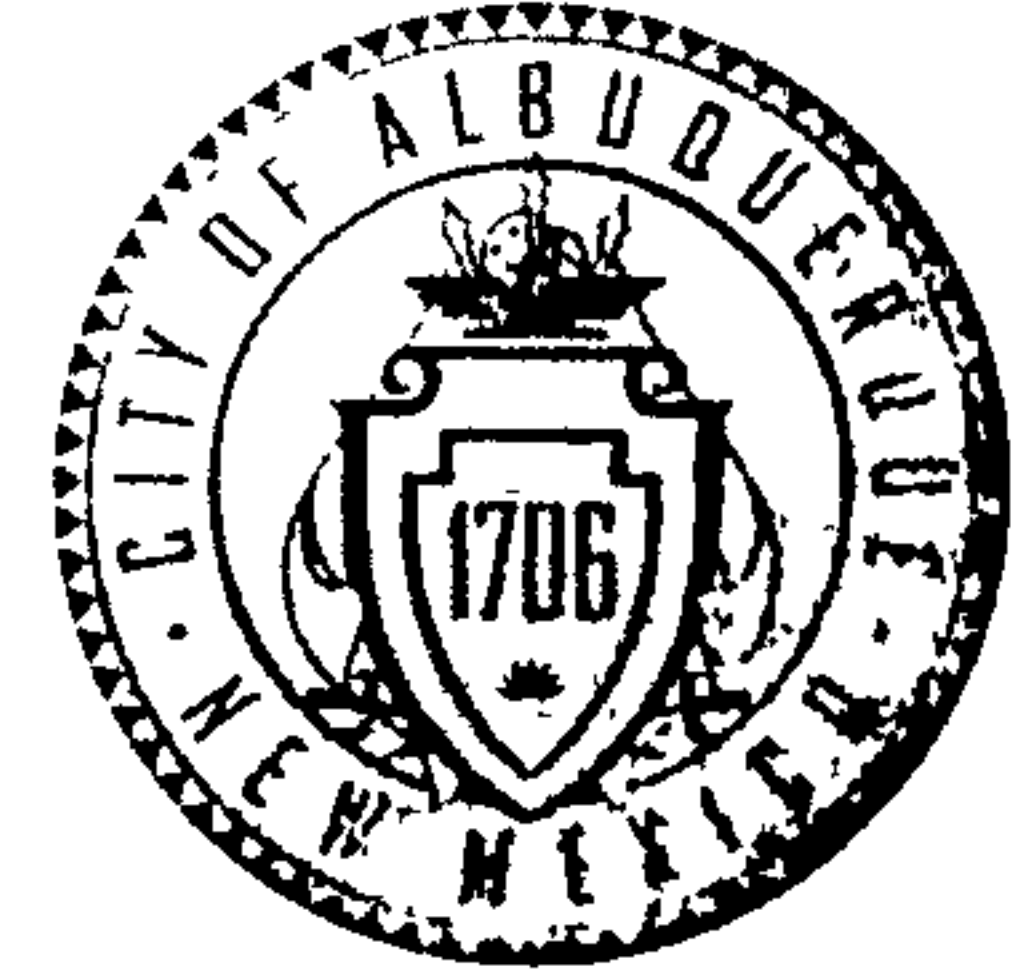


CITY OF ALBUQUERQUE



March 6, 2009

Levi J. Valdez, P.E.
c/o George T. Rodriguez
George T. Rodriguez - Development Consultant
12800 San Juan NE
Albuquerque, NM 87123

**Re: Indoor Flea Market, 11109 Central Ave. NE,
Approval of Permanent Certificate of Occupancy, (L-21/D068)
Engineer's Stamp Dated: 6-25-08**

Dear Mr. Valdez,

PO Box 1293

Based upon the information provided in your submittal, dated 1/06/09, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

Albuquerque

If you have any questions, you can contact me at 924-3982.

