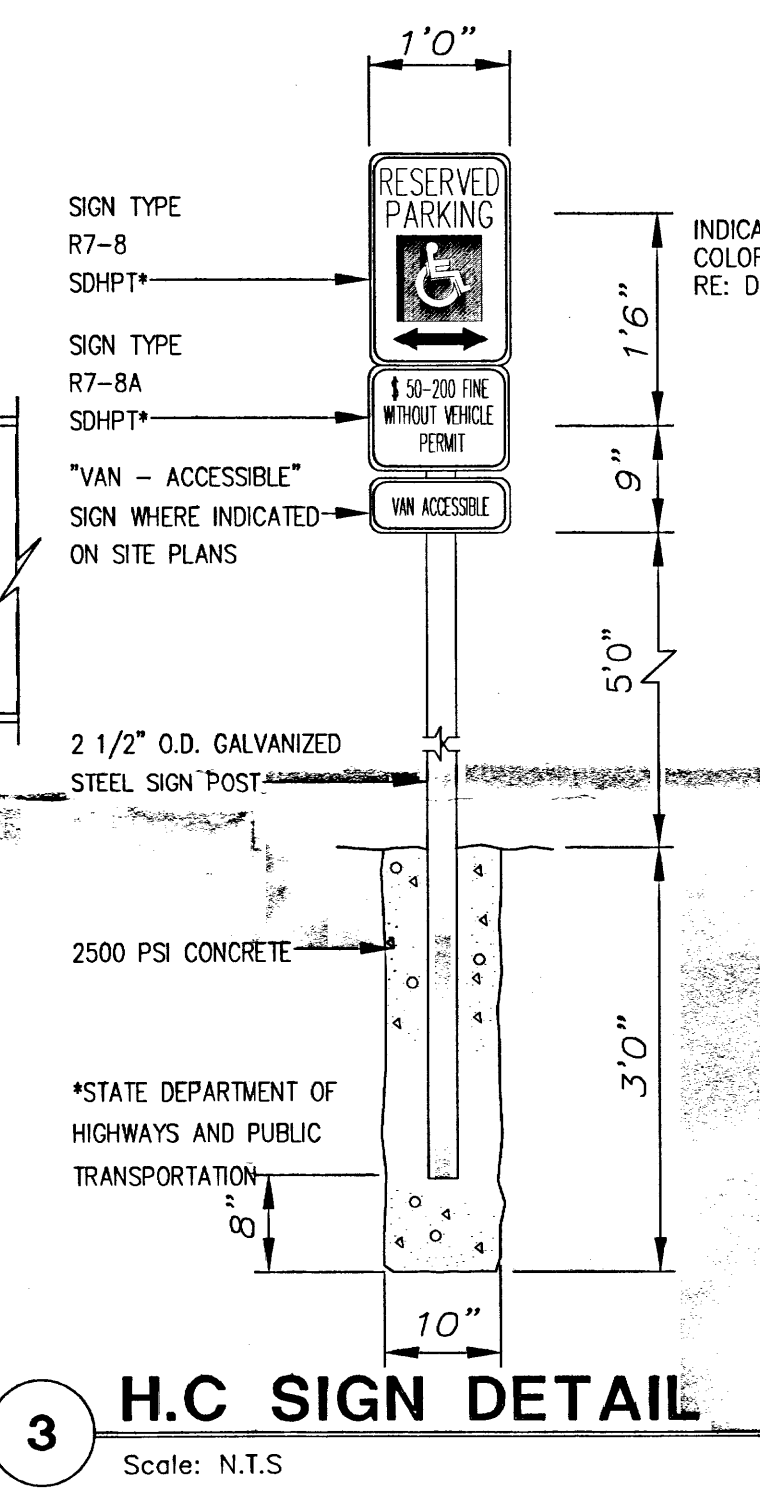
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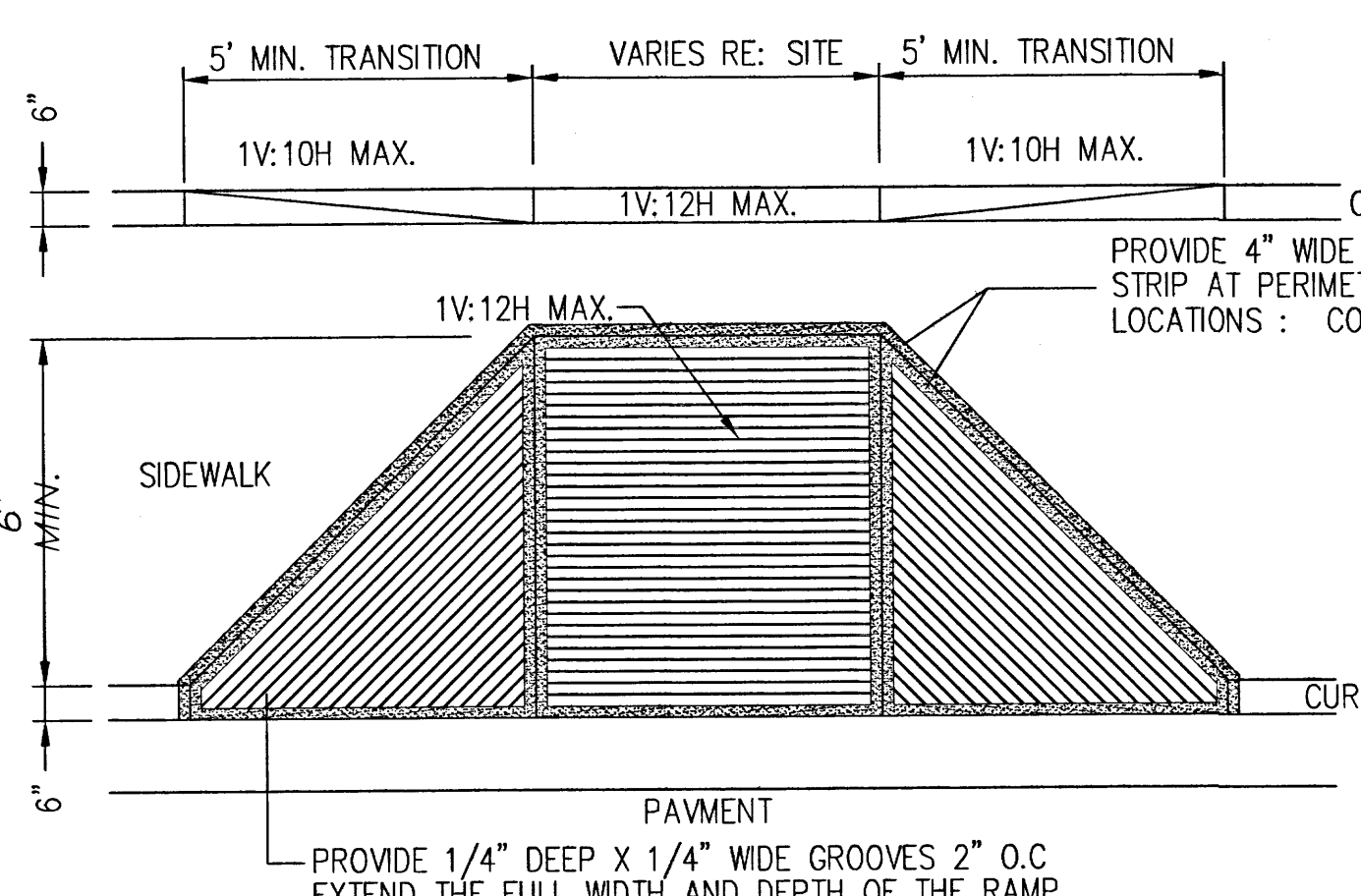
1 SIDEWALK H.C. DETAIL
Scale: N.T.S.



