

## Planning Department Transportation Development Services Section

March 14, 2008

Joe Towner, P.E. 8205 Spain NE, Ste. 205 Albuquerque, NM 87109

Re: Certification Submittal for Final Building Certificate of Occupancy for

Lot 12, [L-21 / D065] 11430 Cochiti SE

Engineer's Stamp Dated 02/19/08

Dear Mr. Towner:

Sincerely,//

P.O. Box 1293

The TCL / Letter of Certification submitted on March 14, 2008 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Albuquerque

New Mexico 87103

www.cabq.gov

Xilo **日**. Salgado-Fernandez, P.E.

Senior Traffic Engineer

Development and Building Services

Planning Department

c: Engineer

Hydrology file CO Clerk

# TSI Towner Services, Inc.

# Traffic Certificate Lot 12, 11430 Cochiti Street; Albuquerque, New Mexico 87123

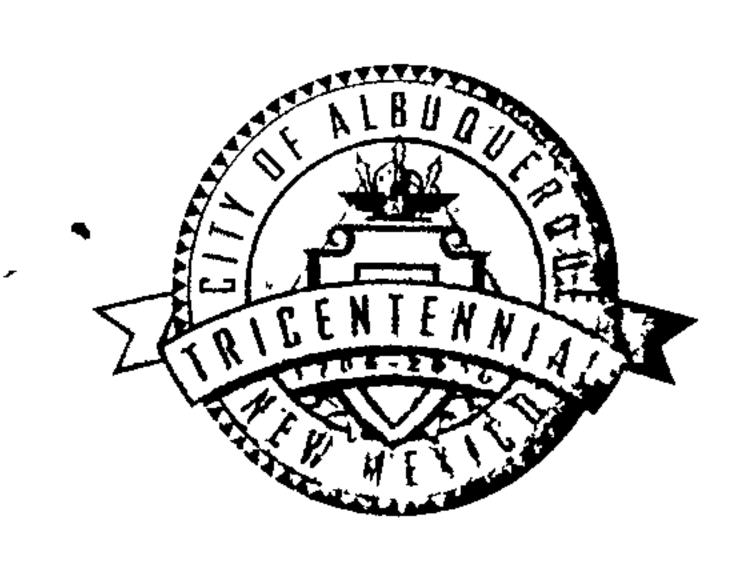
I, Joe Towner, NMPE #10592, of the firm of Towner Services Inc. herby certify that this project is in substantial compliance with and in accordance with the design intent of the parking plan dated 04/04/07 rev 2 approved by the City on 4/30/07. The record information edited onto the original design documents has been obtained by Joe Towner NMPE#10592 of the firm of Towner Services Inc.

I further certify that I have personally visited the project site on February 5, 2008 and have determined by visual inspection that the survey data provided is representative of the actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for a Certificate of Occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose

Joe Towner, NMPE #10592

Date



## Planning Department Transportation Development Services Section

February 13, 2007

Joe Towner, P.E., Towner Services, Inc. 8205 Spain NE, Ste. 205 Albuquerque, NM 87109

Re: Approval of Temporary Certificate of Occupancy (C.O.) for

Lot 12, [L-21 / D065] 11430 Cochiti SE

Engineer's Stamp Dated 02/11/08

Dear Mr. Towner:

Based on the information provided on your submittal dated February 13, 2008, the above referenced project is approved for a 90-day Temporary C.O.

P.O. Box 1293

A Temporary C.O. has been issued allowing the outstanding letter of Certification versus the Site Plan (letter doesn't match the Site Plan being certified) issues to be completed within this time period. When these remaining issues have been fully completed, are in substantial compliance, and a final Certification for Transportation has been resubmitted to the City's Hydrology office for approval, a Permanent C.O. will be issued.

The Certification package for Final C.O. must include an <u>exact</u> copy of the approved TCL, or signed off D.R.B. Site Plan, which is in each of the two City Permit Plan Sets—the contractor's City field set and the City's plan set in the basement of the Plaza Del Sol building. Package also must include a letter of certification on designer's letterhead-stamped with his seal, signed, and dated. Submit package along with fully completed Drainage Information Sheet to front counter personnel for log in and evaluation by Transportation.

If you have any questions, please call me at 924-3630.

Sincerely

Albuquerque

New Mexico 87103

www.cabq.gov

Nilo E. Salgado Fernandez, P.E.

Senior Traffic Engineer

Development and Building Services

Rlanning Départment

c: Engineer
Hydrology file
CO Clerk

# DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 12/2005)

PROJECT TITLE: 12,	ZONE MAP: L-31/DOL
DRB#: 'EPC#:	WORK ORDER#:
LEGAL DESCRIPTION:	
CITY ADDRESS: 11436 CECHITI	
LENGINEERING FIRM: TOWNER SECVICE	
ADDRESS: 8205 SPAN NE ST	CONTACT: TOWER  PHONE:
CITY, STATE: ALBUQ NM 8707	ZID CODE.
87	109
YOWNER: TOM GORDON	CONTACT: TOM GORDON
ADDRESS: 100 CORS 20 1	
CITY, STATE: 1809 IM	ZIP CODE:
ARCHITECT:	CONTACT:
ADDRESS:	PHONE:
CITY, STATE:	ZIP CODE:
SURVEYOR:	CONTACT:
ADDRESS:	PHONE:
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CONTRACTOR:	CONTACT:
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CITY, STATE:	ZIP CODE:
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DRAINAGE PLAN RESUBMITTAL	S. DEV. PLAN FOR SUB'D APPROVAL
CONCEPTUAL G & D PLAN	S. DEV. FOR BLDG. PERMIT APPROVAL
GRADING PLAN	SECTOR PLAN APPROVAL
EROSION CONTROL PLAN	FINAL PLAT APPROVAL
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TRAFFIC CIRCULATION LAYOUT ENGINEER'S CERT (TCL)	CERTIFICATE OF OCCUPANCY (PERM) CERTIFICATE OF OCCUPANCY (TEMP)
ENGINEER'S CERT (DRB SITE PLAN)	GRADING PERMIT APPROVAL
OTHER (SPECIFY)	PAVING PERMIT APPROVALED
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	OTHER (SPECIFIE )
	FEB 13 2008
WAS A PRE-DESIGN CONFERENCE ATTENDED: YES	
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COPY PROVIDED	HYDRON
	SECINO
DATE SUBMITTED:	BY:

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

# Towner Services, Inc.

#### Traffic Certificate Lot 12, 11430 Cochiti Street; Albuquerque, New Mexico 87123

I, Joe Towner, NMPE #10592, of the firm of Towner Services Inc. herby certify that this project is in substantial compliance with and in accordance with the design intent of the DRB approved plan dated 04/04/07 rev 2. The record information edited onto the original design documents has been obtained by Joe Towner NMPE#10592 of the firm of Towner Services Inc.

I further certify that I have personally visited the project site on February 5, 2008 and have determined by visual inspection that the survey data provided is representative of the actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for a Certificate of Occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose

Joe Tøwner, NMPE #10592

2-11-08

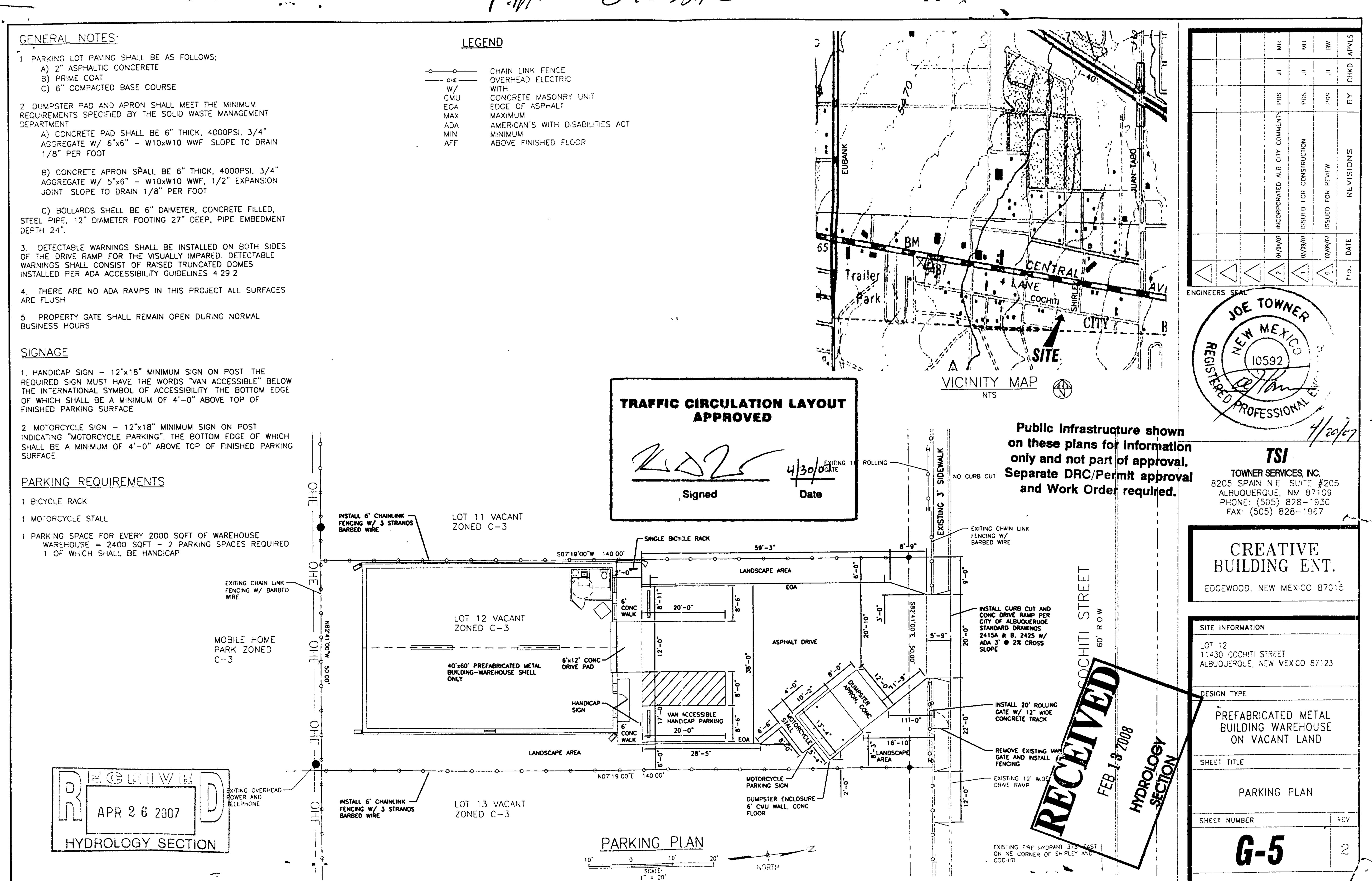
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February 13, 2008

Joe Towner, P.E. **Towner Services**8205 Spain NE Ste.205
Albuquerque, NM 87109

Re: Lot 12, 11430 Cochiti SE, (L-21/D065)

Approval of Permanent Certificate of Occupancy,

Engineer's Stamp Date 4/14/2007

Certification dates: 2-11-08

Mr. Towner:

P.O. Box 1293 Based upon the information provided in your submittal received 2/11/08, the above

referenced certification is approved for release of Permanent Certificate of Occupancy

by Hydrology.

