

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

March 3, 2008

Joe Towner, P.E.
8205 Spain NE, Ste. 205
Albuquerque, NM 87109

Re: Certification Submittal for Final Building Certificate of Occupancy for
Lot 13, [L-21 / D066]
11,500 ~~11,420~~ Cochiti Street
ES Engineer's Stamp Dated 02/19/08

Dear Mr. Towner:

P.O. Box 1293

The TCL / Letter of Certification submitted on February 29, 2008 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Albuquerque

Sincerely,

New Mexico 87103

www.cabq.gov

Milo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 12/2005)

PROJECT TITLE: LOT 13 ZONE MAP: L-2110566
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: _____
CITY ADDRESS: _____

ENGINEERING FIRM: JOE TOWNER CONTACT: PERRY
ADDRESS: 8205 SPAIN NE ST 205 PHONE: 828-1930
CITY, STATE: ALBUQ, NM ZIP CODE: 87109

OWNER: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: ECONOMIC & HOUSING DEV CONTACT: MARTIN
ADDRESS: P.O. BOX 645 PHONE: 705-5049
CITY, STATE: ESTANCA NM ZIP CODE: 87016

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

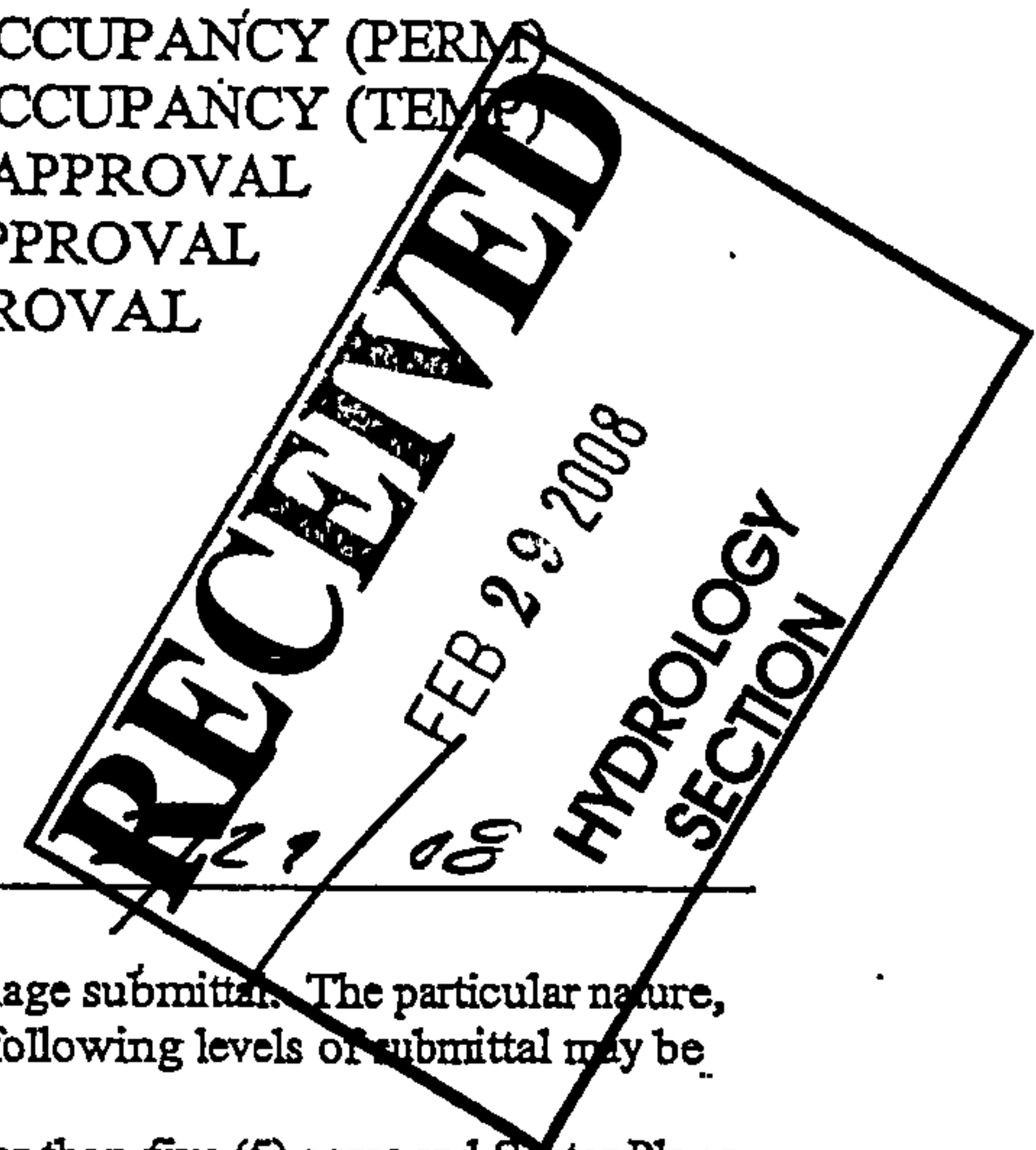
WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES
☐ NO
☐ COPY PROVIDED

DATE SUBMITTED: [Signature] BY: _____

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.




TSI
Towner Services, Inc.

Traffic Certificate
Lot 13, 11420 Cochiti Street; Albuquerque, New Mexico 87123

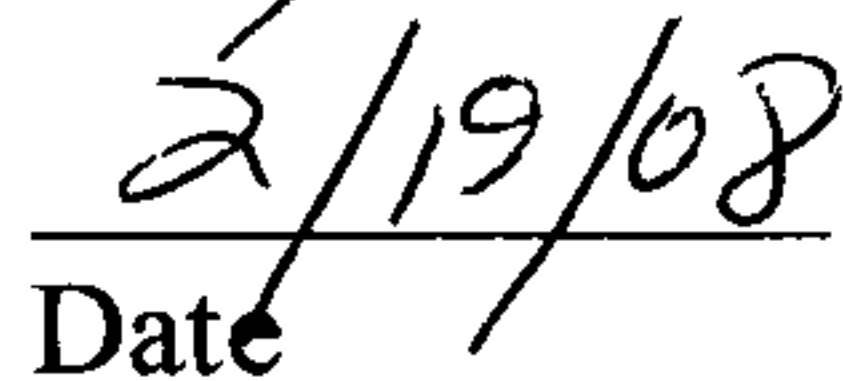
I, Joe Towner, NMPE #10592, of the firm of Towner Services Inc. hereby certify that this project is in substantial compliance with and in accordance with the design intent of the parking plan dated 04/25/07 rev 0 approved by the City on 7/11/07. The record information edited onto the original design documents has been obtained by Joe Towner NMPE#10592 of the firm of Towner Services Inc.

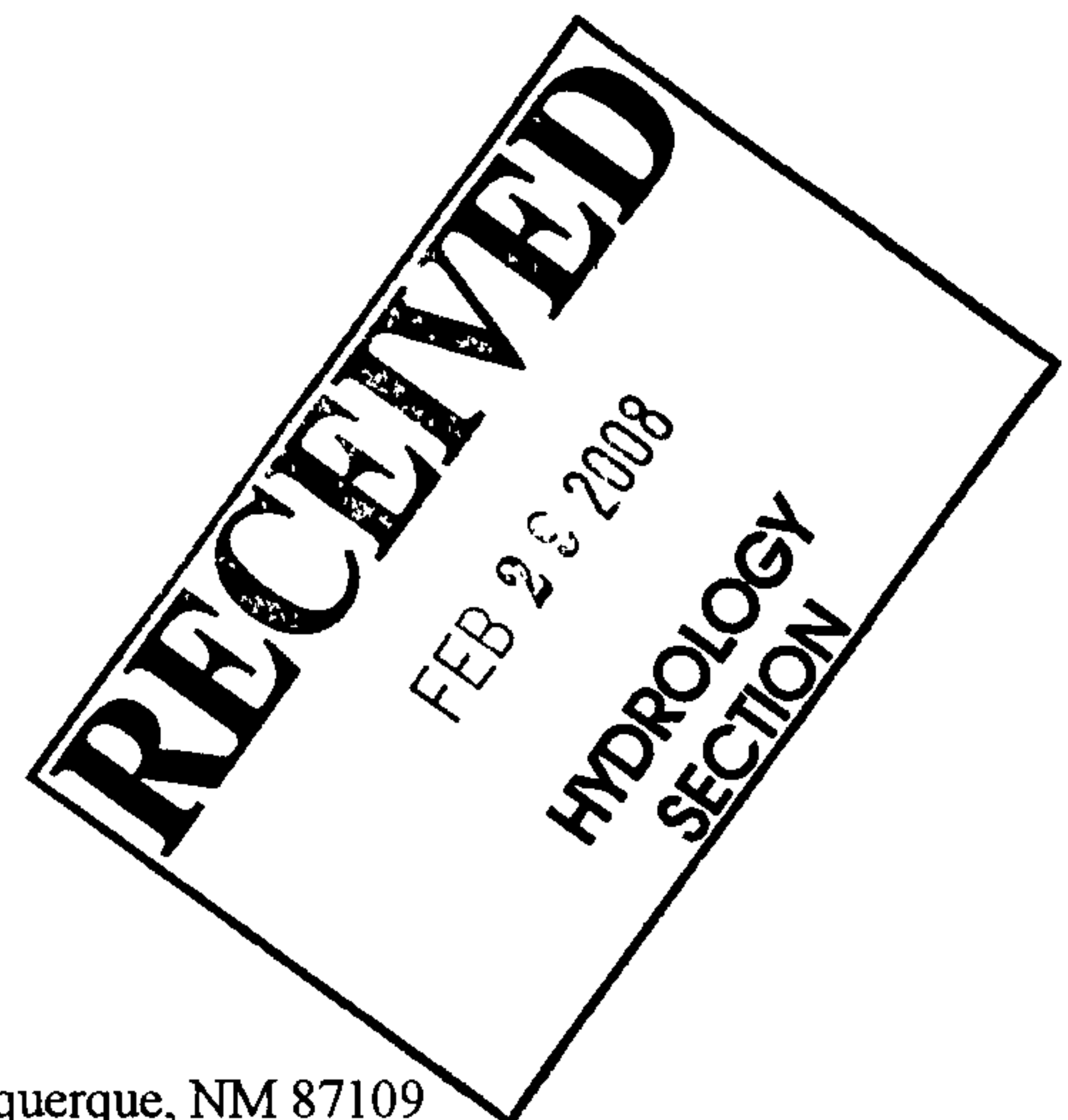
I further certify that I have personally visited the project site on February 19, 2008 and have determined by visual inspection that the survey data provided is representative of the actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for a Certificate of Occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose