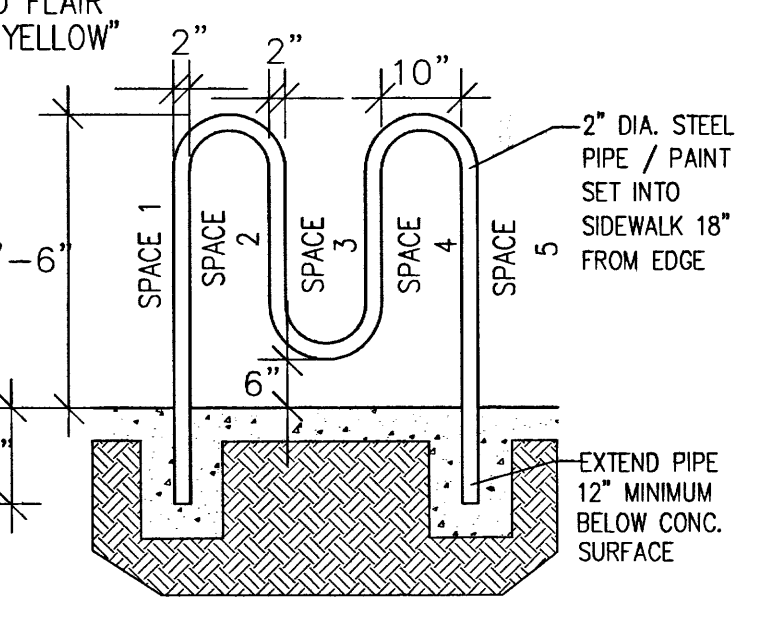
2 TYPICAL CONC. SIDEWALK
Scale: 1/2"=1'-0"