NM 87103

Sincerely,

Timothy E. Sims

www.cabq.gov

Plan Checker-Hydrology, Planning Dept
Development and Building Services

C: CO Clerk--Katrina Sigala
file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

PROJECT TITLE: INDOOR FLEA MARKET ZONE MAP: L-21/D068
 DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOTS 10-A THRU 14-A, BLK. 2, EAST CENTRAL BUSINESS ADD
 CITY ADDRESS: 11109 CENTRAL AVE. N.E.

ENGINEERING FIRM: LEVI J. VALDEZ, P.E. CONTACT: LEVI VALDEZ
GEORGE T. RODRIGUEZ-DEVEL. CONS. GEORGE T. RODRIGUEZ
 ADDRESS: 12800 SAN JUAN N.E. PHONE: 610-0593
 CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87123

OWNER: ALAN DIREEN CONTACT: ALAN DIREEN
 ADDRESS: 11109 CENTRAL N.E. PHONE: 268-1717
 CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87123

ARCHITECT: ALEXANDER FINALE, P.A. CONTACT: ALEX FINALE
 ADDRESS: 4801 ALAMEDA N.E., SUITE G-1 PHONE: _____
 CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87113

SURVEYOR: WYATON SURVEYING CONTACT: Thomas Johnson
 ADDRESS: 330 LOUISIANA N.E. PHONE: 255-2052
 CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87108

CONTRACTOR: 1ST CHOICE CUSTOM BUILDERS CONTACT: CRYSTAL ROCKS
 ADDRESS: 1020 LOMAS N.W. PHONE: 244-3800
 CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87102

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY-(TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
- ☐ NO
- ☐ COPY PROVIDED