Albuquerque If you have any questions, you can contact me at 924-3982.

Sincerely,

Timothy Sims

New Mexico 87103

Plan Checker-Hydrology, Planning Dept

Www.cabq.gov

Development and Building Services

C: CO Clerk—Katrina Sigala file

. Albuquerque - Making History 1706-2006

#### DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

DRB#:	PROJECT TITLE: 12,	ZONE MAP: 4-21 1065
ENGINEERING FIRM: TOWNER SECULCES CONTACT: DE TOWNER ADDRESS: \$2.05 SPAN NE ST OS PHONE: CITY, STATE: ALBUQ NA STOLE PHONE: CITY, STATE: ADDRESS: PHONE: CITY, STATE: SIAPPONE: SIAPPONE	DRB#: 'EPC#:	
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COPY PROVIDED	<u></u>	
	COPY PROVIDED	
DATE SUBMITTED:BY:	DATE SUBMITTED:	BY:

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



# Drainage Certificate Lot 12, 11430 Cochiti Street; Albuquerque, New Mexico 87123

I, Joe Towner, NMPE #10592, of the firm of Towner Services Inc. herby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plans dated 04/04/07 rev 2. The record information edited onto the original design documents has been obtained by Joe Towner NMPE#10592 of the firm of Towner Services Inc.

I further certify that I have personally visited the project site on February 5, 2008 and have determined by visual inspection that the survey data provided is representative of the actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for a Certificate of Occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose

Joe Towner, NMPE #10592

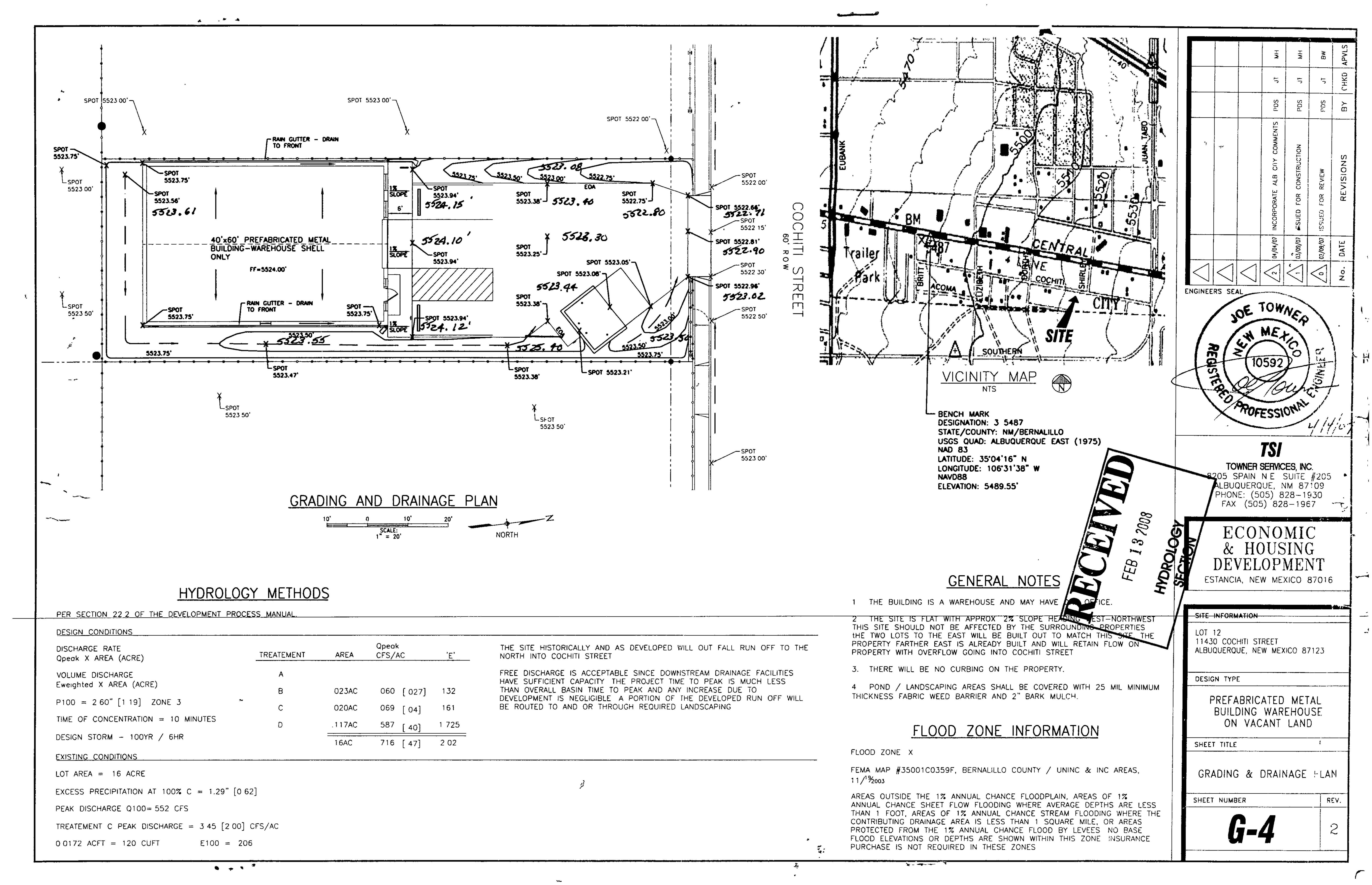
2-11-08

Date



FEB 1 3 2008

HYDROLOGY
SECTION





May 2, 2007

Joe Towner, P.E. 8205 Spain Rd NE, Suite 205 Albuquerque, NM 87109

Re: Prefab Metal Warehouse, 11430 Cochiti St SE, Grading and Drainage Plan Engineer's Stamp dated 4-4-07 (L21/D065)

Dear Mr. Towner,

Based upon the information provided in your submittal dated 5-2-07, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Also, prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required

Sincerely,

Centre à Cher

Curtis A. Cherne, E.I.

Engineering Associate, Planning Dept.

Development and Building Services

If you have any questions, you can contact me at 924-3695.

Albuquerque

P.O. Box 1293

New Mexico 87103

www.cabq.gov

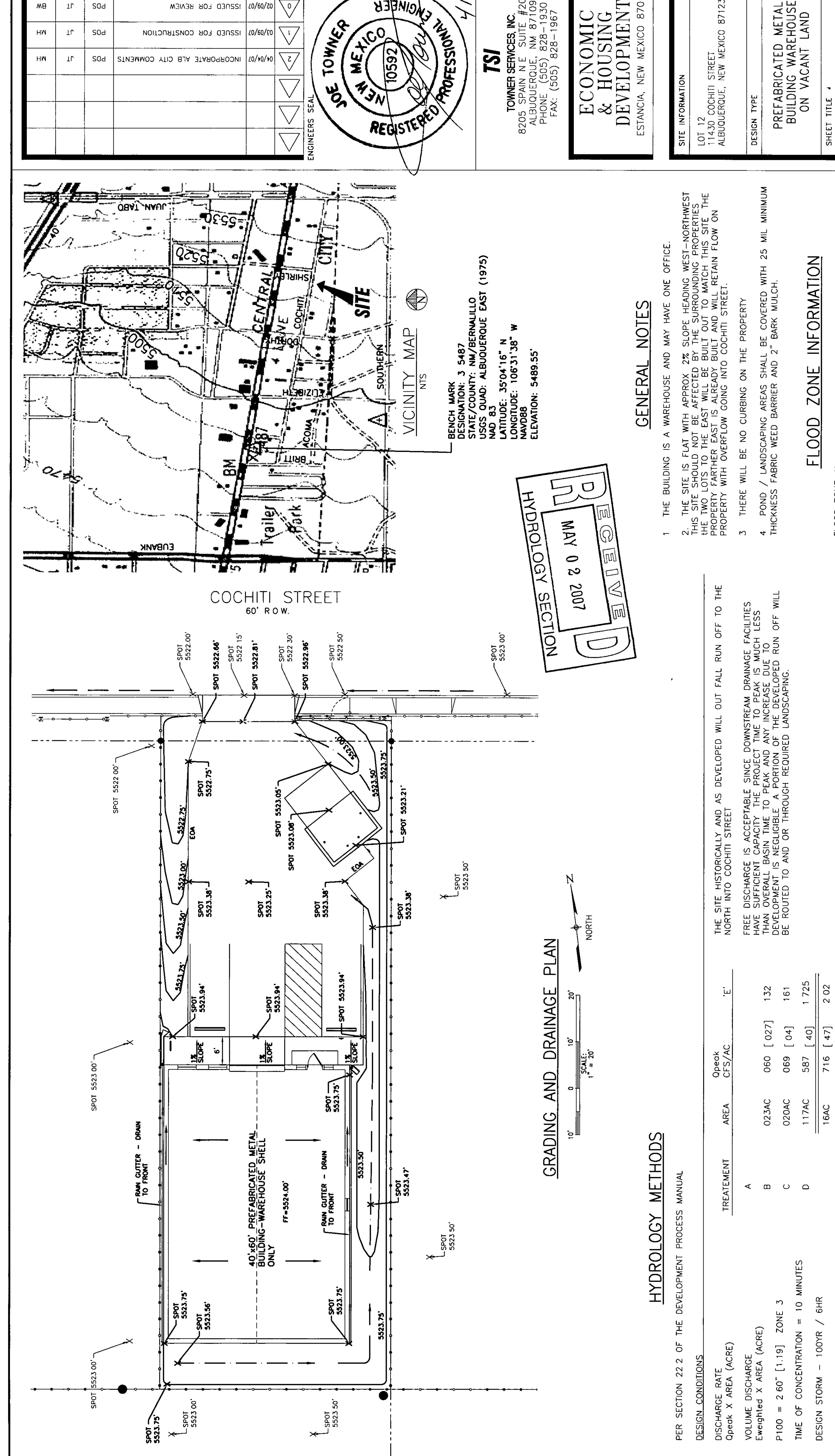
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Miniquerque Making History 1706-2006