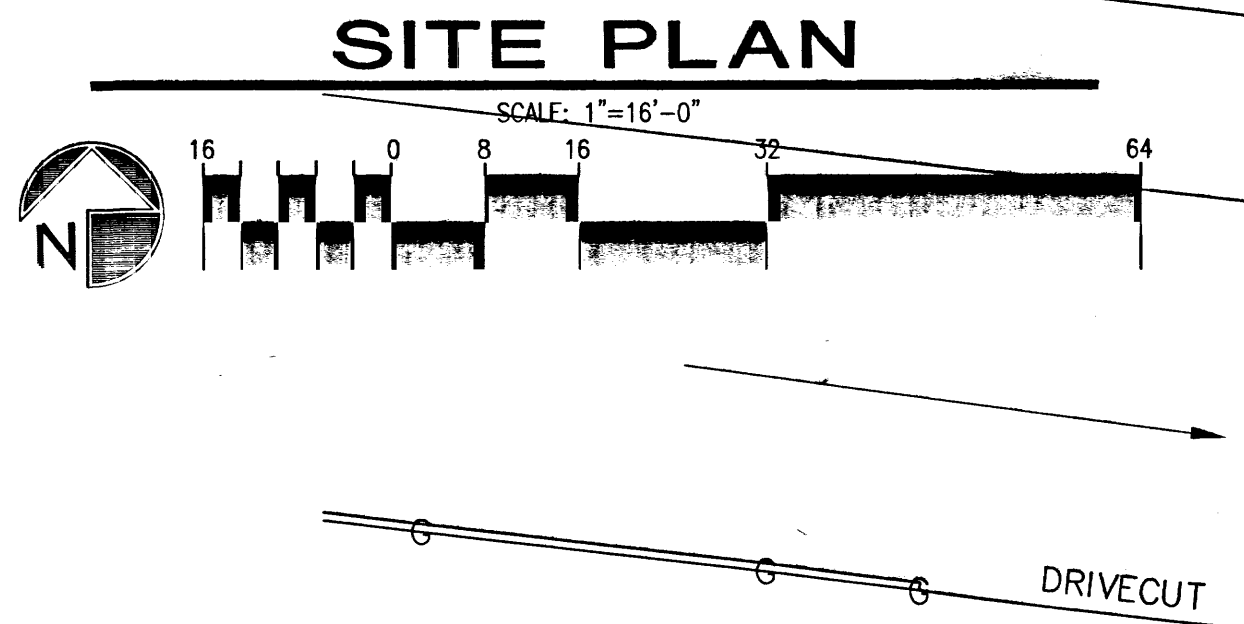
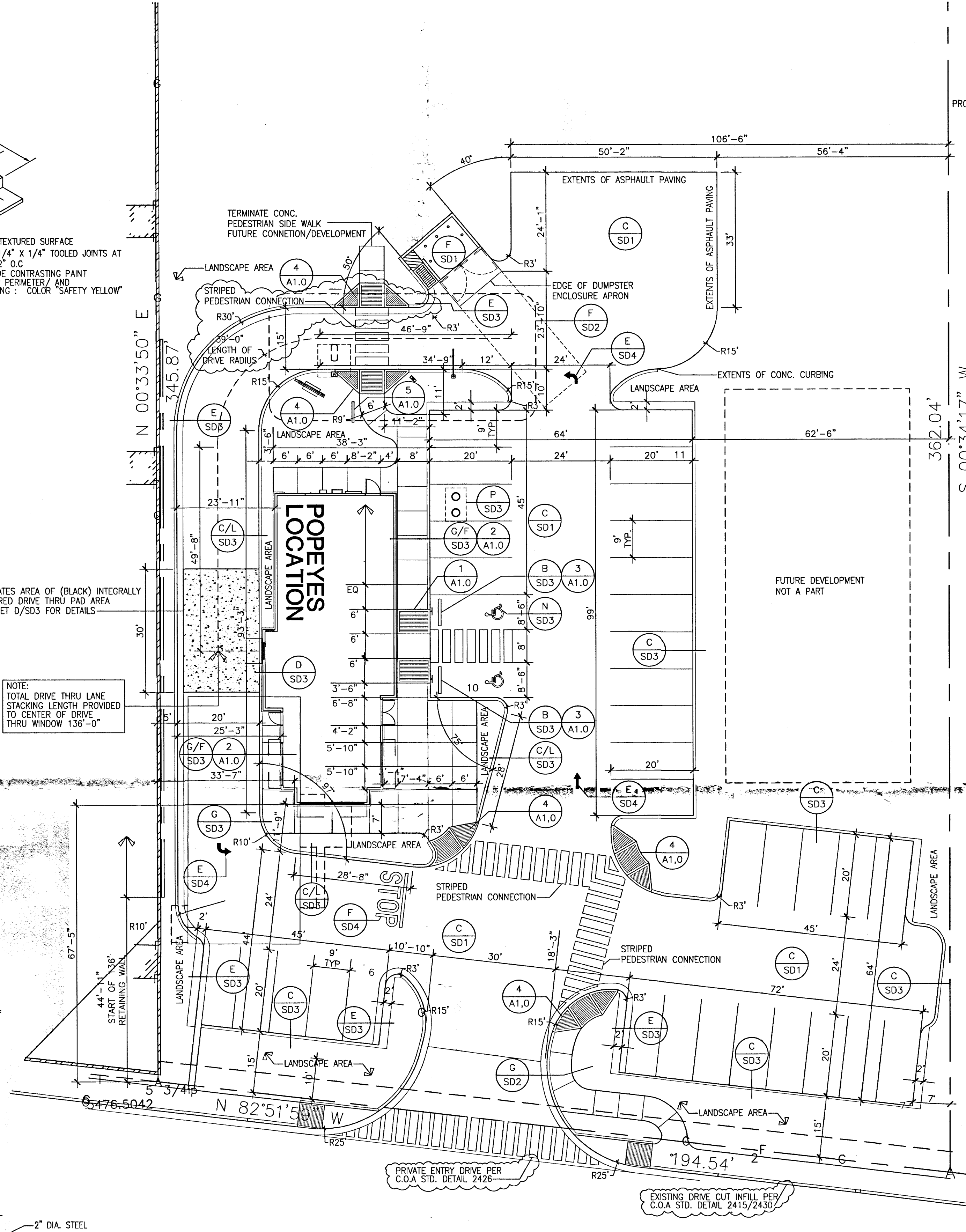
3 H.C. SIGN DETAIL
Scale: N.T.S.