Joe Towner, NMPE #10592


Date



GENERAL NOTES

- 1. PARKING LOT PAVING SHALL BE AS FOLLOWS.
 - A) 2" ASPHALTIC CONCRETE
 - B) PRIME COAT
 - C) 6" COMPACTED BASE COURSE
- 2. DUMPSTER PAD AND APRON SHALL MEET THE MINIMUM REQUIREMENTS SPECIFIED BY THE SOLID WASTE MANAGEMENT DEPARTMENT.
 - A) CONCRETE PAD SHALL BE 6" THICK, 4000PSI, 3/4" AGGREGATE W/ 6"x6" - W10xW10 WWF, SLOPE TO DRAIN 1/8" PER FOOT
 - B) CONCRETE APRON SHALL BE 6" THICK, 4000PSI, 3/4" AGGREGATE W/ 5"x6" - W10xW10 WWF, 1/2" EXPANSION JOINT. SLOPE TO DRAIN 1/8" PER FOOT.
 - C) BOLLARDS SHALL BE 6" DAMETER, CONCRETE FILLED, STEEL PIPE, 12" DIAMETER FOOTING 27" DEEP, PIPE EMBEDMENT DEPTH 24"
- 3. DETECTABLE WARNINGS SHALL BE INSTALLED ON BOTH SIDES OF THE DRIVE RAMP FOR THE VISUALLY IMPAIRED. DETECTABLE WARNINGS SHALL CONSIST OF RAISED TRUNCATED DOMES INSTALLED PER ADA ACCESSIBILITY GUIDELINES 4.29.2
- 4. THERE ARE NO ADA RAMPS IN THIS PROJECT ALL SURFACES ARE FLUSH.
- 5. PROPERTY GATE SHALL REMAIN OPEN DURING NORMAL BUSINESS HOURS

SIGNAGE

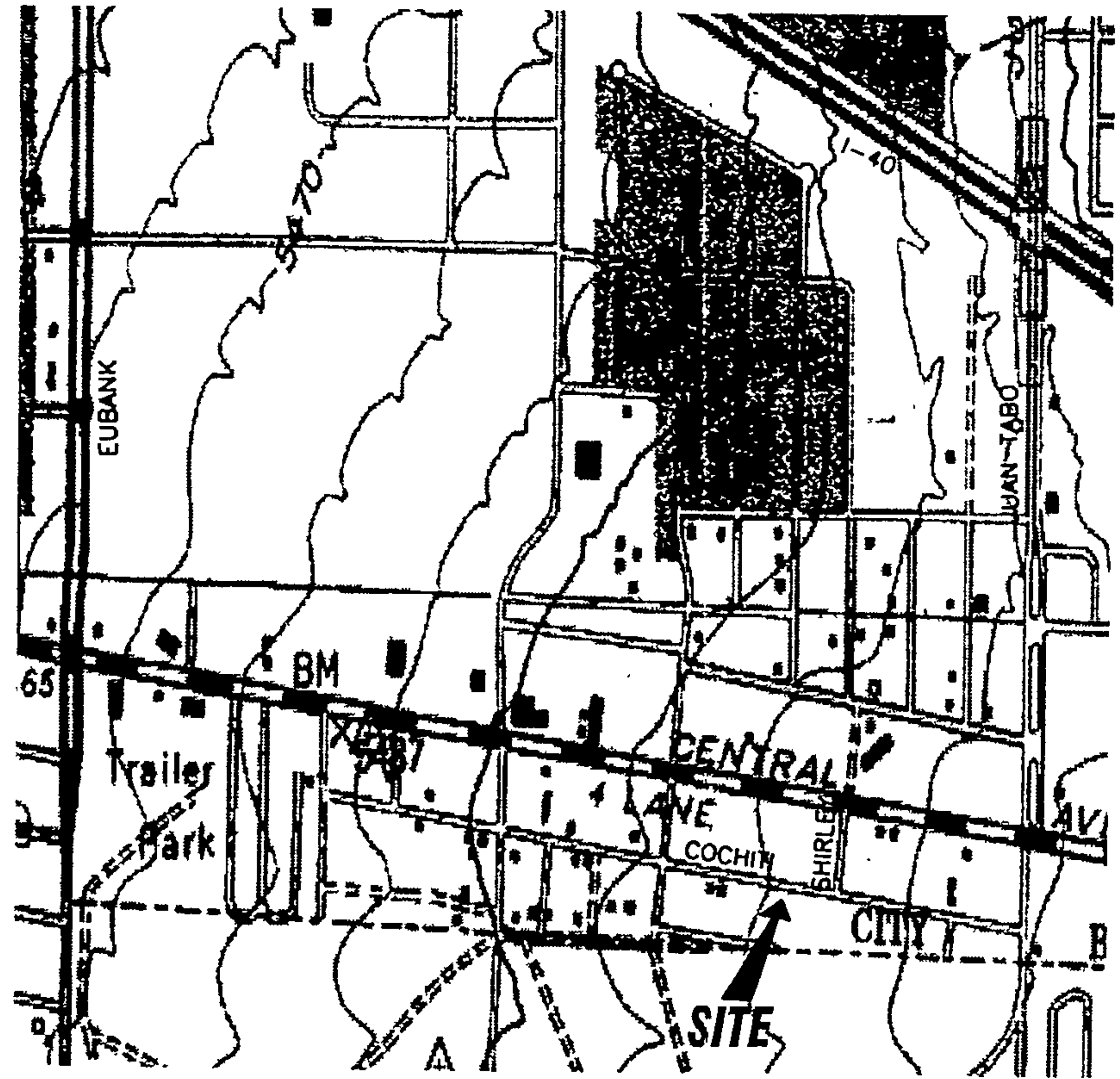
- 1. HANDICAP SIGN - 12"x18" MINIMUM SIGN ON POST. THE REQUIRED SIGN MUST HAVE THE WORDS "VAN ACCESSIBLE" BELOW THE INTERNATIONAL SYMBOL OF ACCESSIBILITY. THE BOTTOM EDGE OF WHICH SHALL BE A MINIMUM OF 4'-0" ABOVE TOP OF FINISHED PARKING SURFACE.
- 2. MOTORCYCLE SIGN - 12"x18" MINIMUM SIGN ON POST INDICATING "MOTORCYCLE PARKING". THE BOTTOM EDGE OF WHICH SHALL BE A MINIMUM OF 4'-0" ABOVE TOP OF FINISHED PARKING SURFACE.

PARKING REQUIREMENTS

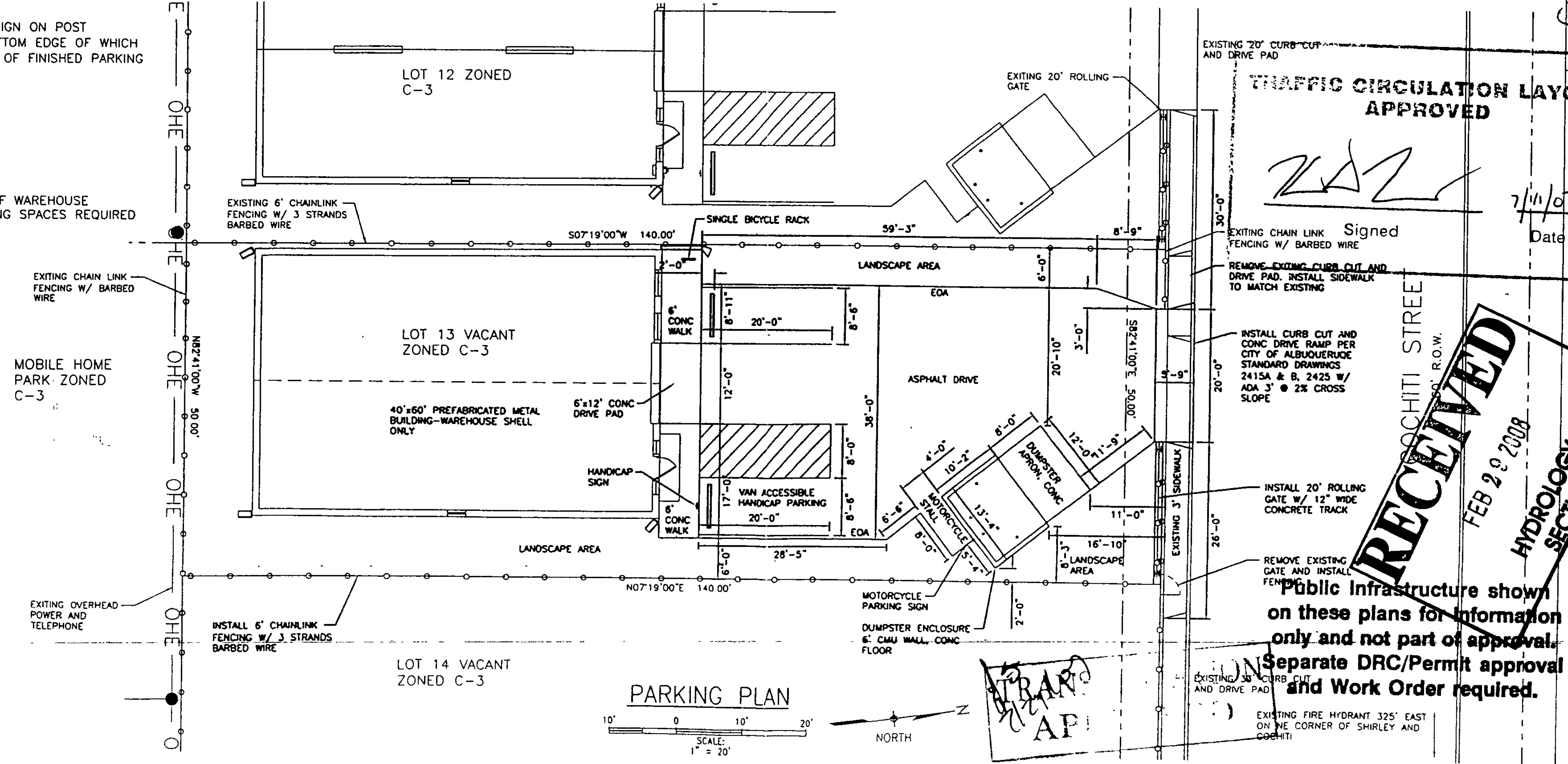
- 1 BICYCLE RACK
- 1 MOTORCYCLE STALL
- 1 PARKING SPACE FOR EVERY 2000 SQFT OF WAREHOUSE
 - WAREHOUSE = 2400 SQFT - 2 PARKING SPACES REQUIRED
 - 1 OF WHICH SHALL BE HANDICAP.