MAR 05 2009

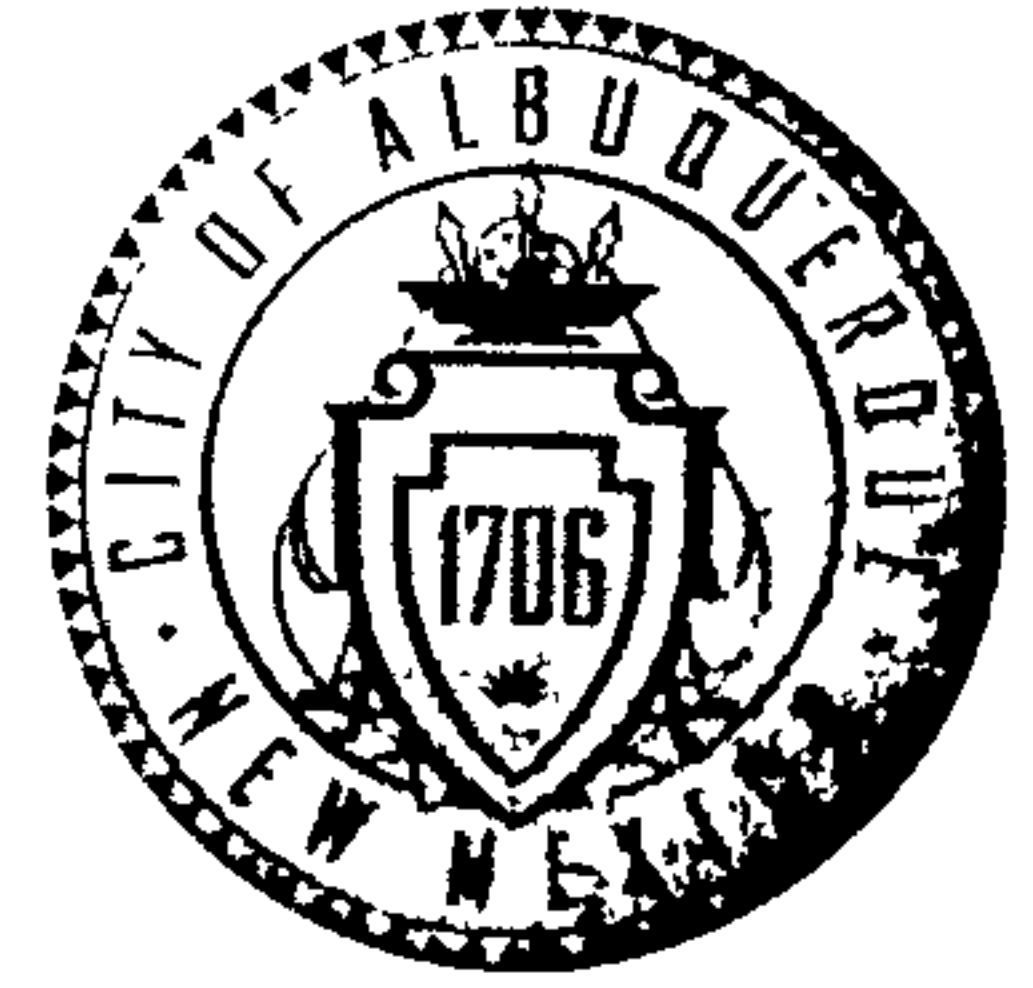
HYDROLOGY
SECTION

DATE SUBMITTED: 03-05-09 BY: G.T. RODRIGUEZ

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

March 4, 2009

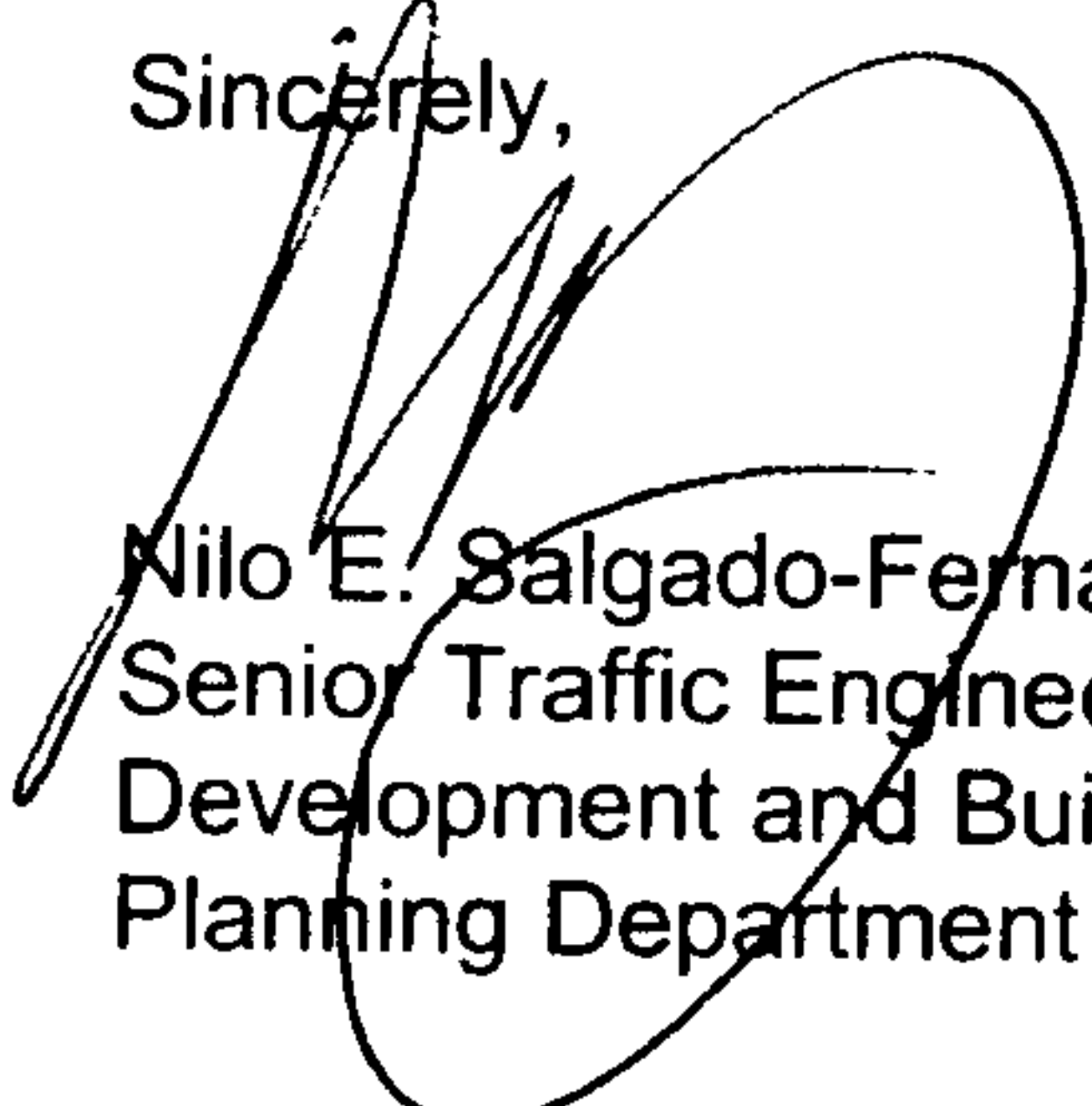
Alexander Finale, Registered Architect
8724 Alameda Park Dr. NE, Ste. A
Albuquerque, NM 87114