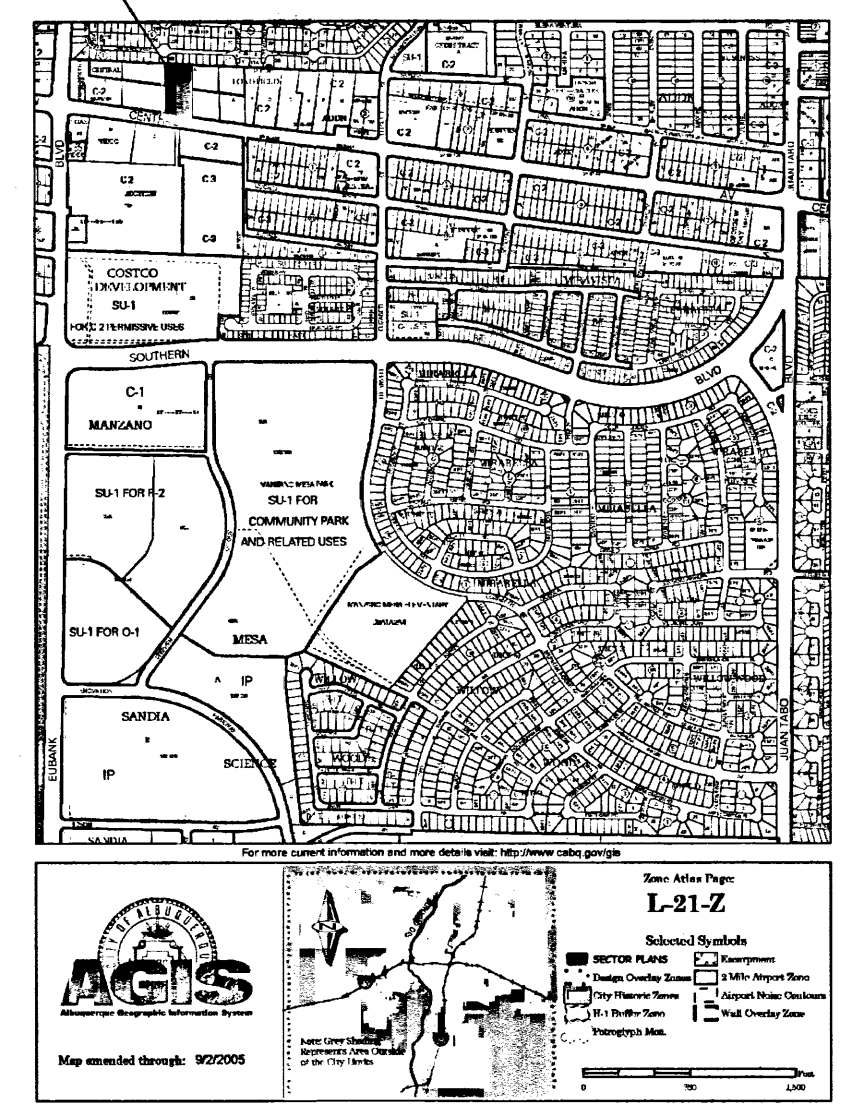
4 H.C. RAMP
Scale: N.T.S.



5 BIKE RACK
Scale: 1/2"=1'-0"



SITE DATA TABLE	
EXISTING ZONING/USE	C-2
PROPOSED ZONING/USE	C-2
TOTAL BUILDING AREA	2,200 SF
TOTAL PARKING PROVIDED	36 STALLS
TOTAL PARKING REQUIRED	48 PROVIDED SEATS / 4 = 12 REQUIRED SPACES
HC PARKING PROVIDED	2 STALLS (2 VAN ACCESSIBLE)
HC PARKING REQUIRED	1 STALL
BICYCLE PARKING PROVIDED	2 SPACES
BICYCLE PARKING REQUIRED	2 SPACES