LEGEND

- CHAIN LINK FENCE
- OHE OVERHEAD ELECTRIC
- W/ CONCRETE MASONRY UNIT
- CMU EDGE OF ASPHALT
- EOA MAXIMUM
- ADA AMERICAN'S WITH DISABILITIES ACT
- MIN MINIMUM
- AFF ABOVE FINISHED FLOOR



VICINITY MAP
NTS



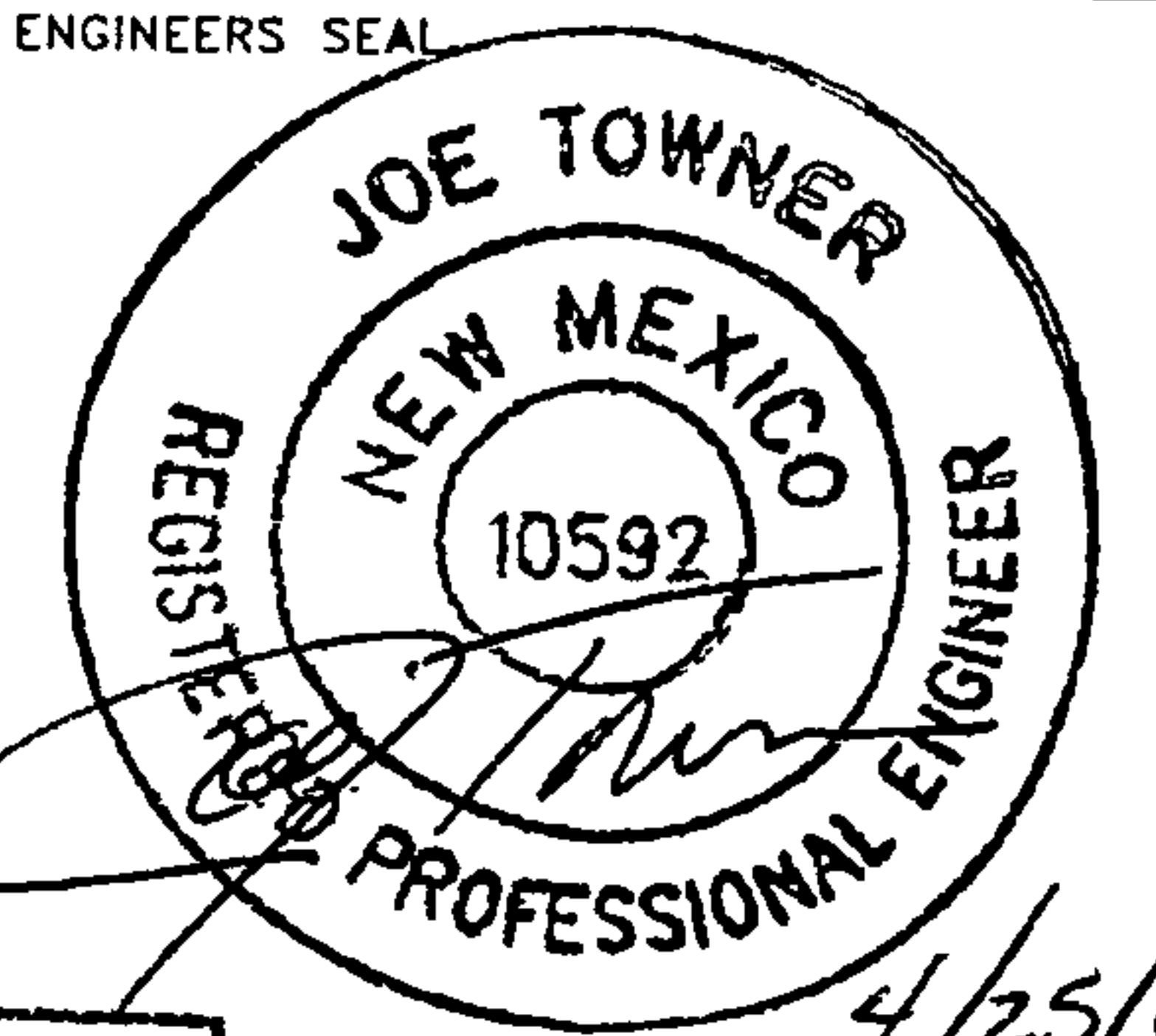
TRAFFIC CIRCULATION LAYOUT
APPROVED

[Signature]

7/11/07
Date

RECEIVED
FEB 20 2008
HYDROLOGY SECTION

Public Infrastructure shown
on these plans for information
only and not part of approval.
Separate DRC/Permit approval
and Work Order required.

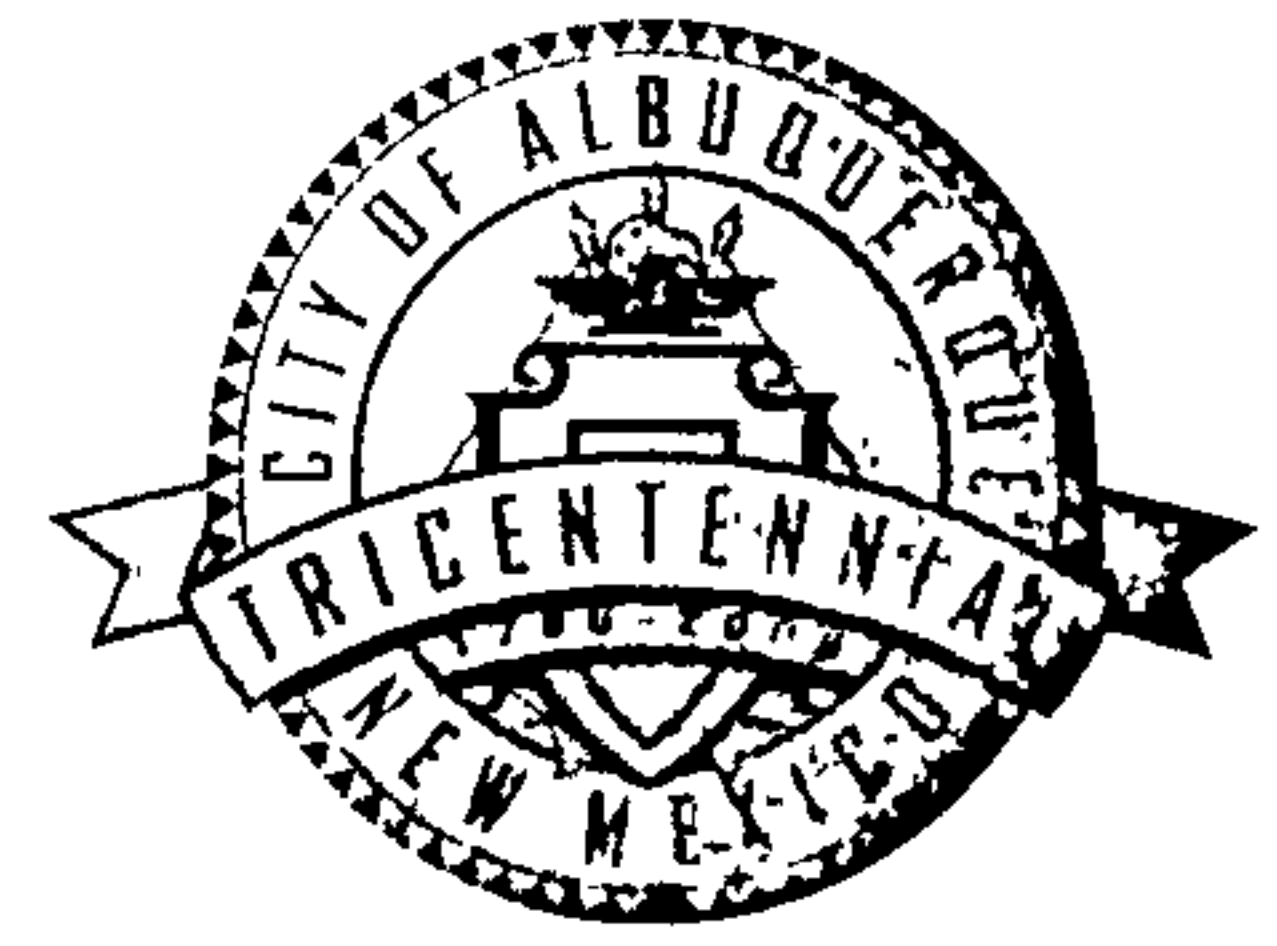


TSI
TOWNER SERVICES, INC.
8205 SPAIN N.E. SUITE #205
ALBUQUERQUE, NM 87109
PHONE: (505) 828-1930
FAX: (505) 828-1967

CREATIVE BUILDING ENT.
EDGEWOOD, NEW MEXICO 87015

SITE INFORMATION	
LOT 13 11425 COCHITI STREET ALBUQUERQUE, NEW MEXICO 87123	
DESIGN TYPE	
PREFABRICATED METAL BUILDING WAREHOUSE ON VACANT LAND	
SHEET TITLE	
PARKING PLAN	
SHEET NUMBER	REV
G-5	0

CITY OF ALBUQUERQUE



February 29, 2008

Joe Towner, P.E.

Towner Services

8205 Spain NE Ste.205

Albuquerque, NM 87109

Re: Lot 13, ^{11500 1/3-}~~11420~~ Cochiti SE, (L-21/D066)

Approval of Permanent Certificate of Occupancy,

Engineer's Stamp Date 7/17/2007

Certification dates: 2-19-08

Mr. Towner:

P.O. Box 1293

Based upon the information provided in your submittal received 2/29/08, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

Albuquerque

If you have any questions, you can contact me at 924-3982.

Sincerely,

New Mexico 87103

Timothy Sims

Plan Checker-Hydrology, Planning Dept
Development and Building Services

www.cabq.gov

C: CO Clerk—Katrina Sigala
file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 12/2005)

PROJECT TITLE: Lot 13 ZONE MAP: L-21/p064
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: _____
CITY ADDRESS: _____

ENGINEERING FIRM: JOE TOWNER CONTACT: PERRY
ADDRESS: 8205 SPAIN NE ST 205 PHONE: 828-1930
CITY, STATE: ALBUQ, NM ZIP CODE: 87109

OWNER: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: ECONOMIC & HOUSING DEV CONTACT: MARTIN
ADDRESS: P.O. BOX 640 PHONE: 705-5049
CITY, STATE: ESTANCIA NM ZIP CODE: 87016

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☒ EROSION CONTROL PLAN
☒ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

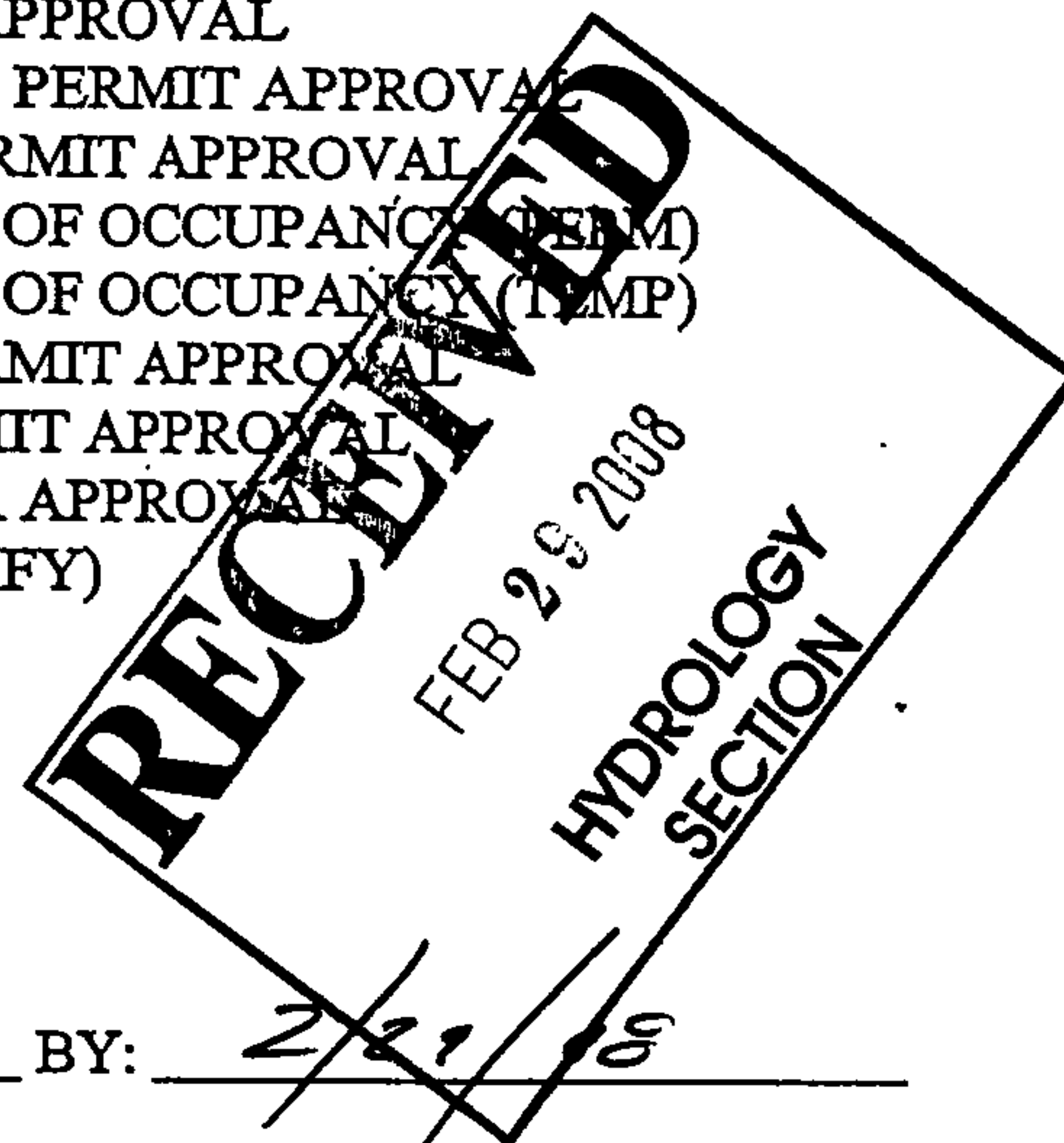
WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES
☐ NO
☐ COPY PROVIDED