Re: Certification Submittal for Final Building Certificate of Occupancy for
Indoor Flea Market, [L-21 / D068]
11109 Central Ave. NE
Architect's Stamp Dated 03/04/09

Dear Mr. Finale:

The TCL / Letter of Certification submitted on March 4, 2009 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Sincerely,


Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 12/2005)

L-21/DO68

PROJECT TITLE: Indoor Flea Market ZONE MAP: _____
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: 10-A, 11-A, 12-A, 13-A, 14-A Bk. 2 East Central Buoi. Addn.
CITY ADDRESS: 11109 Central Ave. NE

ENGINEERING FIRM: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

OWNER: Alan & Elizabeth Dineen CONTACT: Alan
ADDRESS: 2720 La Charles NE PHONE: 715-7753
CITY, STATE: Alb., Nm ZIP CODE: 87112

ARCHITECT: Alexander Finde - Ron Montoya Designs CONTACT: Alex or Ron
ADDRESS: 8724 Alameda Park Dr. NE Ste. A PHONE: 823-6474
CITY, STATE: Alb., Nm ZIP CODE: 87113

SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: First Choice Custom Builders CONTACT: Fred or Crystal
ADDRESS: 1020 Lomas Blvd. NW Suite 10 PHONE: 244-3800
CITY, STATE: Alb., Nm ZIP CODE: 87102