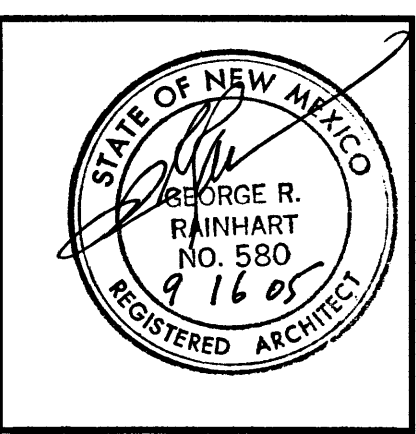


6 VICINITY MAP
Scale: N.T.S.

TRAFFIC CIRCULATION LAYOUT
APPROVED
Signed: 9/19/05
Date: 9/19/05

REV	DATE	BY	REVISION
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
2325 SAN PEDRO N.E. SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877



PROJECT TITLE
POPEYES
CENTRAL AND EUBANK N.E.
ALBUQUERQUE, NEW MEXICO

PROJECT MANAGER
STEPHEN DUNBAR

JOB NO.
SD

DRAWN BY
SD

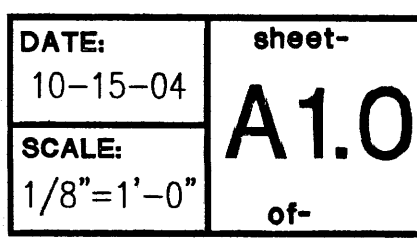
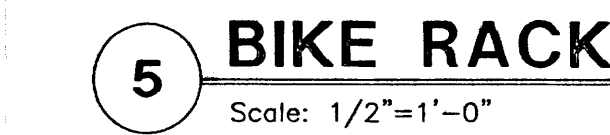
SHEET TITLE
ENLARGED SITE PLAN

DATE:
10-15-04

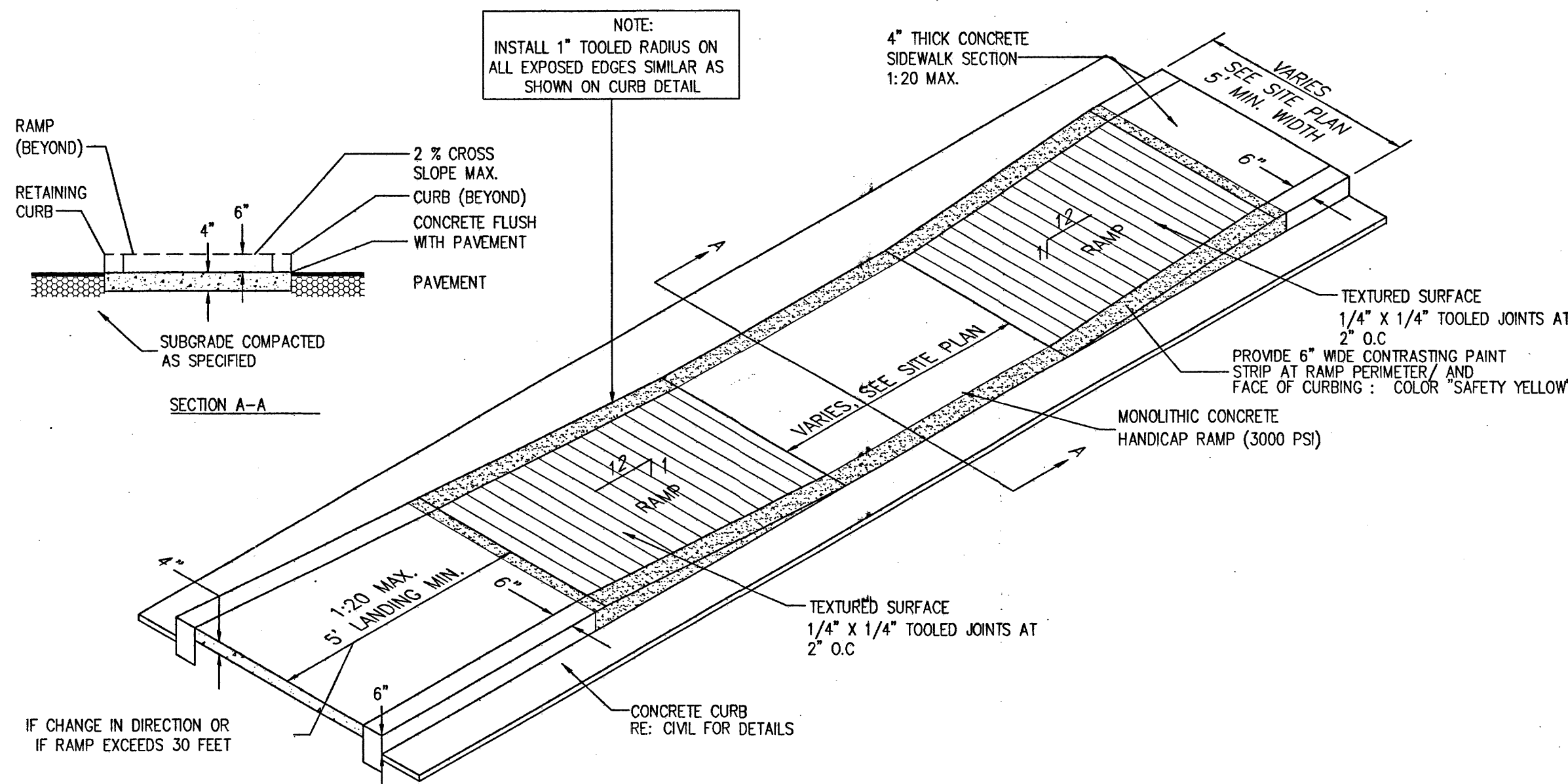
SCALE:
1/8"=1'-0"

sheet-
A1.0
of.