DATE SUBMITTED: [Signature] BY: 2/21/08

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



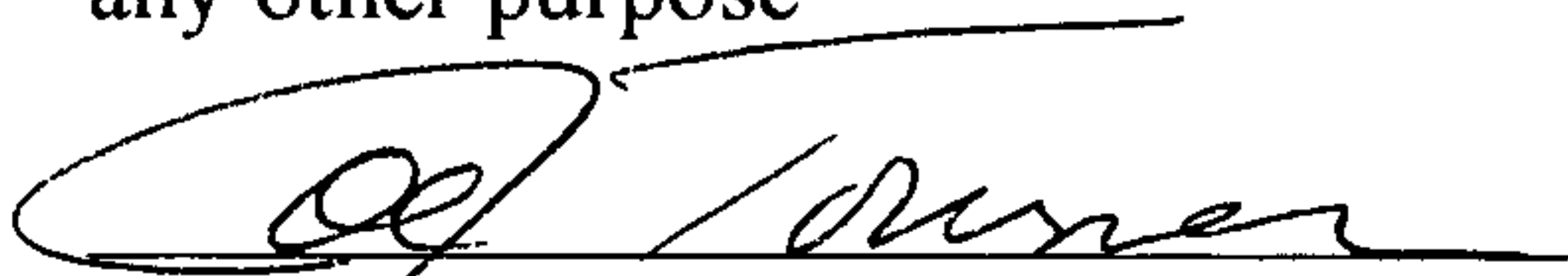
TSI
Towner Services, Inc.

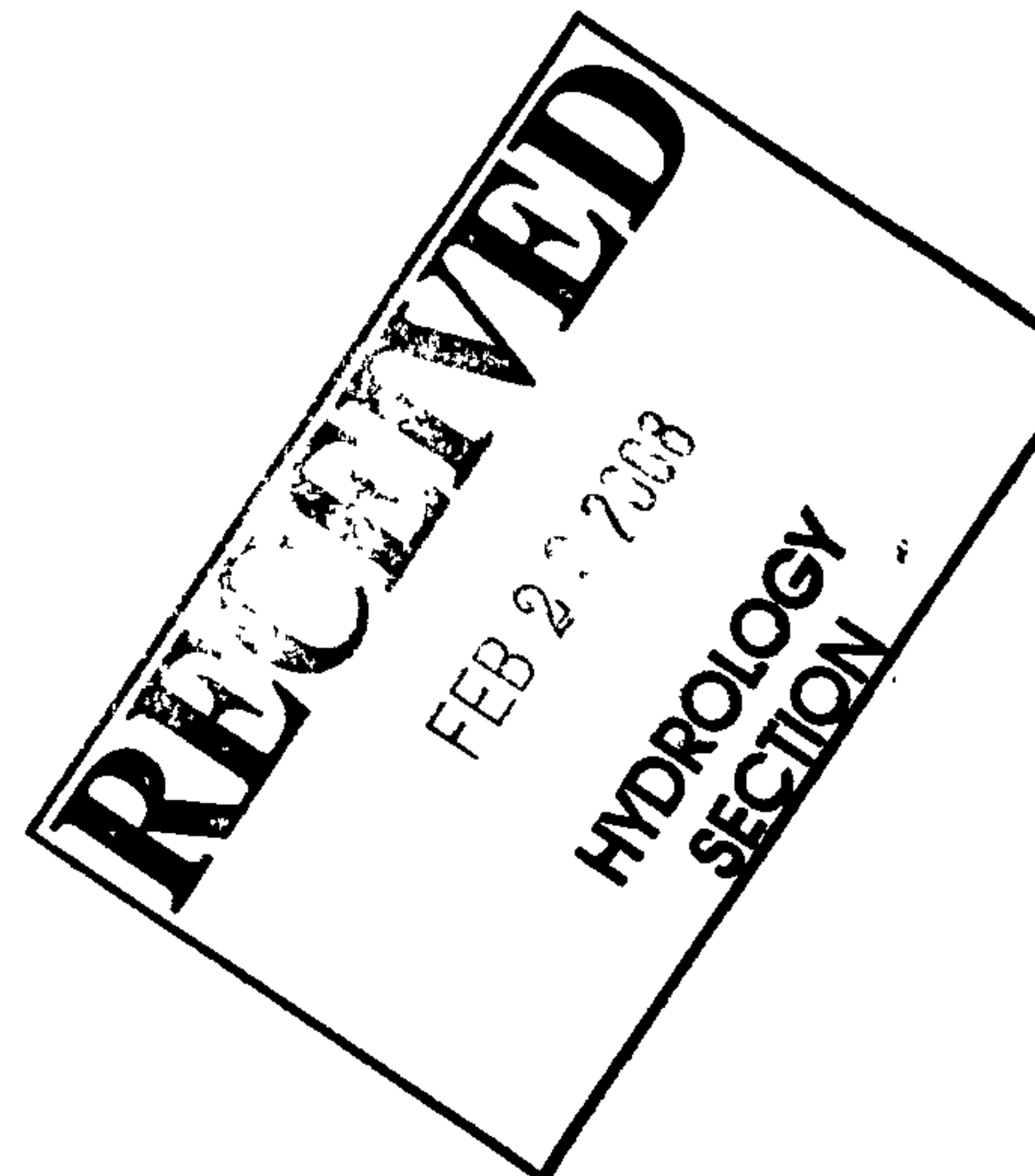
Drainage Certificate
Lot 13, 11500 Cochiti Street; Albuquerque, New Mexico 87123

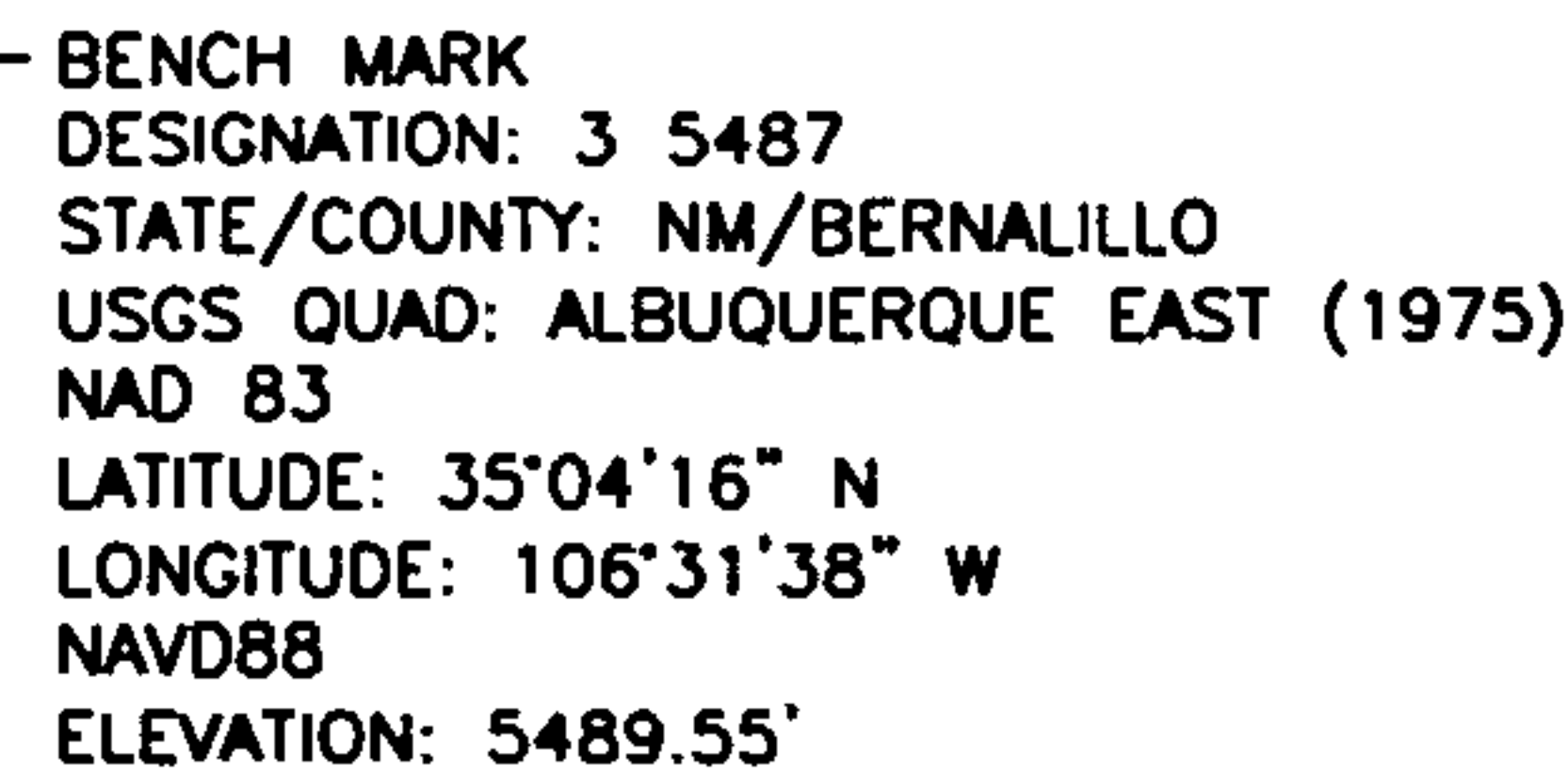
I, Joe Towner, NMPE #10592, of the firm of Towner Services Inc. hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the plans dated 07/17/07 rev 1 and approved by the City on 07/20/07. The record information edited onto the original design documents has been obtained by Joe Towner NMPE#10592 of the firm of Towner Services Inc.