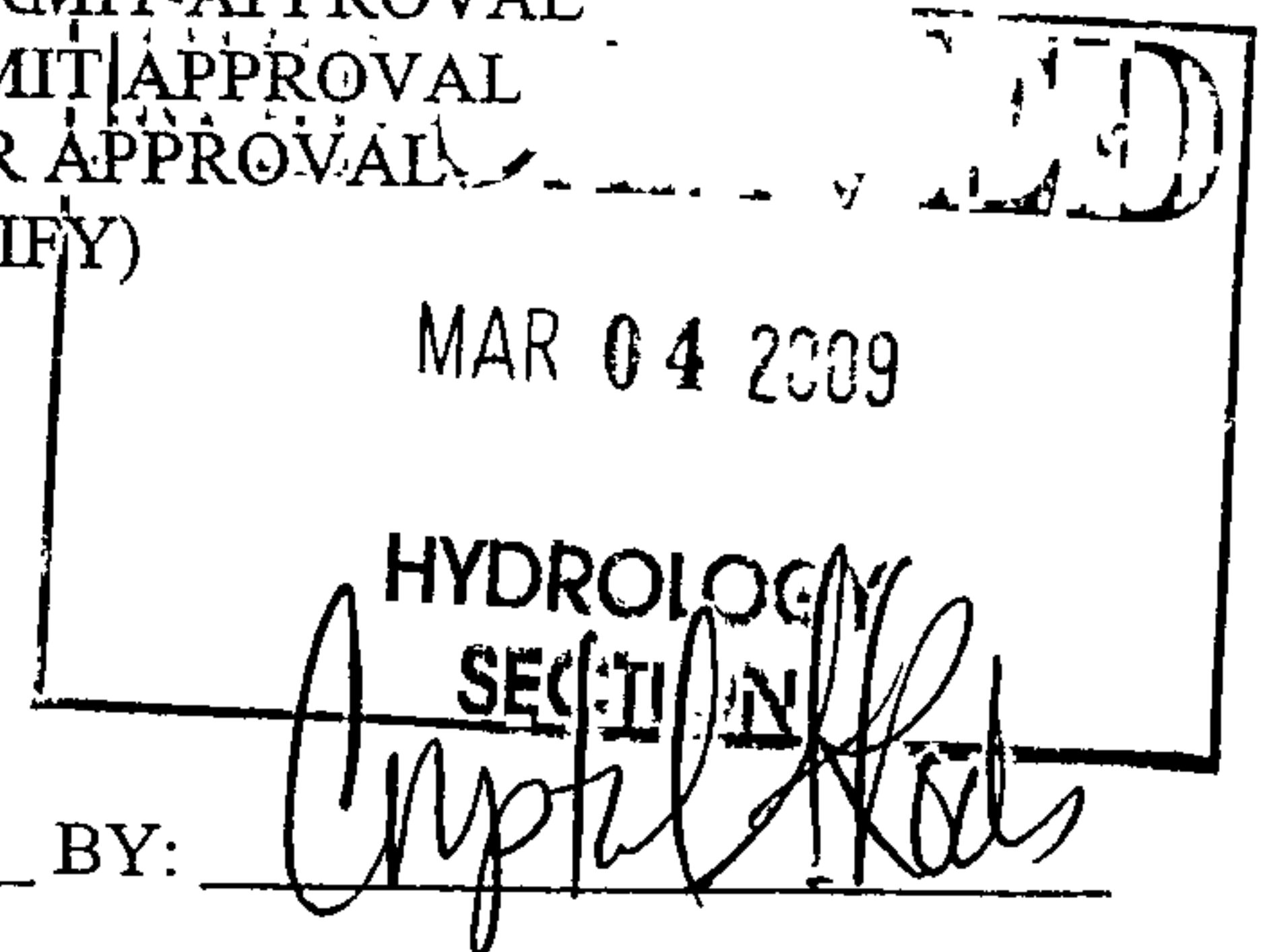
TYPE OF SUBMITTAL:
☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT
☒ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:
☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES
☐ NO
☐ COPY PROVIDED

DATE SUBMITTED: 3/4/09 BY: Crystal Kees



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

Alexander Finale Architect, Ltd.

Architecture Planning Design Management

March 4, 2009

To: City of Albuquerque
Building Permitting Office

From: Alexander Finale, Architect
Ron Montoya Design Group
Albuquerque, NM 87113

Re: Indoor Flea Market 11109 Central Ave NE Traffic Circulation Layout (L21-D068)