ZONE MAP/DRG. FILE # L2/ DD WS WORK ORDER#:  CONTACT: Perry Sherwood PHONE: 828-1930 ZIP CODE: 87109
CONTACT: Perry Sherwood PHONE: 828-1930
CONTACT: <u>Perry Sherwood</u> 25 PHONE: <u>828-1930</u>
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CONTACT: Martin 14-665
PHONE: 384-0026
ZIP CODE: <u>8706</u>
CONTACT:
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SIA/FINANCIAL GUARANTEE RELEASE
PRELIMINARY PLAT APPROVAL
S. DEV. PLAN FOR SUB'D APPROVAL
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HYDROLOGY SECTION
HYDHOLOGY
DATE: 4/6/07

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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- 3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



IIE #205 87109 1-1930 1967

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**DATE** 

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PRECIPITATION

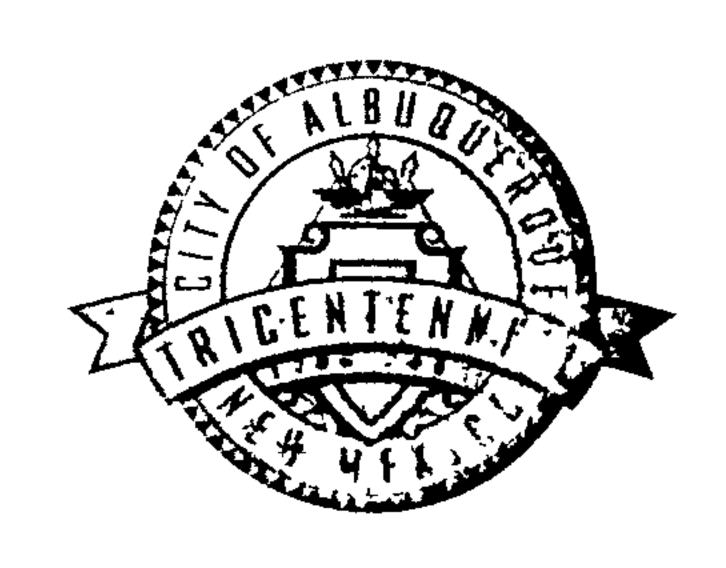
ACRE

16

AREA

CONDITIONS

EXISTING



April 24, 2007

Joe Towner, P.E. 8205 Spain Rd NE, Suite 205 Albuquerque, NM 87109

Re: Prefab Metal Warehouse, 11430 Cochiti St SE, Grading and Drainage Plan Engineer's Stamp dated 4-4-07 (L21/D065)

Dear Mr. Towner,

Based upon the information provided in your submittal dated 4-6-07, the above referenced plan cannot be approved for Grading Permit or Building Permit until the following comments are addressed:

- Provide FEMA map or map number where property is located along with a brief narrative of what flood zone the property is in.
- Provide a brief narrative on the scope of the project and offsite flows which may impact this site. Will this site prepare food?
- Provide a vicinity map.
- Provide direction of roof flows.
- Provide existing elevation data on and offsite, including the flowline in Cochiti St.
- Include the benchmark used for the survey.
- Provide a couple of spots in the trash enclosure.
- Show where there will be curb, if any.
- It is acceptable to harvest stormwater runoff for landscaping, but we discourage retention ponding where it is not required.
- Provide a plan with an engineering scale (e.g. 1"=20").
- A landscaping plan is not required. All information to complete earthwork should be contained on the Grading Plan.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Curtis A. Cherne, E.I.