I further certify that I have personally visited the project site on February 19, 2008 and have determined by visual inspection that the survey data provided is representative of the actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for a Certificate of Occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose


Joe Towner, NMPE #10592
2/19/08
Date





10' 0 10' 20'

SCALE:
1" = 10'



PER SECTION 22.2 OF THE DEVELOPMENT PROCESS MANUAL

DESIGN CONDITIONS

DISCHARGE RATE Qpeak X AREA (ACRE)	TREATMENT	AREA	Qpeak CFS	'E'	RUNOFF VOLUME ACFT	THE NO
VOLUME DISCHARGE Eweighted X AREA (ACRE)	A					FRE
P100 = 2.60" [1 19] ZONE 3	B	023AC	060 [.027]	132"	000253	HAV
TIME OF CONCENTRATION = 10 MINUTES	C	020AC	069 [.04]	161"	000268	THA
DESIGN STORM - 100YR / 6HR	D	117AC	587 [.40]	1.725"	016819	DEV
		16AC	716 [.47]	2.02"	01734 = 755	BE
					CUFT	

EXISTING CONDITIONS

LOT AREA = 16 ACRE

EXCESS PRECIPITATION AT 100% C = 1.29" [0.62]

PEAK DISCHARGE Q100= 552 CFS

TREATEMENT C PEAK DISCHARGE = 3 45 [2 00] CFS/AC

0 0172 ACFT = 749 CUFT

E100 = 1 29"

THE SITE HISTORICALLY AND AS DEVELOPED WILL OUT FALL RUN OFF TO THE NORTH INTO COCHITI STREET.

FREE DISCHARGE IS ACCEPTABLE SINCE DOWNSTREAM DRAINAGE FACILITIES HAVE SUFFICIENT CAPACITY THE PROJECT TIME TO PEAK IS MUCH LESS THAN OVERALL BASIN TIME TO PEAK AND ANY INCREASE DUE TO DEVELOPMENT IS NEGLIGIBLE A PORTION OF THE DEVELOPED RUN OFF WILL BE ROUTED TO AND OR THROUGH REQUIRED LANDSCAPING

GENERAL NOTES

- 1 THE BUILDING IS A WAREHOUSE AND MAY HAVE ONE OFFICE
- 2 THE SITE IS FLAT WITH APPROX 2% SLOPE HEADING WEST-NORTHWEST
THIS SITE SHOULD NOT BE AFFECTED BY THE SURROUNDING PROPERTIES
THE TWO LOTS TO THE EAST WILL BE BUILT OUT TO MATCH THIS SITE THE
PROPERTY FARTHER EAST IS ALREADY BUILT AND WILL RETAIN FLOW ON
PROPERTY WITH OVERFLOW GOING INTO COCHITI STREET
- 3 THERE WILL BE NO CURBING ON THE PROPERTY
- 4 LANDSCAPING AREAS SHALL BE COVERED WITH 25 MIL MINIMUM
THICKNESS FABRIC WEED BARRIER AND 2" BARK MULCH
- 5 REFERENCE THE CITY OF ALBUQUERQUE STANDARD DRAWING #2430 FOR
SIDEWALK CONSTRUCTION

FLOOD ZONE INFORMATION

FLOOD ZONE X

FEMA MAP #35001C0359F, BERNALILLO COUNTY / UNINC. INC AREAS,
11/19/2003

AREAS OUTSIDE THE 1% ANNUAL CHANCE FLOODPLAIN, AREAS OF 1% ANNUAL CHANCE SHEET FLOW FLOODING WHERE AVERAGE DEPTHS ARE LESS THAN 1 FOOT, AREAS OF 1% ANNUAL CHANCE STREAM FLOODING WHERE THE CONTRIBUTING DRAINAGE AREA IS LESS THAN 1 SQUARE MILE, OR AREAS PROTECTED FROM THE 1% ANNUAL CHANCE FLOOD BY LEVEES NO BASE FLOOD ELEVATIONS OR DEPTHS ARE SHOWN WITHIN THIS ZONE. INSURANCE PURCHASE IS NOT REQUIRED IN THESE ZONES.

NO.	DATE	REVISIONS	BY	CHKD	APVLS
1	01/17/07	ADDED CITY COMMENTS	PDS	JT	MH
0	05/04/07	ISSUED FOR CONSTRUCTION	PDS	JT	MH

ENGINEERS SEAL

TSI

TOWNER SERVICES, INC.
8205 SPAIN N.E. SUITE #205
ALBUQUERQUE, NM 87109
PHONE (505) 828-1930
FAX. (505) 828-1967

ECONOMIC
& HOUSING
DEVELOPMENT

ESTANCIA, NEW MEXICO 87016

SITE INFORMATION

LOT 13
11500 COCHITI STREET
ALBUQUERQUE, NEW MEXICO 87123

DESIGN TYPE

PREFABRICATED METAL
BUILDING WAREHOUSE
ON VACANT LAND

SHEET TITLE

GRADING & DRAINAGE PLAN

SHEET NUMBER

G-4

REV

1

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 12/05)

PROJECT TITLE: LOT 13 ZONE MAP/DRG. FILE # L21/T514
 DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: _____
 CITY ADDRESS: _____

ENGINEERING FIRM: TSI
 ADDRESS: 8205 SPAIN RD NE SUITE 205
 CITY, STATE: _____

CONTACT: Perry Sherwood
 PHONE: 828-10930
 ZIP CODE: 87109

OWNER: Marty H. bbs
 ADDRESS: PO BOX 646
 CITY, STATE: Estancia, NM

CONTACT: Marty H. bbs
 PHONE: 384-0026
 ZIP CODE: 87016

ARCHITECT: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

SURVEYOR: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

CONTRACTOR: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☒ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT
- ☐ ENGINEER/ARCHITECT CERT (TCL)
- ☐ ENGINEER/ARCHITECT CERT (DRB S.P.)
- ☐ ENGINEER/ARCHITECT CERT (AA)
- ☐ OTHER (SPECIFY) _____

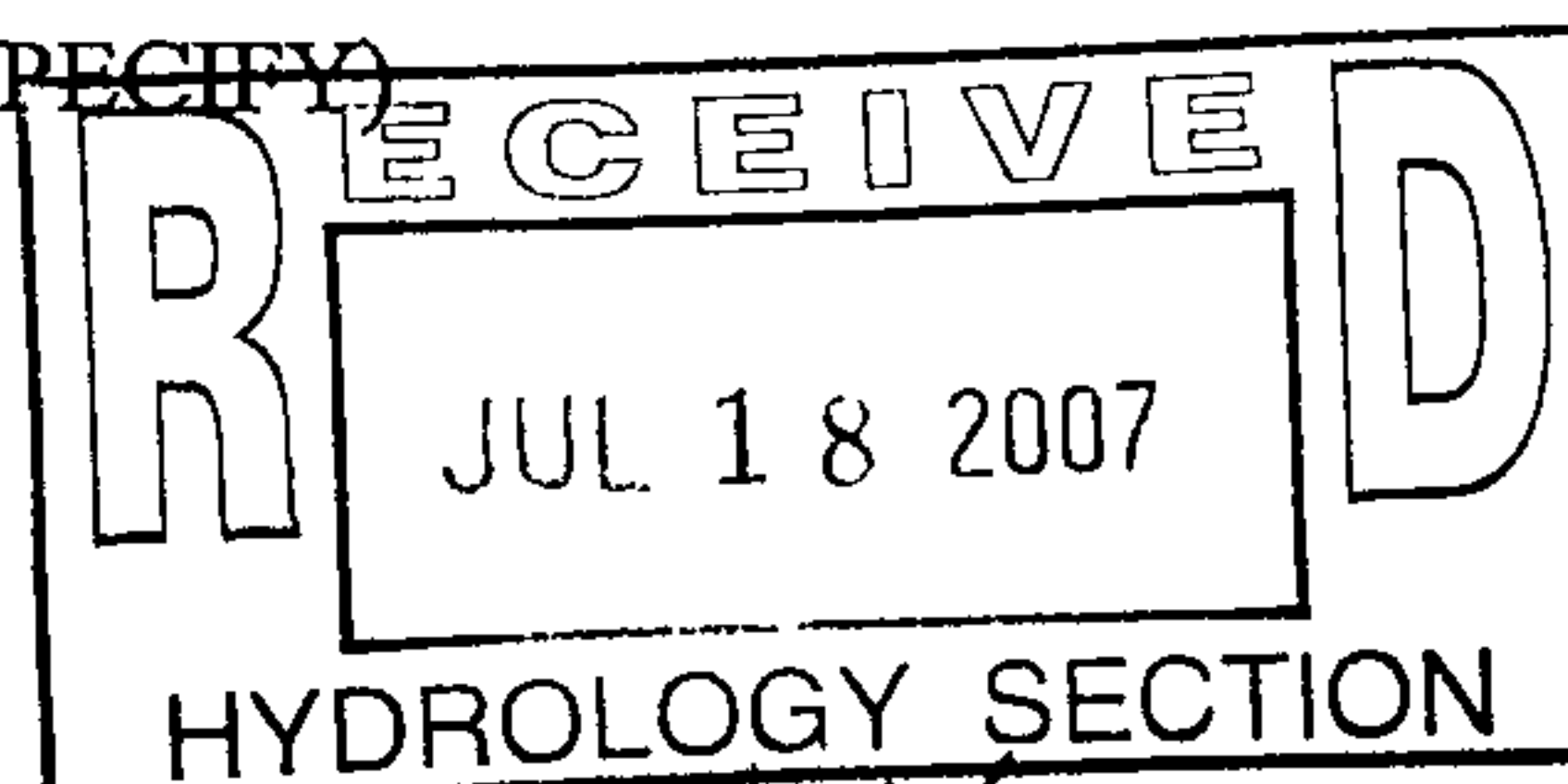
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☒ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