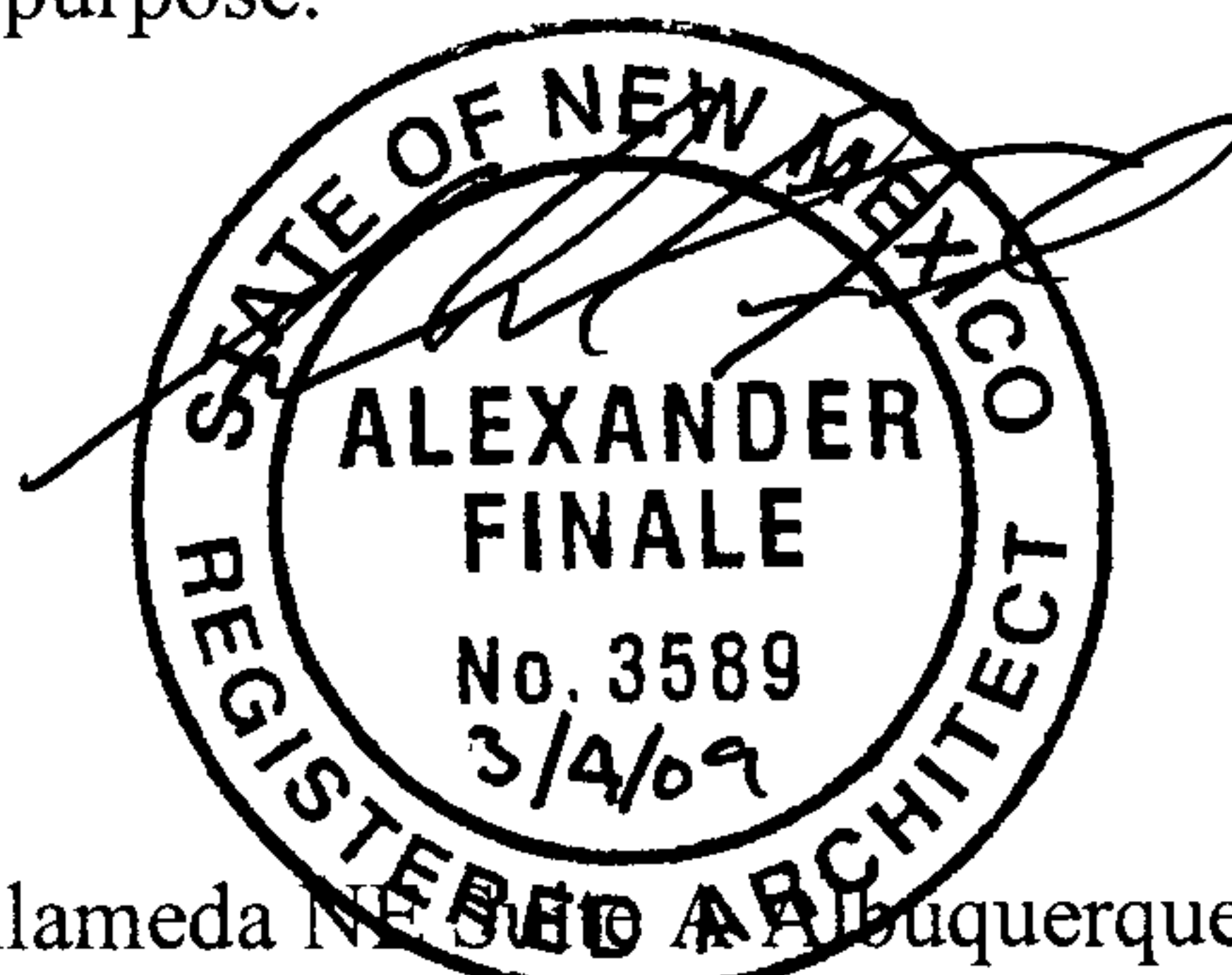
To Whom It May Concern:

I, Alexander Finale, as architect of record for Ron Montoya's Design hereby certify that this project is in substantial compliance with and in accordance with the design intent of the DRB, AA, and or TCL approved plan having jurisdiction. The record information edited on the original design document has been obtained. I further certify that I have personally visited the site on multiple occasions and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief.