Engineering Associate, Planning Dept. Development and Building Services

C: file

P.O. Box 1293

Albuquerque

New Mexico 87103

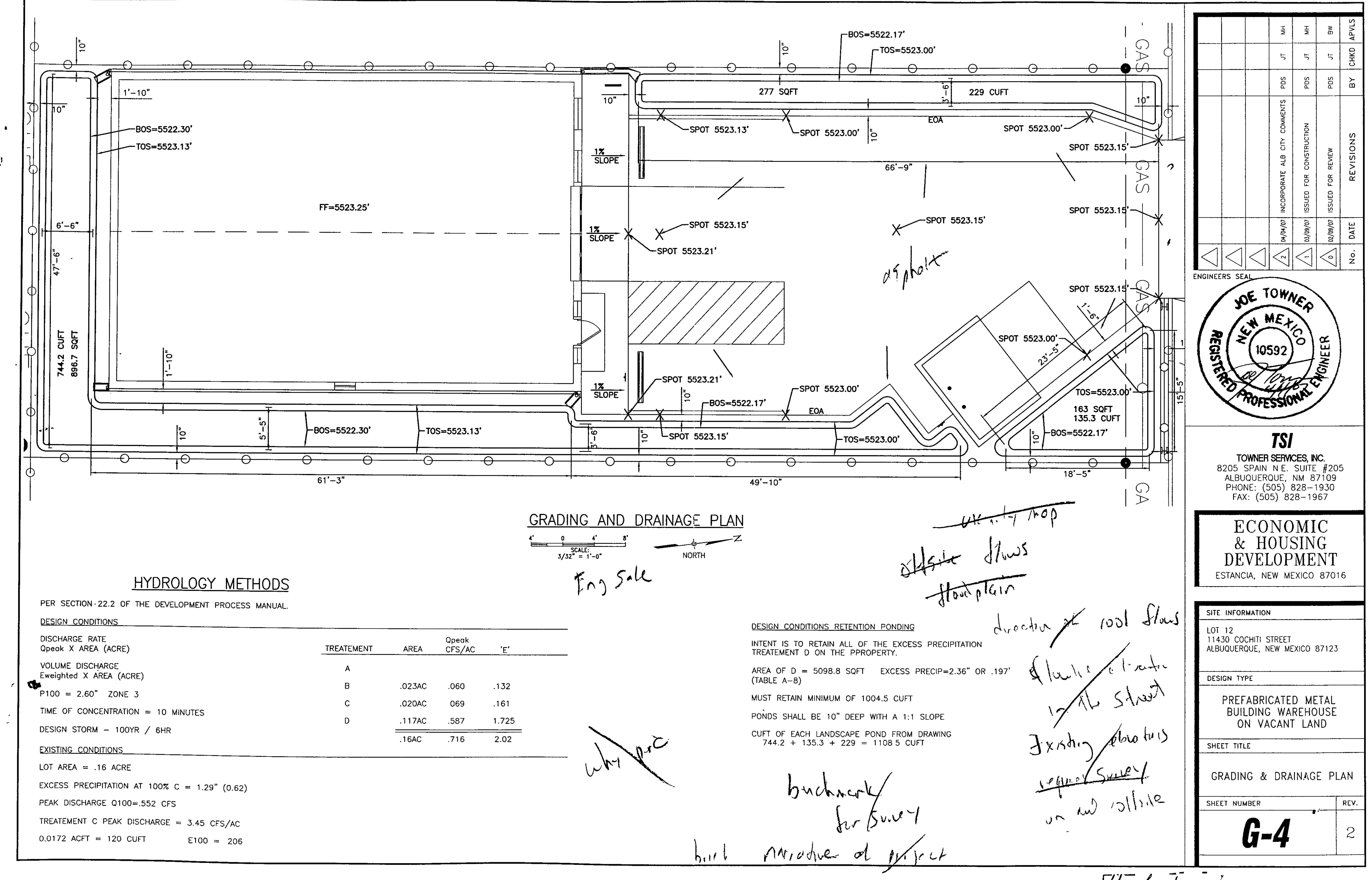
www.cabq.gov

	(Rev. 12/05)
PROJECT TITLE: LOT 12	ZONE MAP/DRG. FILE # \(\(\mathcal{L}\)\(\mathcal{D}\)\(\mathcal{D}\)
DRB#: EPC#:	WORK ORDER#:/
LEGAL DESCRIPTION: LOT 17/BLK 9 CITY ADDRESS: 11 430 COCHITE ST	
ENGINEERING FIRM: Towner Services,	Inc CONTACT: Perry Gherwood
ENGINEERING FIRM: Towner Services, ADDRESS: 8205 Spain Rd. NE CITY, STATE: Albuquerque, NM	, 5+0 205 PHONE: <u>\$2\$-1930</u> ZIP CODE: <u>\$7109</u>
OWNER: Marta Wilds	CONTACT: Martin 14-665
ADDRESS: P.O. Box 646	PHONE: 384-0026
CITY, STATE: Estancie, NM	ZIP CODE: 87016
ARCHITECT:	CONTACT:
ADDRESS:	PHONE:
CITY, STATE:	ZIP CODE:
SURVEYOR:	CONTACT:
ADDRESS:	PHONE:
CITY, STATE:	
CONTRACTOR:	CONTACT:
ADDRESS:	PHONE:
CITY, STATE:	ZIP CODE:
TYPE OF SUBMITTAL:	CHECK TYPE OF APPROVAL SOUGHT:
DRAINAGE REPORT	SIA/FINANCIAL GUARANTEE RELEASE くって
DRAINAGE PLAN 1 <sup>st</sup> SUBMITTAL	PRELIMINARY PLAT APPROVAL
DRAINAGE PLAN RESUBMITTAL	S. DEV. PLAN FOR SUB'D APPROVAL
CONCEPTUAL G & D PLAN	S. DEV. FOR BLDG. PERMIT APPROVAL
GRADING PLAN	SECTOR PLAN APPROVAL
EROSION CONTROL PLAN	FINAL PLAT APPROVAL
ENGINEER'S CERT (HYDROLOGY)	FOUNDATION PERMIT APPROVAL
CLOMR/LOMR	BUILDING PERMIT APPROVAL
TRAFFIC CIRCULATION LAYOUT	CERTIFICATE OF OCCUPANCY (PERM)
ENGINEER/ARCHITECT CERT (TCL)	CERTIFICATE OF OCCUPANCY (TEMP)
ENGINEER/ARCHITECT CERT (DRB S.P.)	GRADING PERMIT APPROVAL
ENGINEER/ARCHITECT CERT (AA)	PAVING PERMIT APPROVAL
OTHER (SPECIFY)	WORK ORDER APPROVAL
	OTHER (SPECIFY)
WAS A PRE-DESIGN CONFERENCE ATTENDED:	APR 0 6 2007
YES	
NO	HYDROLOGY SECTION
COPY PROVIDED	The state of the s
SUBMITTED BY: _ frang Sherings	DATE: 4/6/07
Requests for approvals of Site Development Plans and/or Su	bdivision Plats shall be accompanied by a drainage submittal. The

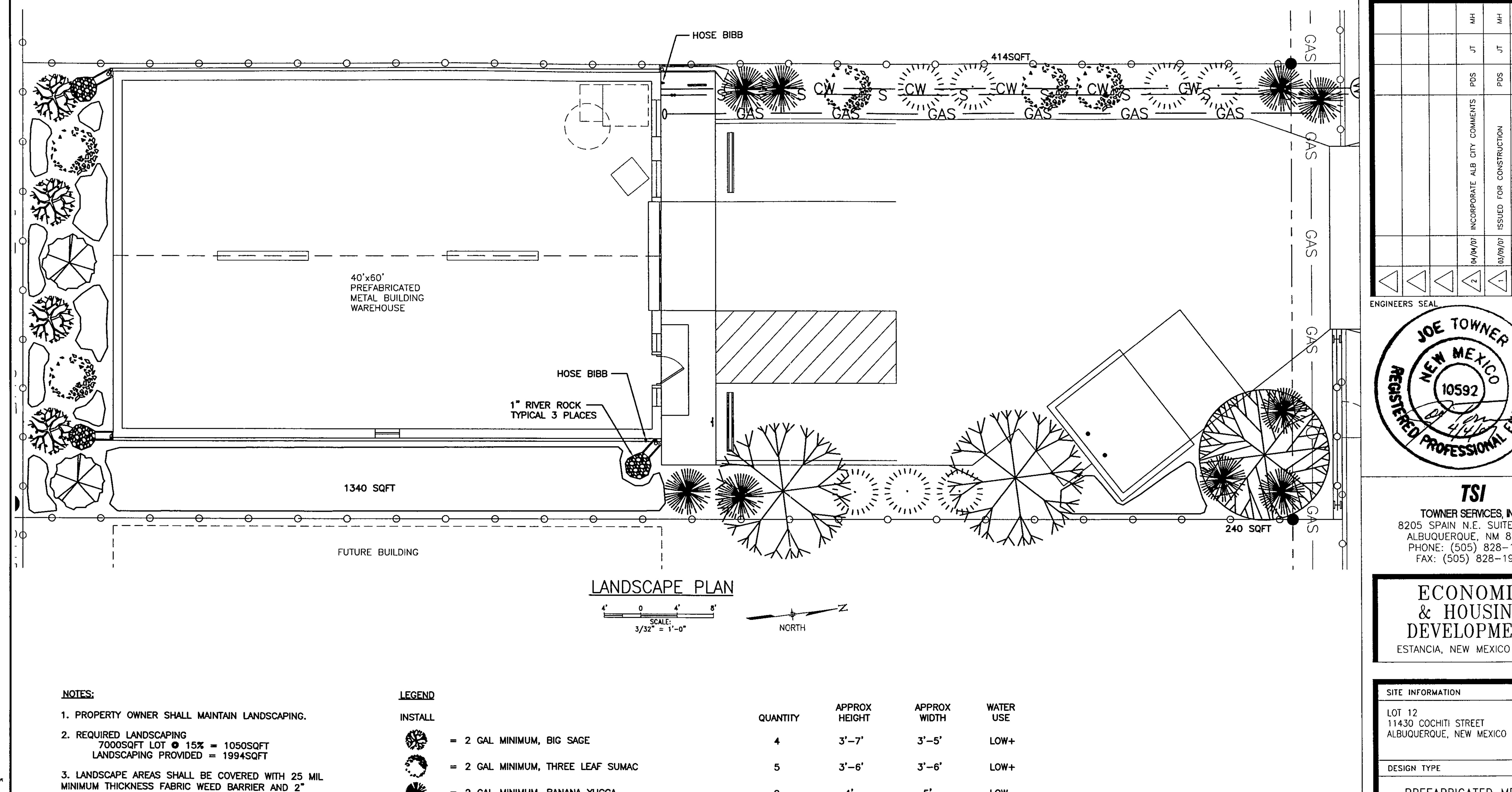
DRAINAGE AND TRANSPORTATION INFORMATION SHEET

particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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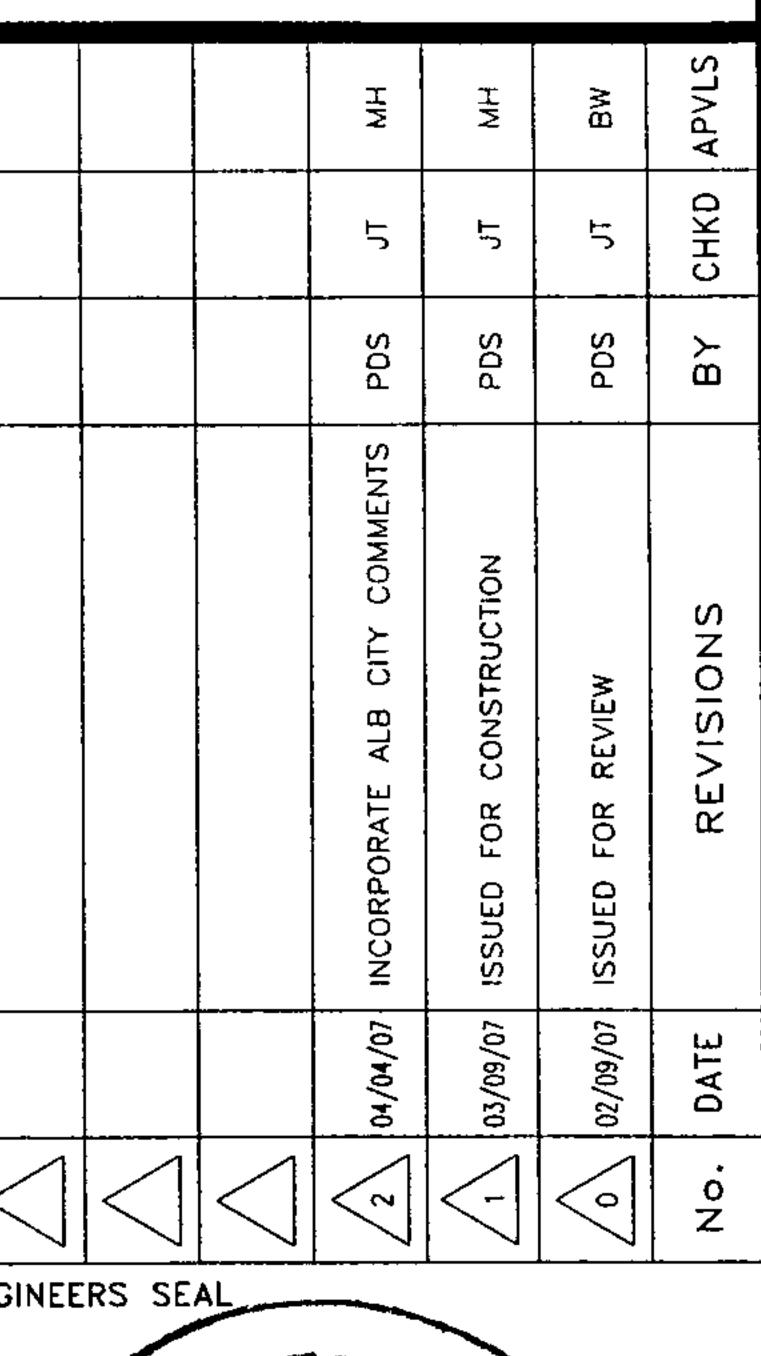


Hydrology



- MINIMUM THICKNESS FABRIC WEED BARRIER AND 2" BARK MULCH.
- 4. LANDSCAPING SHALL BE HAND WATERED THREE TIMES A WEEK UNTIL ESTABLISHED, THEN WATERED AS REQUIRED THERE AFTER.