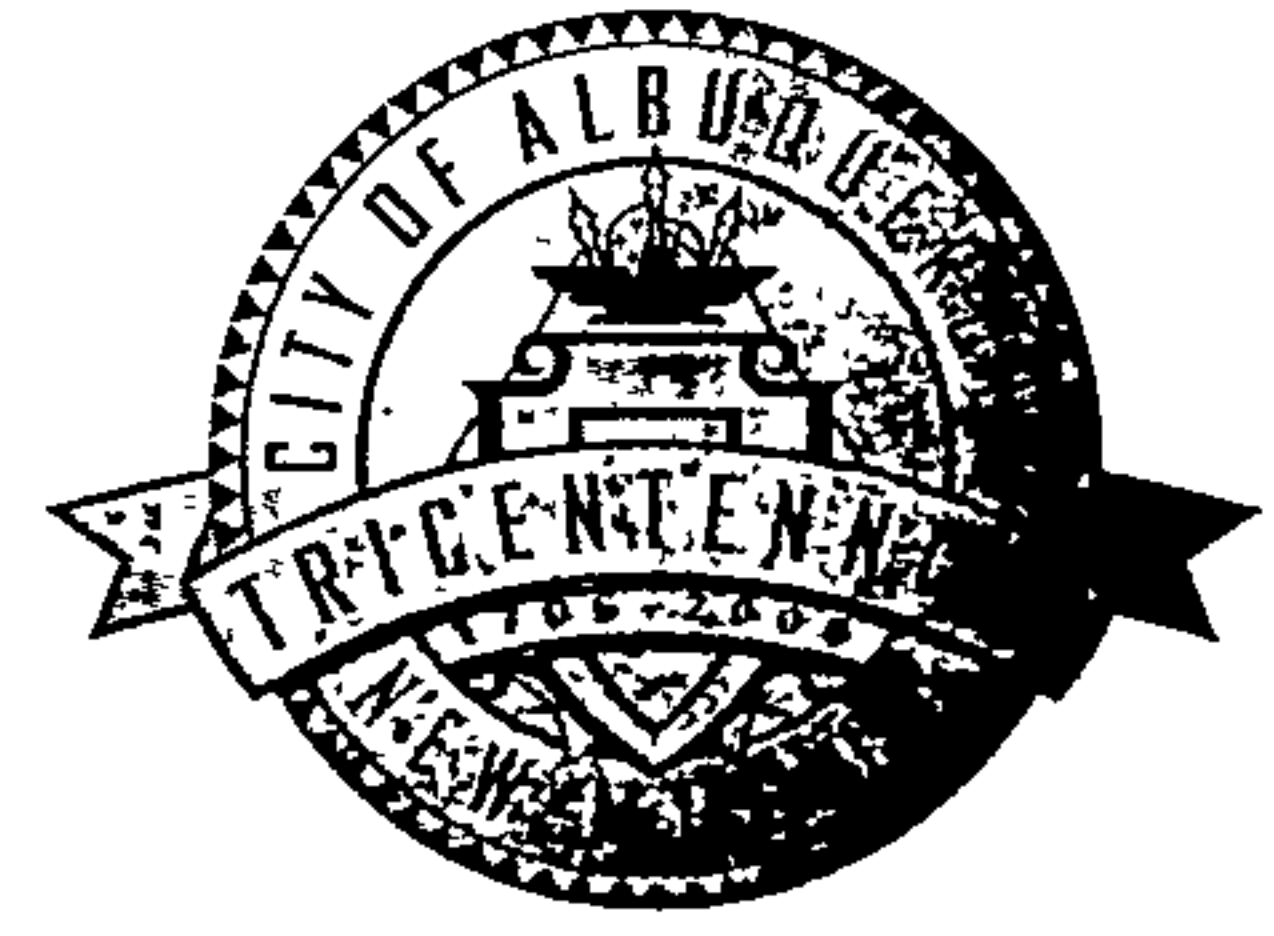
SUBMITTED BY: [Signature] DATE: 7/18/07



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



July 20, 2007

Joe Towner, P.E.
Towner Services, Inc.
8205 Spain NE, Suite 205
Albuquerque, NM 87105

Re: Proposed Warehouse, Engineer's Stamp dated 7-17-07
Lot 13 Block 9 of the East Central Business Addition (L21-D66)

Dear Mr. Towner,

Based upon the information provided in your submittal received on July 18, 2007, the above referenced plan is approved for Building Permit. Please attach a copy of this letter and the approved plan to the construction sets prior to sign-off by Hydrology. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

- If you have any questions or need additional information, feel free to contact me at 924-3990.

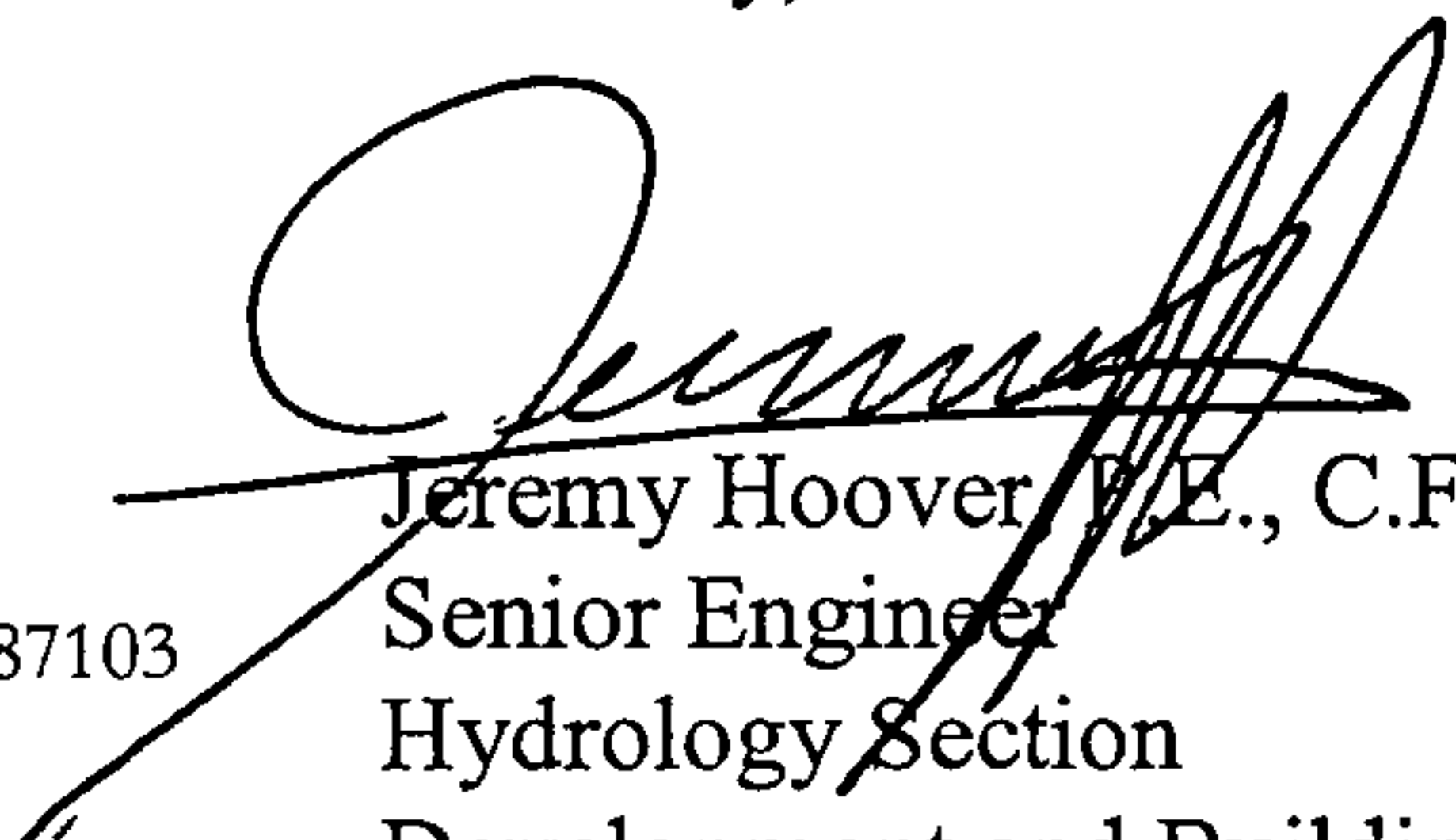
P.O. Box 1293

Sincerely,

Albuquerque

New Mexico 87103

www.cabq.gov


Jeremy Hoover, P.E., C.F.M.
Senior Engineer
Hydrology Section
Development and Building Services

cc: file (L21-D66)

CITY OF ALBUQUERQUE



July 10, 2007

Joe Towner, P.E.
Towner Services, Inc.
8205 Spain NE, Suite 205
Albuquerque, NM 87105

Re: Proposed Warehouse, Engineer's Stamp dated 5-4-07 (L21/D66)
Lot 13 Block 9 of the East Central Business Addition

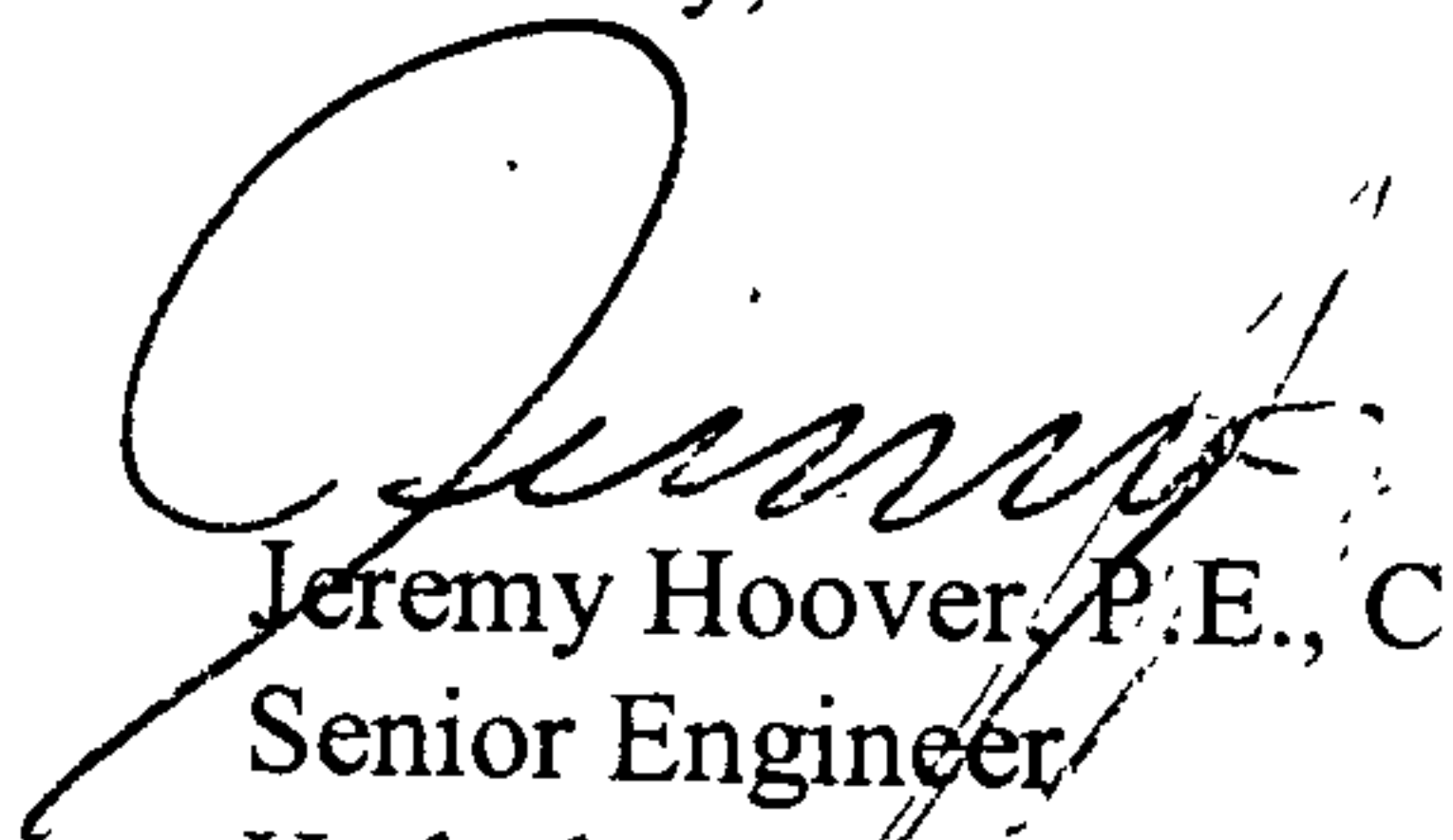
Dear Mr. Towner,

Based upon the information provided in your submittal received on June 20, 2007, there are some additional items that must be addressed prior to permit approval. Those items are as follows.

- The site address given on the plan (11420 Cochiti) does not agree with the City numbering scheme in this area (increasing from west to east) nor does it fit with the address (11500 Cochiti) assigned by the Zoning Department. Please clarify whether the address or legal description is correct.
- Please use a City zone atlas page for the vicinity map and resubmit on a standard 24" x 36" plan sheet with the project site highlighted. Refer to Chapter 27 of the DPM for drafting standards.
- Since this property will discharge directly to Cochiti with no interim ponding, please modify general note 4 to reflect the site-specific flow condition.
- The values presented in the second column of the hydrology calculations equate to the 100-year and 10-year volumetric flow rates (cfs) not unit flow rates (cfs / acre) as indicated. With the revised table, please include the runoff volumes.
- Reference standard drawing #2430 for the sidewalk construction.