RECEIVED
SEP 19 2005
HYDROLOGY SECTION

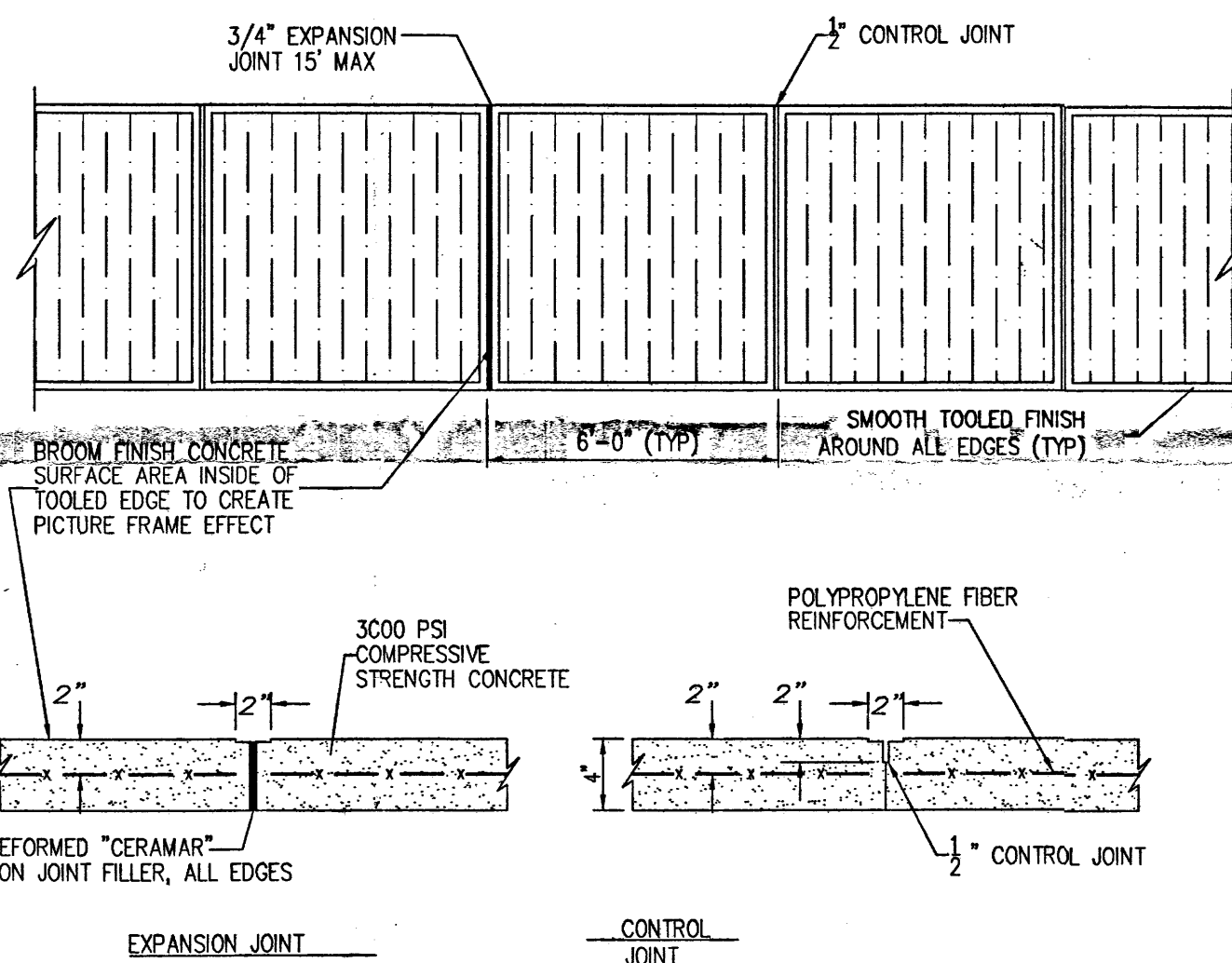


RECEIVED
SEP 13 2005
HYDROLOGY SECTION