LEGEND			ADDDOV	ADDDOV	WATED
INSTALL		QUANTITY	APPROX HEIGHT	APPROX WIDTH	WATER USE
	= 2 GAL MINIMUM, BIG SAGE	4	3'-7'	3'-5'	LOW+
	= 2 GAL MINIMUM, THREE LEAF SUMAC	5	3'-6'	3'6'	LOW+
*	= 2 GAL MINIMUM, BANANA YUCCA	9	4'	5'	LOW
	= 2 GAL MINIMUM, CLIFFROSE	3	8'	6'	LOW
	= 2 GAL MINIMUM, LINDHEIMER MUHLY GRASS	6	5'	5'	LOW+
	= 2" CALIPER, 5' HIGH MINIMUM, NEW MEXICO LOCUST TREE	2	25'	15'	MEDIUM
	= 2" CALIPER, 5' HIGH MINIMUM, DESERT WILLOW TREE	1	20'	25'	LOW+
	= 5 LB BAG SEED, BUFFALO GRASS	1	3 <b>"</b> –8 <b>"</b>		MEDIUM





TOWNER SERVICES, INC. 8205 SPAIN N.E. SUITE #205 ALBUQUERQUE, NM 87109 PHONE: (505) 828-1930 FAX: (505) 828-1967

#### ECONOMIC & HOUSING DEVELOPMENT

ESTANCIA, NEW MEXICO 87016

SITE	INFORMATION
_	12 30 COCHITI STREET JQUERQUE, NEW MEXICO 87123
DESI	GN TYPE
PREFABRICATED METAL BUILDING WAREHOUSE ON VACANT LAND	
SHE	TITLE
	LANDSCAPE PLAN

SHEET NUMBER

m 32



April 30, 2007

Joe Towner, P. E. Towner Services, Inc. 8205 Spain NE Ste. # 205 Albuquerque, NM 87109

Re:

Prefabricated Metal Building – Lot 12, 11430 Cochiti Street SE,

Traffic Circulation Layout, Architect's Stamp dated 4-20-07 (L21-D065)

Dear Mr. Towner,

The TCL submittal received 4-26-07 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.

P.O. Box 1293

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed <u>Drainage and Transportation Information Sheet</u> to Hydrology at the Development Services Center of Plaza Del Sol Building.

Albuquerque

New Mexico 87103

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed <u>Drainage and Transportation Information Sheet</u> to Hydrology at the Development Services Center of Plaza Del Sol Building.

www.cabq.gov

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely

Kristal D. Metro, P.E.

Senior Engineer, Planning Dept.

Development and Building Services

C:

File

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (Rev. 12/05)

PROJECT TITLE: $\angle o \neq /Z$ DRB#: EPC#:	ZONE MAP/DRG. FILE # \(\( \( \) \) \( \) \
DRD#: EPC#:	WORK ORDER#.
LEGAL DESCRIPTION: Lot 12, Block 9, East C CITY ADDRESS: 11430 Cochiti Street SE	gentral Business Addition
CITY ADDRESS: 11430 Cochiti Street SE	
ENGINEERING FIRM: Towner Services, Inc.  ADDRESS: 8205 Spain Rd. NE  CITY, STATE: Albaquergue, NM	CONTACT: Perry Sherwood PHONE: 828-1930
ADDRESS: 8205 Spain Fax No Comment of the City STATE: A / have to come a find	ZIP CODE: <u>827/09</u>
CITT, SIMIL. A COUNTY GUY, 10 1	
OWNER: Martin Hibbs	CONTACT: Martin 14, 665  PHONE: 505 - 705 - 8327
ADDRESS: P.O. Box 646	PHONE: 505 - 705 - 8327
ADDRESS: P.O. Box 646 CITY, STATE: Estancia, NM	ZIP CODE: <u>87016</u>
ARCHITECT: ADDRESS:	CONTACT: PHONE:
CITY, STATE:	ZIP CODE:
CITT, DIATE.	
SURVEYOR:	CONTACT:
ADDRESS:	PHONE:
CITY, STATE:	ZIP CODE:
	CONTACT: Bill white
CONTRACTOR: Circative Building Enf ADDRESS: P.O. Box 1321 CITY, STATE: Edge wood, NM	PHONE: 505 281 - 2866
CITY STATE: For the second in ALM	ZIP CODE: <u>909</u> 2000
CITT, DIMIL. <u>France of Control o</u>	
TYPE OF SUBMITTAL:	TYPE OF APPROVAL SOUGHT:
DRAINAGE REPORT	SIA/FINANCIAL GUARANTEE RELEASE
DRAINAGE PLAN 1 <sup>st</sup> SUBMITTAL	PRELIMINARY PLAT APPROVAL
DRAINAGE PLAN RESUBMITTAL	S. DEV. PLAN FOR SUB'D APPROVAL
CONCEPTUAL G & D PLAN	S. DEV. FOR BLDG. PERMIT APPROVAL
GRADING PLAN	SECTOR PLAN APPROVAL
ENCINEER'S CERT (HYDROLOGY)	_ FINAL PLAT APPROVAL FOUNDATION PERMIT APPROVAL
ENGINEER'S CERT (HYDROLOGY)  CLOMR/LOMR	BUILDING PERMIT APPROVAL
TRAFFIC CIRCULATION LAYOUT	CERTIFICATE OF OCCUPANCY (PERM)
ENGINEER/ARCHITECT CERT (TCL)	CERTIFICATE OF OCCUPANCY (TEMP)
ENGINEER/ARCHITECT CERT (DRB S.P.)	GRADING PERMIT APPROVAL
ENGINEER/ARCHITECT CERT (AA)	PAVING PERMIT APPROVAL
OTHER (SPECIFY)	WORK ORDER APPROVAL
775<11R	OTHER (SPECIFY)
WAS A PRE-DESIGN CONFERENCE ATTENDED:	APR 2 6 2007
YES	
NO COPY PROVIDED	HYDROLOGY SECTION
SUBMITTED BY: [ Showord	DATE: <u>4/26/07</u>

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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- 3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

(505) 924-

PLANS DISA

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# SOLO WASTEDISPOSAL

(505) 761-8100

PLANS DISAPPROVED

refuse container(s) shall be in place before a Certificate of Occupancy will be issued.
An inspection by the SWMD plan checker is required before the concrete slab or apron is poured.
Each customer shall provide their own refuse container(s).
Contact the SWMD at least thirty (30) days prior to occupancy to start service.
Proposed construction complies with the Albuquerque Municipal Refuse Collection Service Ordinance (Ordinance 42-1980, as amended).

PLANS APPROVED OF Whate 761-8336 DATE 3	-15-07
PLANS CORRECTIONS REQUIRED: (INDICATE ORDINANCE SECTION REFERENCE)	
Approved Most Call For pro- pour In Allo Most have 4 Ballard Not 2	Special

# INTERNATIONAL BUILDING CODE

(505) 924-39\_

Premises shall not be occupied until a Certificate of Occupancy has been issued in accordance with Section 115 of the Uniform Administrative Code.

DESCRIPTION OF WORK
SIZE OF BLDG. (SQ.FT.)
CONSTRUCTION TYPE _

OCCUPANCY GROUP

BUILDING CODE EDITION (YR.)

DATE

PLANS DISAPPROVED PLANS APPROVED

DATE DATE

PLANS-CORRECTIONS REQUIRED: (INDICATE/ORDINANCE SECTION REFERENCE)

- Provide all Code Design Data.
- Clarify on the drawings how the building will be used.
- Clarify on the drawings all the clear huilding sethacks