If you have any questions or need additional information, feel free to contact me at 924-3990.

Sincerely,


Jeremy Hoover, P.E., C.F.M.
Senior Engineer
Hydrology Section
Development and Building Services

cc: file (L21/D66)

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME

AGENT

ADDRESS

PROJECT & APP #

PROJECT NAME

Towner Services Inc

8205 Spain Rd N.E Ste 205

Lot 13

\$ 441032/3424000 Conflict Management Fee

\$ 441006/4983000 DRB Actions

\$ 441006/4971000 EPC/AA/LUCC Actions & All Appeals

\$ 441018/4971000 Public Notification

\$ 50.00 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study

\$ 50.00 TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

TOWNER SERVICES, INC.
8205 SPAIN ROAD NE., STE. 205
ALBUQUERQUE, NM. 87109
(505) 828-1930

CHARTER BANK
ALBUQUERQUE, NM 87112
95-7242-3070

6/19/2007

1094

PAY TO THE
ORDER OF

City of Albuquerque

\$ 50.00

Fifty and 00/100

DOLLARS

City of Albuquerque

MEMO

Lot 13 Cochiti Street

[Signature]

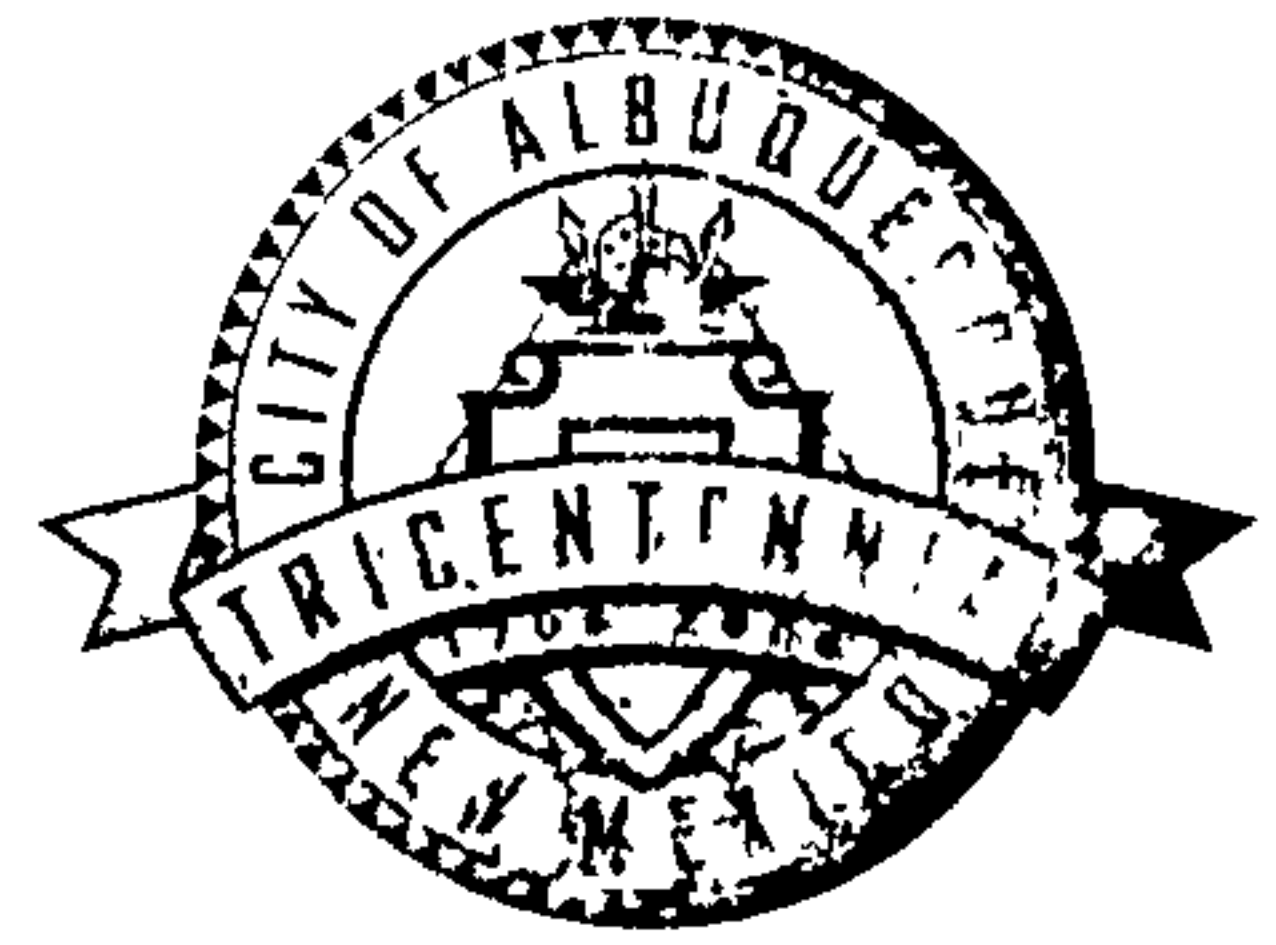
001094 307072427 0092043413

Details on back
Security Features Included

DUPLICATE
City Of Albuquerque
Treasury Division

6/20/2007 3:55PM LOC: ANMX
RECEIPT# 00077296 WS# 008 TRANC# 0056
Account 441006 Fund 0110
Activity 4583000 TRSMRG
Pays Amt \$100.00
J24 Misc \$50.00
CK \$50.00
FX \$0.00
TRANCE \$0.00

CITY OF ALBUQUERQUE



July 11, 2007

Joe Towner, P. E.
Towner Services, Inc.
8205 Spain NE Ste. # 205
Albuquerque, NM 87109

Re: Prefabricated Metal Building – Lot 13, 11420 Cochiti Street SE,
Traffic Circulation Layout, Architect's Stamp dated 4-25-07 (L21-D066)

Dear Mr. Towner,

The TCL submittal received 7-09-07 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: File

GENERAL NOTES:

1. PARKING LOT PAVING SHALL BE AS FOLLOWS.
A) 2" ASPHALTIC CONCRETE
B) PRIME COAT
C) 6" COMPACTED BASE COURSE
2. DUMPSTER PAD AND APRON SHALL MEET THE MINIMUM REQUIREMENTS SPECIFIED BY THE SOLID WASTE MANAGEMENT DEPARTMENT
A) CONCRETE PAD SHALL BE 6" THICK, 4000PSI, 3/4" AGGREGATE W/ 6"x6" - W10xW10 WWF SLOPE TO DRAIN 1/8" PER FOOT
B) CONCRETE APRON SHALL BE 6" THICK, 4000PSI, 3/4" AGGREGATE W/ 5"x6" - W10xW10 WWF, 1/2" EXPANSION JOINT SLOPE TO DRAIN 1/8" PER FOOT
C) BOLLARDS SHELL BE 6" DIAMETER, CONCRETE FILLED, STEEL PIPE, 12" DIAMETER FOOTING 27" DEEP, PIPE EMBEDMENT DEPTH 24"
3. DETECTABLE WARNINGS SHALL BE INSTALLED ON BOTH SIDES OF THE DRIVE RAMP FOR THE VISUALLY IMPAIRED. DETECTABLE WARNINGS SHALL CONSIST OF RAISED TRUNCATED DOMES INSTALLED PER ADA ACCESSIBILITY GUIDELINES 4.29.2
4. THERE ARE NO ADA RAMPS IN THIS PROJECT ALL SURFACES ARE FLUSH
5. PROPERTY GATE SHALL REMAIN OPEN DURING NORMAL BUSINESS HOURS

SIGNAGE

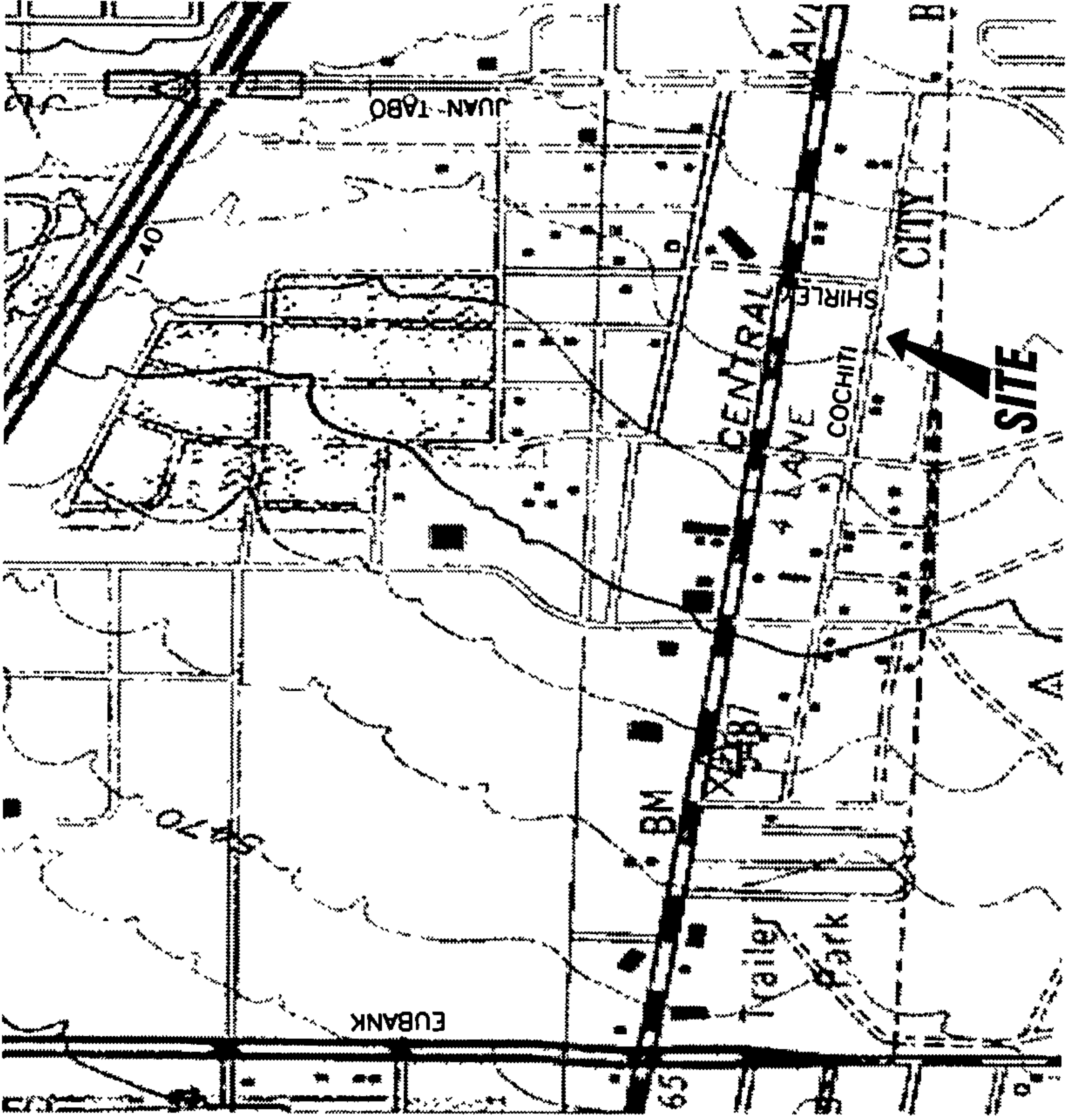
1. HANDICAP SIGN - 12"x18" MINIMUM SIGN ON POST. THE REQUIRED SIGN MUST HAVE THE WORDS "VAN ACCESSIBLE" BELOW THE INTERNATIONAL SYMBOL OF ACCESSIBILITY. THE BOTTOM EDGE OF WHICH SHALL BE A MINIMUM OF 4'-0" ABOVE TOP OF FINISHED PARKING SURFACE
2. MOTORCYCLE SIGN - 12"x18" MINIMUM SIGN ON POST INDICATING "MOTORCYCLE PARKING." THE BOTTOM EDGE OF WHICH SHALL BE A MINIMUM OF 4'-0" ABOVE TOP OF FINISHED PARKING SURFACE