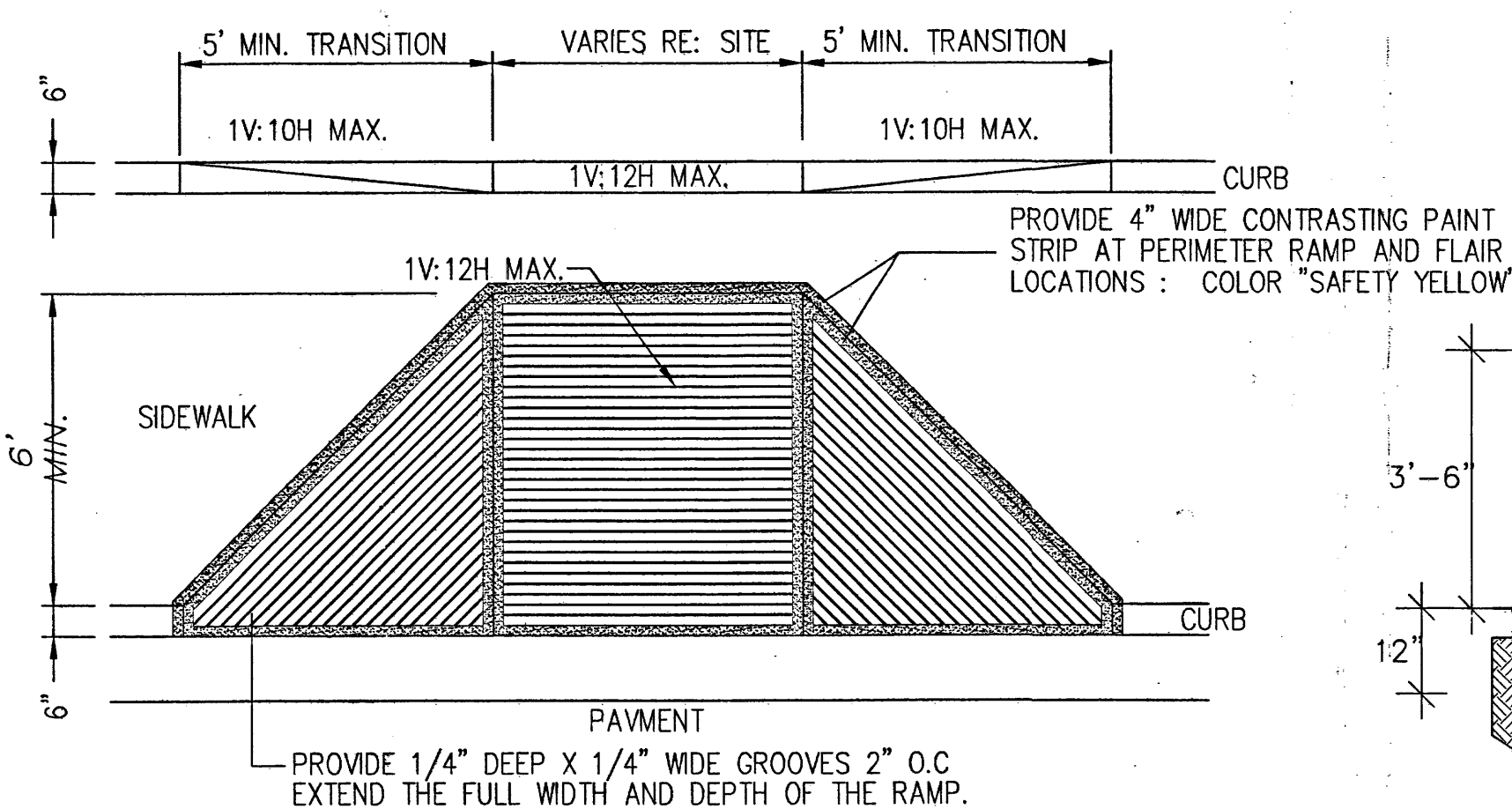
1 SIDEWALK H.C. DETAIL

Scale: N.T.S.



2 TYPICAL CONC. SIDEWALK

Scale: 1/2"=1'-0"