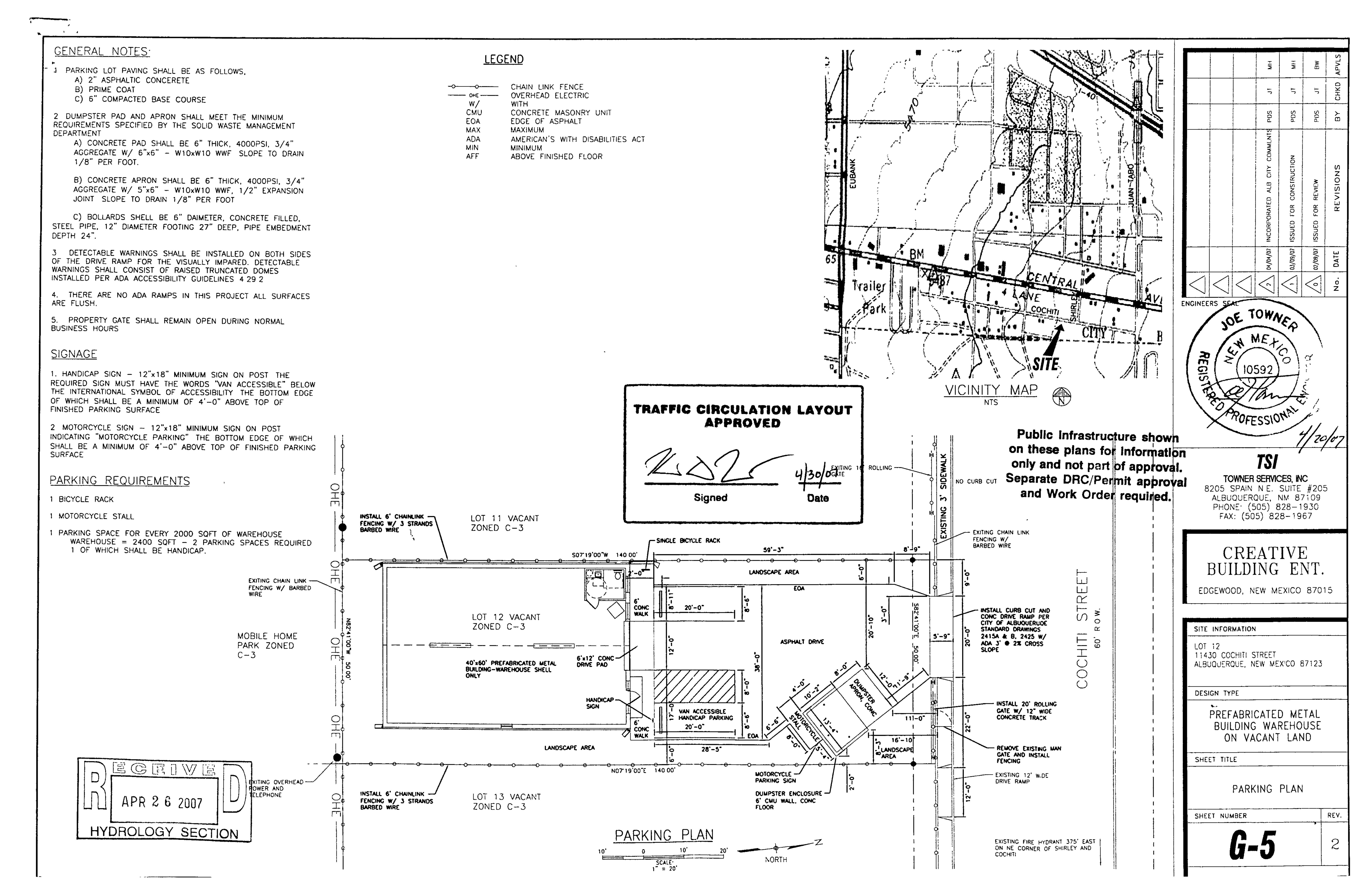
(505) 924-39

CODE EDITION UPC Zac

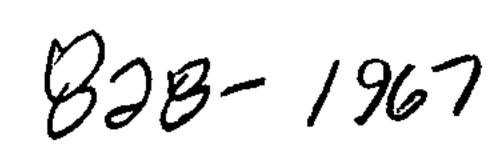
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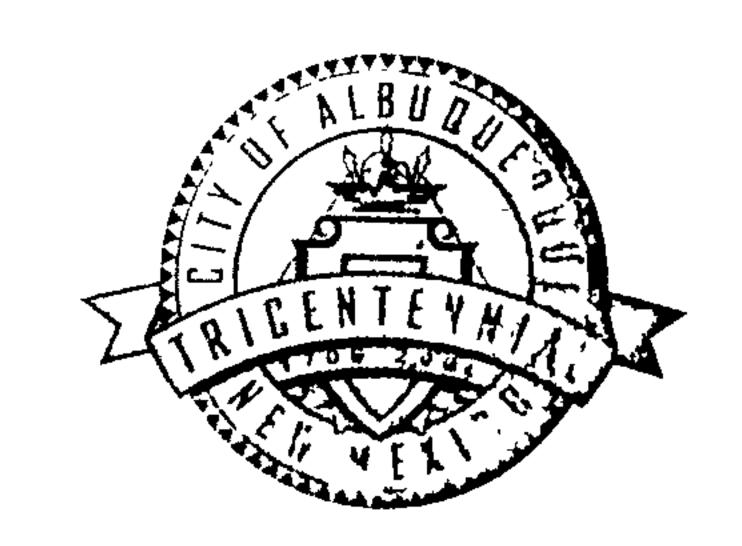
> **SECO** 04/13/ John Shee (505)924

> > www.jshe



Ax





April 30, 2007

Joe Towner, P.E. 8205 Spain Rd NE, Suite 205 Albuquerque, NM 87109

Re: Prefab Metal Warehouse, 11430 Cochiti St SE, Grading and Drainage Plan Engineer's Stamp dated 4-25-07 (L21/D065)

Dear Mr. Towner,

Based upon the information provided in your submittal dated 4-26-07, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

- Stormwater runoff should leave the site. Stormwater can be harvested (detained) in landscaped areas, but must then leave the site. Keep in mind a water block (usually 8") is required on the site to prevent stormwater in the street from entering the site. Please provide a spot elevation at the east side of the drive entrance.
- It appears when runoff tops the west pond at 5523.00; it will flow into the lot to the west. This needs to be prevented and runoff should leave the site into the street.
- Detention ponds should drain in 24 hours.
- Please label elevations so it is possible to discern between existing and proposed conditions.
- The 1% slope north of the building would put the spot at 23.19 not the 23.21 shown. This assumes a 6 ft run.
- Plans should be 24" x 36".

If you have any questions, you can contact me at 924-3695.

Sincerely,

Curtis A. Cherne, E.I.

Engineering Associate, Planning Dept. Development and Building Services

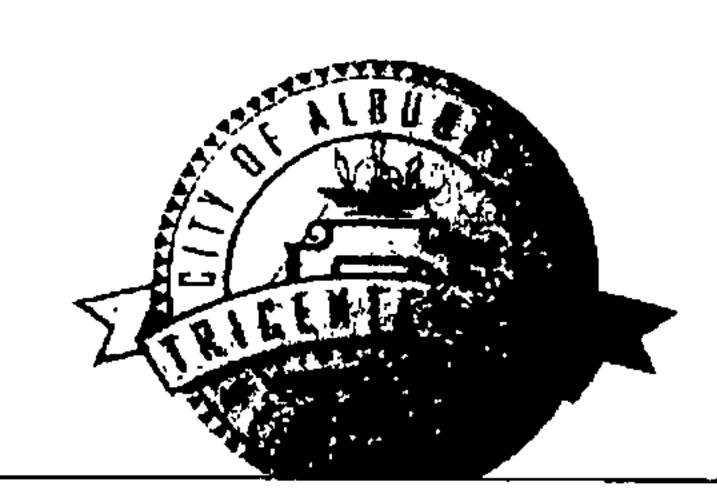
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## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (Rev. 12/05)

PROJECT TITLE:	ZONE MAP/DRG. FILE # \(\( \Z \) \(\) \(\lambda \) \(\lambda \) WORK ORDER#:
LEGAL DESCRIPTION: Lot 12, Block 9, Eas CITY ADDRESS: 11430 Cochiti Street S	+ Central Business Addition
ENGINEERING FIRM: Towner-Services, Inc.  ADDRESS: 8205 Spain Rd. NE  CITY, STATE: Albaguergue, NM	CONTACT: <u>Perry Sherwood</u> PHONE: <u>828-1930</u> ZIP CODE: <u>87109</u>
OWNER: Martin Hibbs  ADDRESS: P.O. Box 646  CITY, STATE: Estancia, NM	CONTACT: Montin 4.665
ARCHITECT: ADDRESS: CITY, STATE:	CONTACT:PHONE:ZIP CODE:
SURVEYOR: ADDRESS: CITY, STATE:	CONTACT: PHONE: ZIP CODE:
CONTRACTOR: Circulive Building En ADDRESS: P.O. Box 1321 CITY, STATE: Edge wood, NM	- CONTACT: Bill white PHONE: 505 281-2856 ZIP CODE: 97015
	SIA/FINANCIAL GUARANTEE RELEASE PRELIMINARY PLAT APPROVAL S. DEV. PLAN FOR SUB'D APPROVAL S. DEV. FOR BLDG. PERMIT APPROVAL SECTOR PLAN APPROVAL FINAL PLAT APPROVAL FOUNDATION PERMIT APPROVAL BUILDING PERMIT APPROVAL CERTIFICATE OF OCCUPANCY (PERM) CERTIFICATE OF OCCUPANCY (TEMP) GRADING PERMIT APPROVAL PAVING PERMIT APPROVAL WORK ORDER APPROVAL OTHER (SPECIFY)
WAS A PRE-DESIGN CONFERENCE ATTENDED:  YES NO	HYDROLOGY SECTION
COPY PROVIDED SUBMITTED BY: Shewood	DATE: 4/26/07

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



April 24, 2007

Joe Towner, P.E. 8205 Spain Rd NE, Suite 205 Albuquerque, NM 87109

Post-it* Fax Note 7671	Date 4-24 # of pages
TOPERRY	From Tim Sims
Co./Dept.	Co.
Phone #	Phone # 924-3932
Fax# 828-1967	Fax # .•

Prefab Metal Warehouse, 11430 Cochiti St SE, Grading and Drainage Plan Re: Engineer's Stamp dated 4-4-07 (L21/D065)

Dear Mr. Towner,

Based upon the information provided in your submittal dated 4-6-07, the above referenced plan cannot be approved for Grading Permit or Building Permit until the following comments are addressed:

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

Provide FEMA map or map number where property is located along with a brief

narrative of what flood zone the property is in.

Provide a brief narrative on the scope of the project and offsite flows which may impact this site. Will this site prepare food?

Provide a vicinity map.

Provide direction of roof flows.

Provide existing elevation data on and offsite, including the flowline in Cochiti St.

Include the benchmark used for the survey.

Provide a couple of spots in the trash enclosure.

Show where there will be curb, if any. No curb

It is acceptable to harvest stormwater runoff for landscaping, but we discourage retention ponding where it is not required.

Provide a plan with an engineering scale (e.g. 1"=20").

A landscaping plan is not required. All information to complete earthwork should be contained on the Grading Plan.

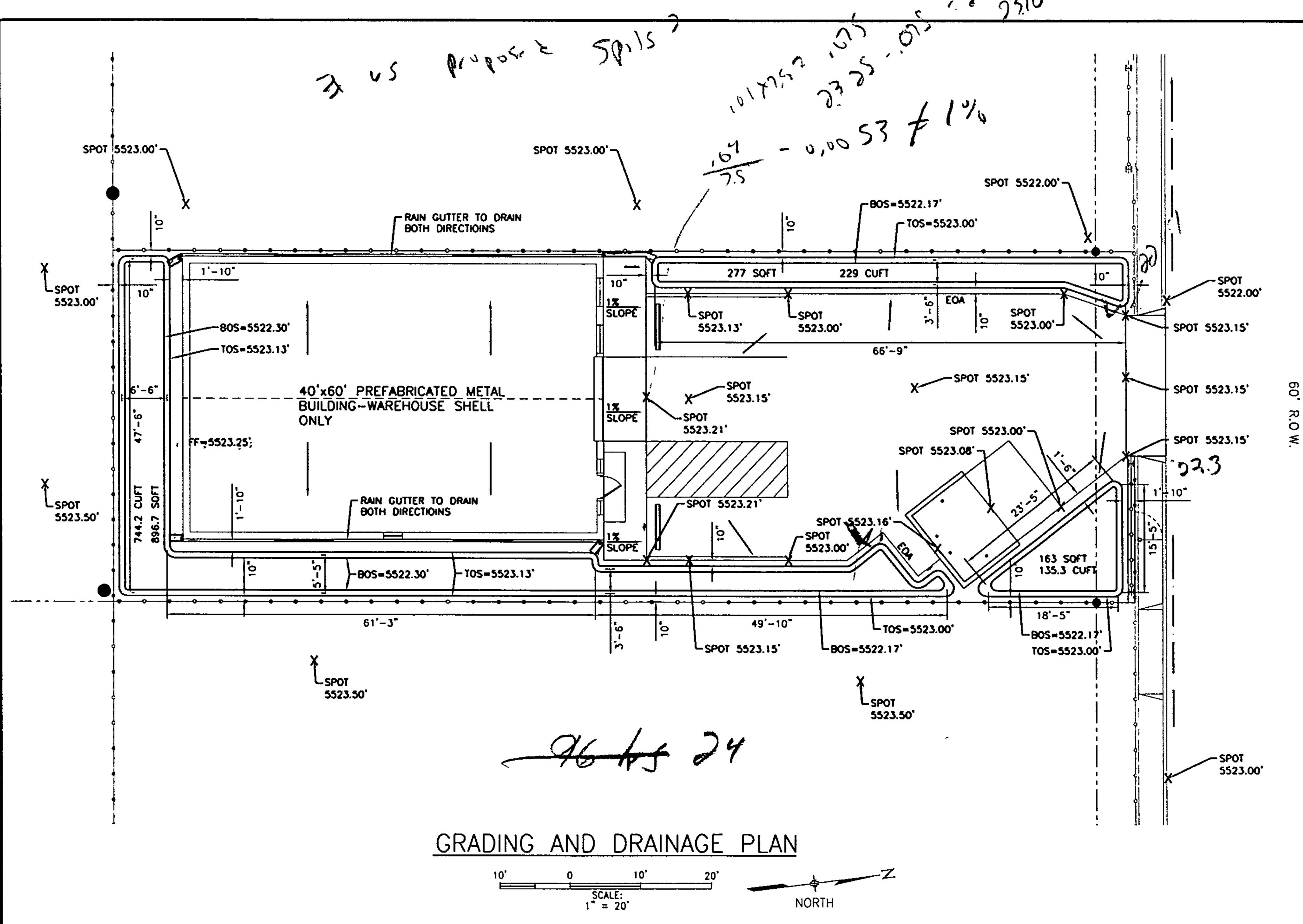
If you have any questions, you can contact me at 924-3695.