PARKING REQUIREMENTS

1. BICYCLE RACK
1. MOTORCYCLE STALL
1. PARKING SPACE FOR EVERY 2000 SQFT OF WAREHOUSE WAREHOUSE = 2400 SQFT - 2 PARKING SPACES REQUIRED
1 OF WHICH SHALL BE HANDICAP

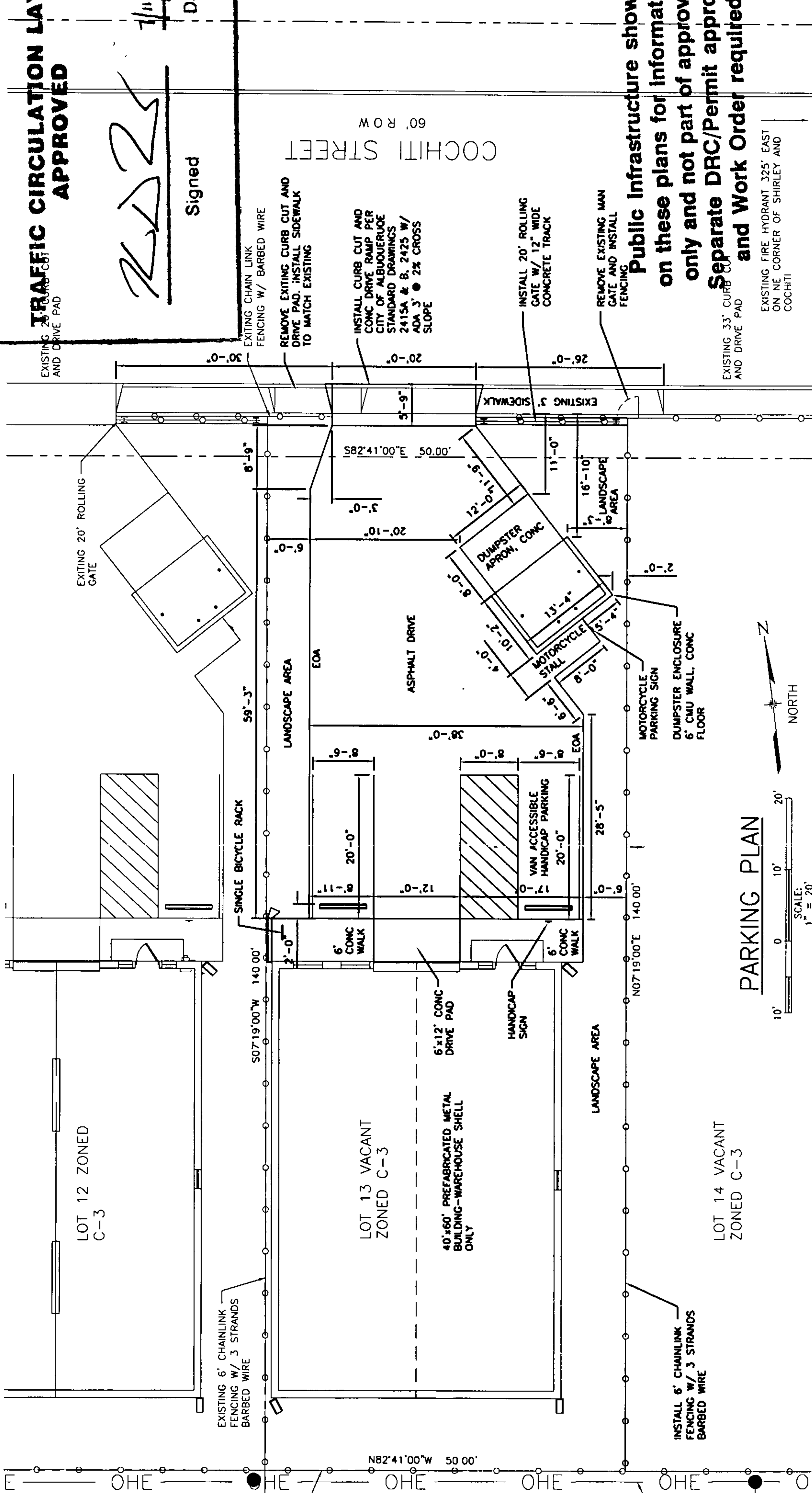
LEGEND

- CHAIN LINK FENCE
- W/ OVERHEAD ELECTRIC
- CMU WITH CONCRETE MASONRY UNIT
- EOA EDGE OF ASPHALT
- MAX MAXIMUM
- ADA AMERICAN'S WITH DISABILITIES ACT
- MIN MINIMUM
- AFF ABOVE FINISHED FLOOR

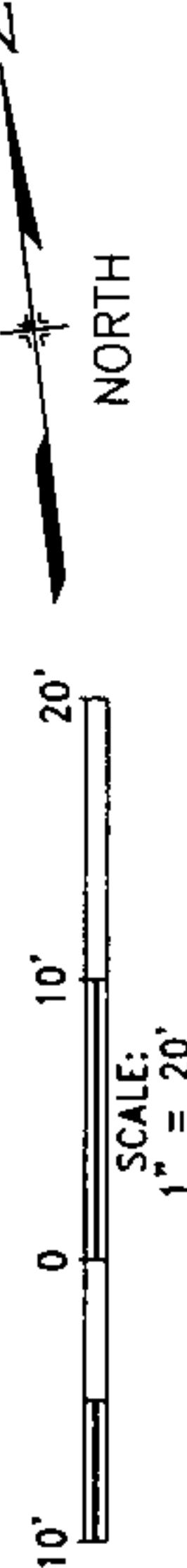


VICINITY MAP

NTS

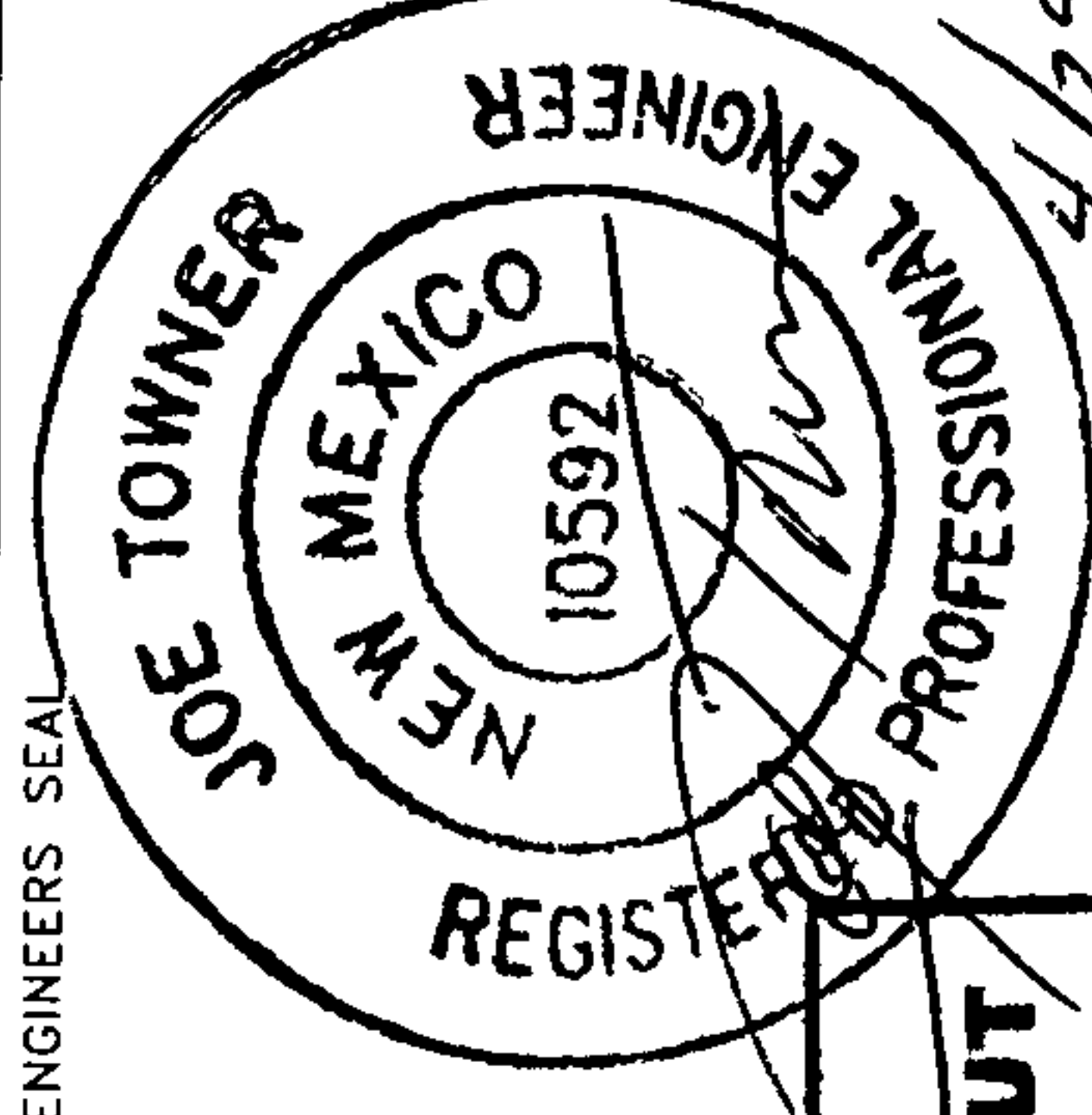


PARKING PLAN



ENGINEERS SEAL		No.	DATE	REVISIONS		BY	CHKD	APVLS
▽	▽	0	04/25/07	ISSUED FOR CONSTRUCTION		PDS	JT	MH

ENGINEERS SEAL



TSI

TOWNER SERVICES INC.
8705 SPAIN N.E. SUITE #205
ALBUQUERQUE, NM 87109
PHONE (505) 828-1930
FAX: (505) 828-1967

CREATIVE
BUILDING ENT.

EDGEWOOD, NEW MEXICO 87015

SITE INFORMATION	
LOT 13	1
11420 COCHITI STREET	
ALBUQUERQUE, NEW MEXICO 87123	
DESIGN TYPE	
PREFABRICATED METAL BUILDING WAREHOUSE ON VACANT LAND	
SHEET TITLE	
PARKING PLAN	
SHEET NUMBER	
REV.	
0	

G-5

Public Infrastructure shown on these plans for Information only and not part of approval. Separate DRC/Permit approval and Work Order required.

EXISTING 33' CURB AND DRIVE PAD
EXISTING FIRE HYDRANT 325' EAST ON NE CORNER OF SHIRLEY AND COCHITI