3 H.C. SIGN DETAIL

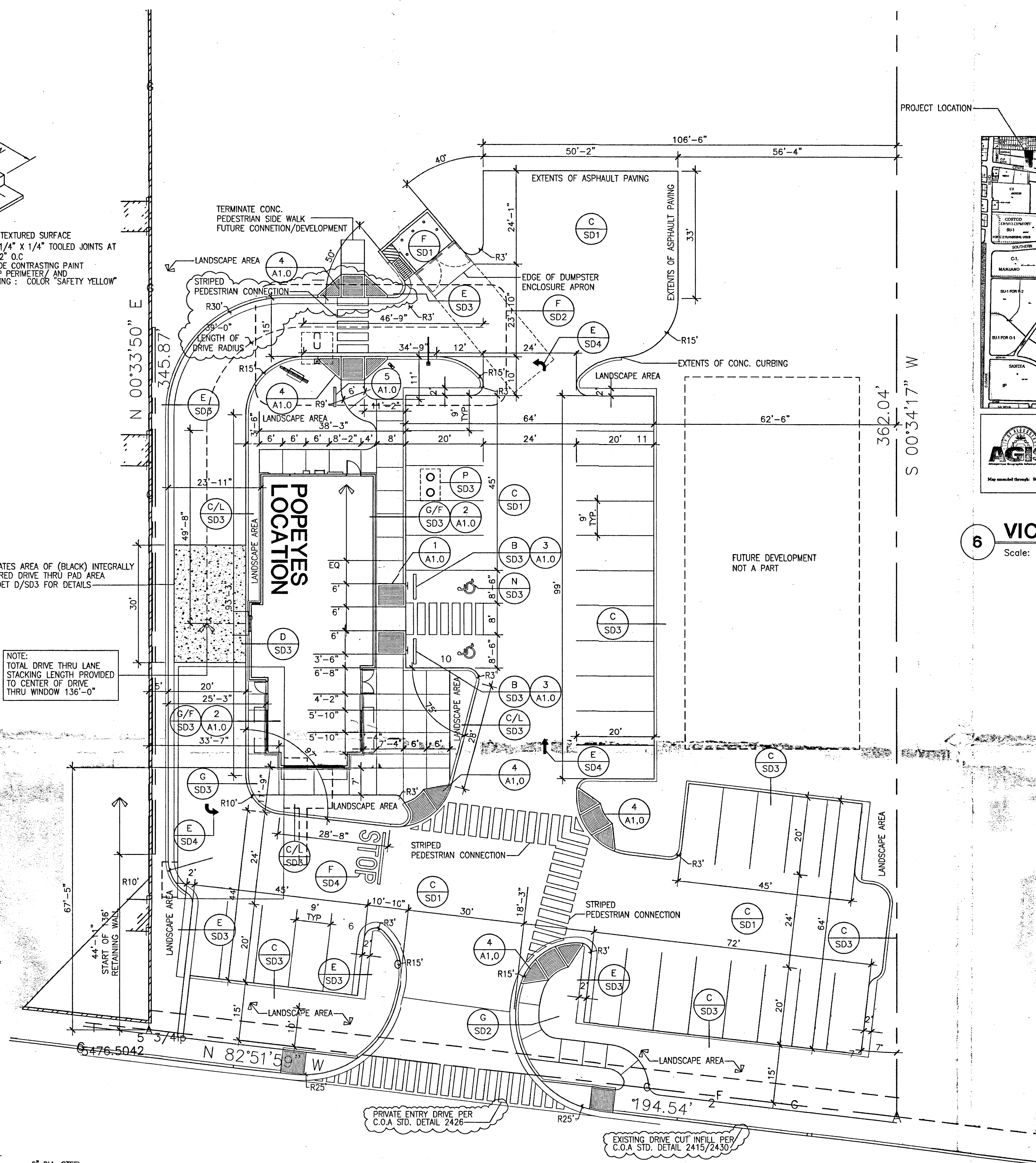
Scale: N.T.S.

4 H.C. RAMP

Scale: N.T.S.

5 BIKE RACK

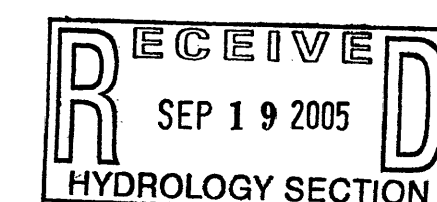
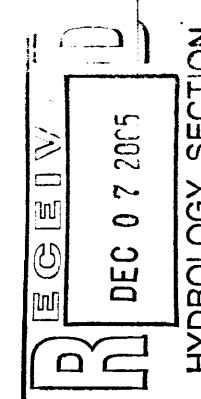
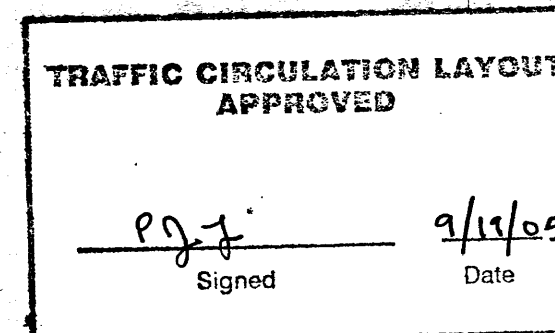
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6 VICINITY MAP

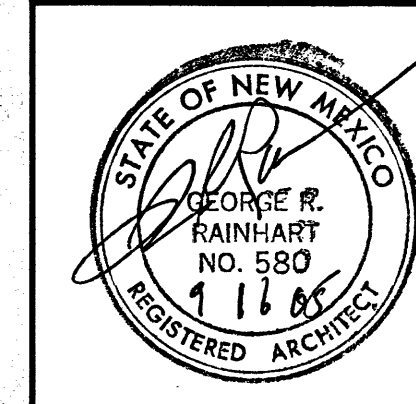
Scale: N.T.S.

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REV	DATE	BY	REVISION
1			
2			
3			
4			
5			
6			

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
2325 SAN PEDRO NE SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877



PROJECT TITLE
POPEYES
CENTRAL AND EUBANK AVE.
ALBUQUERQUE, NEW MEXICO
PROJECT MANAGER
STEPHEN DUNBAR
JOB NO.
0529
DRAWN BY
SD
SHEET TITLE
ENLARGED SITE PLAN

DATE:
10-15-04
SCALE:
1/8"=1'-0"

A1.0