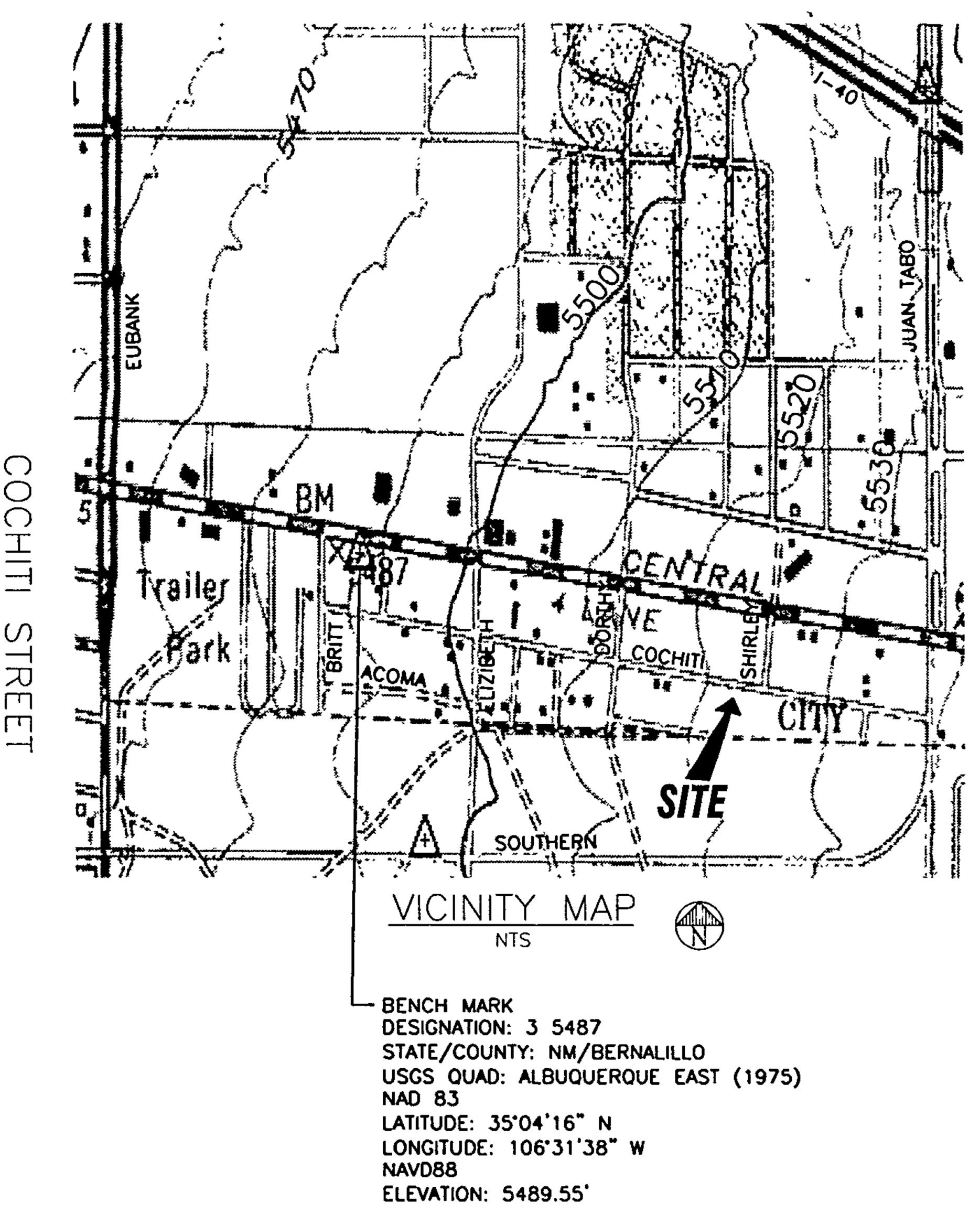
Sincerely,

Curtis A. Cherne, E.I.

Engineering Associate, Planning Dept. Development and Building Services

file





# ENGINEERS SEAL TOWNER SERVICES, INC.

8205 SPAIN N.E. SUITE #205 ALBUQUERQUE, NM 87109 PHONE: (505) 828-1930 FAX: (505) 828-1967

#### ECONOMIC & HOUSING DEVELOPMENT

ESTANCIA, NEW MEXICO 87016

SITE	INFORMATION

LOT 12 11430 COCHITI STREET ALBUQUERQUE, NEW MEXICO 87123

DESIGN TYPE

PREFABRICATED METAL BUILDING WAREHOUSE ON VACANT LAND

SHEET TITLE

GRADING & DRAINAGE PLAN

REV.

SHEET NUMBER

GENERAL NOTES

THE BUILDING IS A WAREHOUSE AND MAY HAVE ONE OFFICE.

2 THE SITE IS FLAT WITH APPROX. 2% SLOPE HEADING WEST-NORTHWEST. THIS SITE SHOULD NOT BE AFFECTED BY THE SURROUNDING PROPERTIES THE TWO LOTS TO THE EAST WILL BE BUILT OUT TO MATCH THIS SITE THE PROPERTY FARTHER EAST IS ALREADY BUILT AND WILL RETAIN FLOW ON PROPERTY WITH OVERFLOW GOING INTO COCHITI STREET

- 3 THERE WILL BE NO CURBING ON THE PROPERTY
- 4. POND / LANDSCAPING AREAS SHALL BE COVERED WITH 25 MIL MINIMUM THICKNESS FABRIC WEED BARRIER AND 2" BARK MULCH

#### FLOOD ZONE INFORMATION

FLOOD ZONE X

FEMA MAP #35001C0359F, BERNALILLO COUNTY / UNINC & INC AREAS,  $11/^{19}\!\!2003$ 

AREAS OUTSIDE THE 1% ANNUAL CHANCE FLOODPLAIN, AREAS OF 1% ANNUAL CHANCE SHEET FLOW FLOODING WHERE AVERAGE DEPTHS ARE LESS THAN 1 FOOT, AREAS OF 1% ANNUAL CHANCE STREAM FLOODING WHERE THE CONTRIBUTING DRAINAGE AREA IS LESS THAN 1 SQUARE MILE, OR AREAS PROTECTED FROM THE 1% ANNUAL CHANCE FLOOD BY LEVEES. NO BASE FLOOD ELEVATIONS OR DEPTHS ARE SHOWN WITHIN THIS ZONE INSURANCE PURCHASE IS NOT REQUIRED IN THESE ZONES

### HYDROLOGY METHODS

PER SECTION 22 2 OF THE DEVELOPMENT PROCESS MANUAL

DESIGN CONDITIONS	· · · · · · · · · · · · · · · · · · ·		<u> </u>	
DISCHARGE RATE Qpeak X AREA (ACRE)	TREATEMENT	AREA	Opeak CFS/AC	'E'
VOLUME DISCHARGE	Α			
Eweighted X AREA (ACRE)	В	.023AC	060	132
P100 = 260" ZONE 3	С	.020AC	069	161
TIME OF CONCENTRATION = 10 MINUTES	D	.117AC	587	1 725
DESIGN STORM - 100YR / 6HR 1500	• [	16AC	716	2 02
EXISTING CONDITIONS		<del></del>	<u> </u>	

LOT AREA = 16 ACRE

EXCESS PRECIPITATION AT 100% C = 1.29° (0.62)

PEAK DISCHARGE Q100= 552 'CFS

TREATEMENT C PEAK DISCHARGE = 3 45 CFS/AC

0.0172 ACFT = 120 CUFT

E100 = 206

TREATEMENT D ON THE PPROPERTY EXCESS PRECIP=2 36" OR .197' AREA OF D = 50988 SQFT (TABLE A-8)

INTENT IS TO RETAIN ALL OF THE EXCESS PRECIPITATION

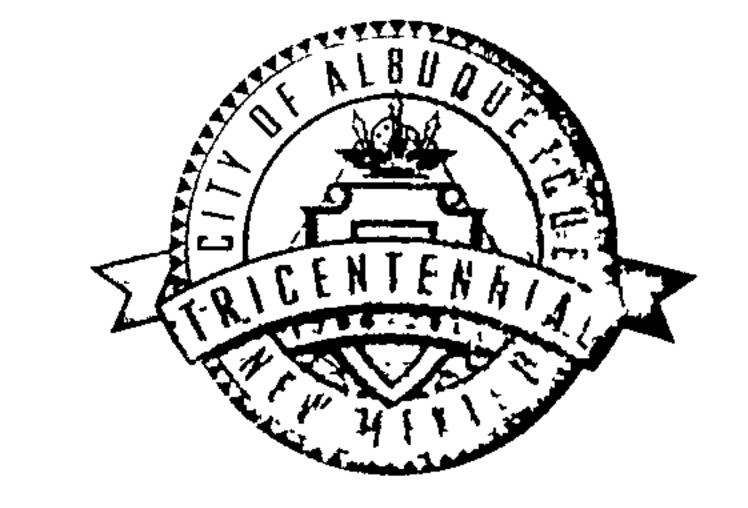
MUST RETAIN MINIMUM OF 1004 5 CUFT

DESIGN CONDITIONS RETENTION PONDING

PONDS SHALL BE 10" DEEP WITH A 1.1 SLOPE

CUFT OF EACH LANDSCAPE POND FROM DRAWING 744.2 + 135.3 + 229 = 11085 CUFT

April 11, 2007



Joe Towner, P. E.

Towner Services, Inc.
8205 Spain NE Ste. # 205
Albuquerque, NM 87109

Re: Prefabricated Metal Building – Lot 12, 11430 Cochiti Street SE, Traffic Circulation Layout, Architect's Stamp dated 04-04-07 (L21-D065)

Dear Mr. Towner,

Based upon the information provided in your submittal received 04-06-07, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

	1.	Provide the width of the sidewalk along the road.
	2.	Please show a vicinity map.  Please show a vicinity map.
	3.	Per the Development Process Manual Chapter 27. C.
		Per the Development Process Manual, Chapter 27, Section 1, "Standard sheets must be
	4.	24" by 36" having a margin of 2" along the left and 1" on the top and bottom."
P.O. Box 1293	5.	All ramps located within the City right of way will need to include truncated domes.
1.C). D(). 127.7	6.	- 1900 Onouto an tamps are ADA compliant.
	7	Show the location of the nearest driveway on the adjacent lot.
	<i>'</i> .	To the Development Process Manual, Chapter 27 Section 7 Don Est.
Albuquerque	0	TO SILOS OI ICAN IIIAII ) ACTEC .
maquerque	8.	Include a legend defining all symbols and linetypes.
	9.	it appears there is a rolling gate at the driveway Will this be
		$F^{-1}$ and making details.
New Mexico 87103	10.	The entire site will need to be shown on the plan.
	11.	Please clarify existing versus proposed conditions e-fly - a count
	12.	Will the existing driveway be closed? $-No$ $exist$ $Arive$
	13.	Refer to all applicable City of Albuquerque Standard Control
vww.cabq.gov	14.	Refer to all applicable City of Albuquerque Standard Specifications by drawing number.  Label Cochiti Street on the plan.
1 ()	15.	Include a copy of solid waste approval.
	16.	You must demonstrate how waste approval.
	- 0 .	You must demonstrate how vehicles will be able to maneuver in and out of the
		name appearable. Dased on the information provided
		required need to meet w/ WG - ok'd by WG 4/19/07

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal Metro, P.E. Senior Engineer

Development and Building Services

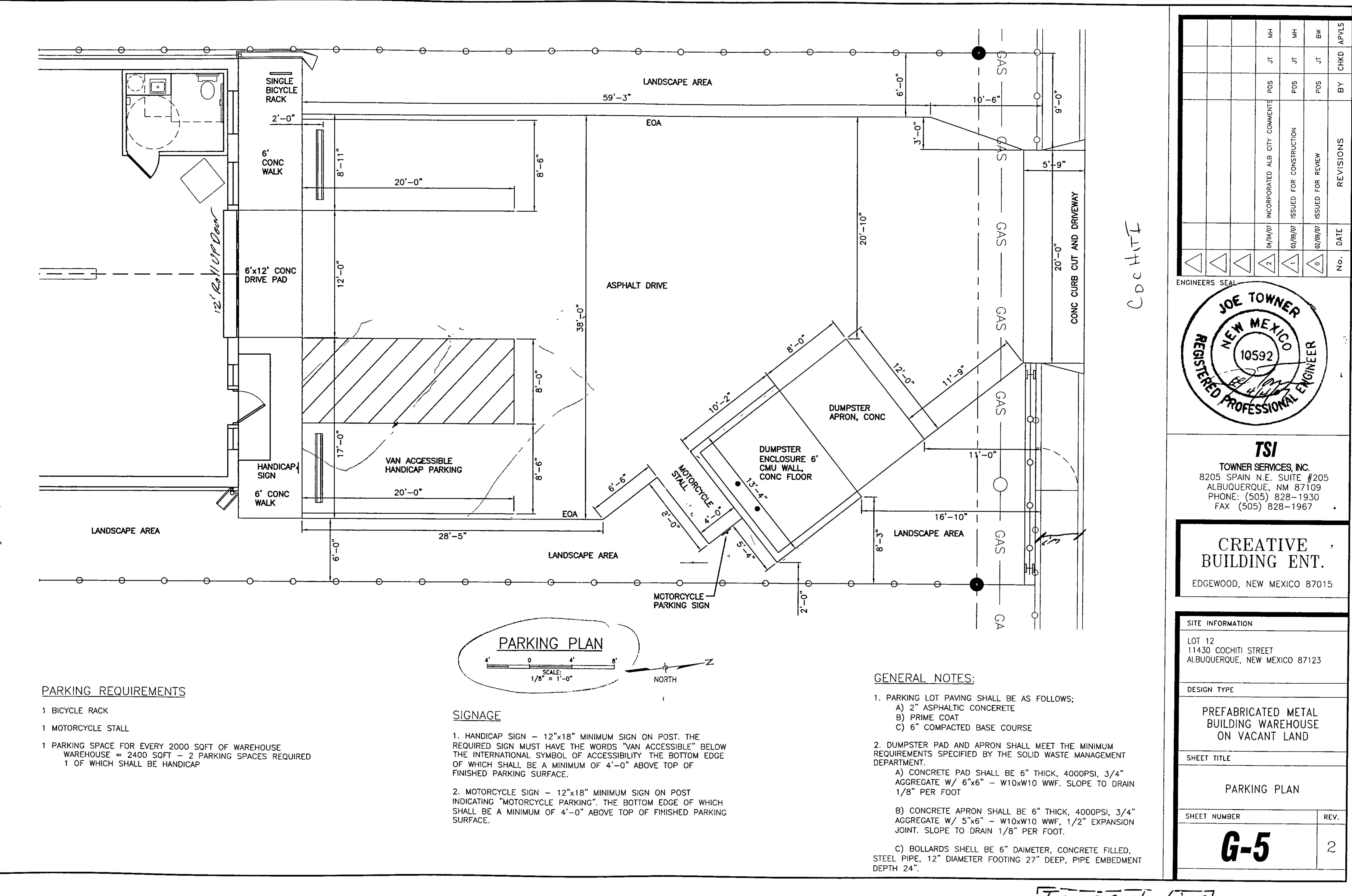
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## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (Rev. 12/05)

PROJECT TITLE: LOT 1Z	ZONE MAP/DRG. FILE # \(\( \Z \) \( \D \) \( \D \)
DRB#: EPC#:	WORK ORDER#:/
LEGAL DESCRIPTION: LOT 17/BLK 9	
CITY ADDRESS: 11 430 COCHTE S	
CITTADDRESS: 11 130 - TILL 31	<del></del>
ENGINEERING FIRM: Towner Services, Inc ADDRESS: 8205 Spain Rel. NE, Ste	CONTACT: <u>Perry Gherwood</u> 205 PHONE: <u>825-1930</u>
ADDRESS: 8205 Spark Kel, NE, Sta	- 705 PHONE: <u>\$ 25-1930</u>
CITY, STATE: A/buguergue, NM	ZIP CODE: <i>§ 7/0 9</i>
	CONTACT: Martin 14-665
OWNER: Marty Hibbs  ADDRESS: F.O. Box 646	PHONE: 384-0026
CITY, STATE: Estericia, NM	ZIP CODE: 8706
ARCHITECT:	CONTACT:
ADDRESS:	PHONE:
CITY, STATE:	ZIP CODE:
CI IDA/EA/OD.	CONTR & CT.
SURVEYOR:ADDRESS:	CONTACT:
CITY, STATE:	PHONE:
CITT, STATE:	ZIP CODE:
CONTRACTOR:	CONTACT:
ADDRESS:	PHONE:
CITY, STATE:	
TYPE OF SUBMITTAL:	ECK TYPE OF APPROVAL SOUGHT:
DRAINAGE REPORT	SIA/FINANCIAL GUARANTEE RELEASE
DRAINAGE PLAN 1 <sup>st</sup> SUBMITTAL	PRELIMINARY PLAT APPROVAL
DRAINAGE PLAN RESUBMITTAL	S. DEV. PLAN FOR SUB'D APPROVAL
CONCEPTUAL G & D PLAN	S. DEV. FOR BLDG. PERMIT APPROVAL
GRADING PLAN	SECTOR PLAN APPROVAL
EROSION CONTROL PLAN	FINAL PLAT APPROVAL
ENGINEER'S CERT (HYDROLOGY)	FOUNDATION PERMIT APPROVAL
CLOMR/LOMR	> BUILDING PERMIT APPROVAL
TRAFFIC CIRCULATION LAYOUT	CERTIFICATE OF OCCUPANCY (PERM)
ENGINEER/ARCHITECT CERT (TCL)	CERTIFICATE OF OCCUPANCY (TEMP)
ENGINEER/ARCHITECT CERT (DRB S.P.)	GRADING PERMIT APPROVAL
ENGINEER/ARCHITECT CERT (AA)	PAVING PERMIT APPROVAL
OTHER (SPECIFY)	WORK ORDER APPROVAL
	OTHER (SPECIFY)
	1121
WAS A PRE-DESIGN CONFERENCE ATTENDED:	APR 0 6 2007
YES	
NO	HYDROLOGY SECTION
COPY PROVIDED	
SUBMITTED BY: Street Sheet of	DATE: 4/6/07

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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Transportation;