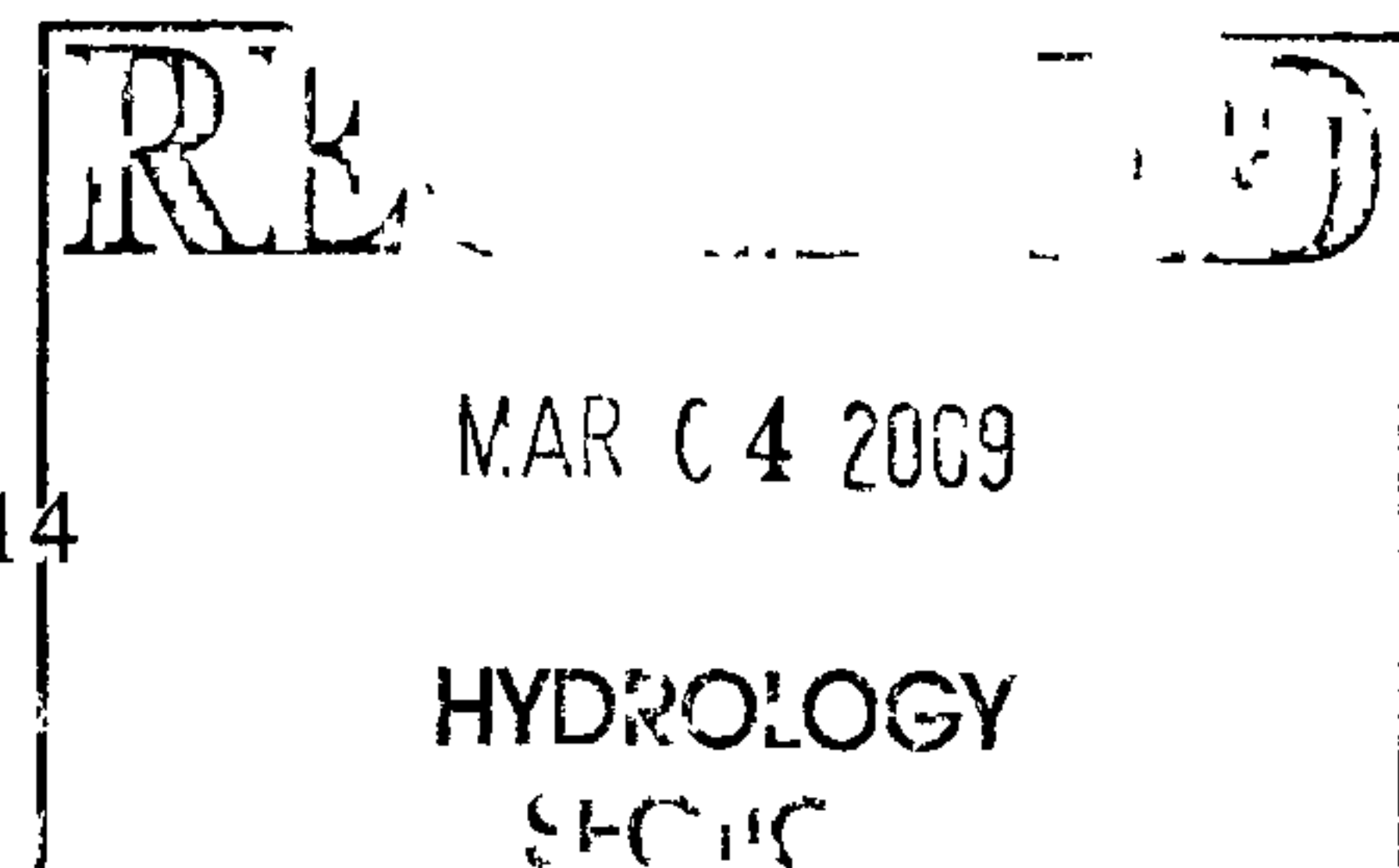
The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Regards,

Alexander Finale



8724 Alameda NE, Suite A Albuquerque, New Mexico 87114
Tel.: (505) 823-6474 Fax: (505) 823-6487



CITY OF ALBUQUERQUE



February 10, 2009

Alexander Finale, R.A.
Ron Montoya Design Group
8724 Alameda NE Suite A
Albuquerque, NM 87113

Re: Indoor Flea Market, 11109 Central Ave. NE, Traffic Circulation Layout
Architect's Stamp dated 02-06-09 (L21-D068)

Dear Mr. Finale,

The TCL submittal received 02-10-09 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

PO Box 1293

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Albuquerque

NM 87103

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

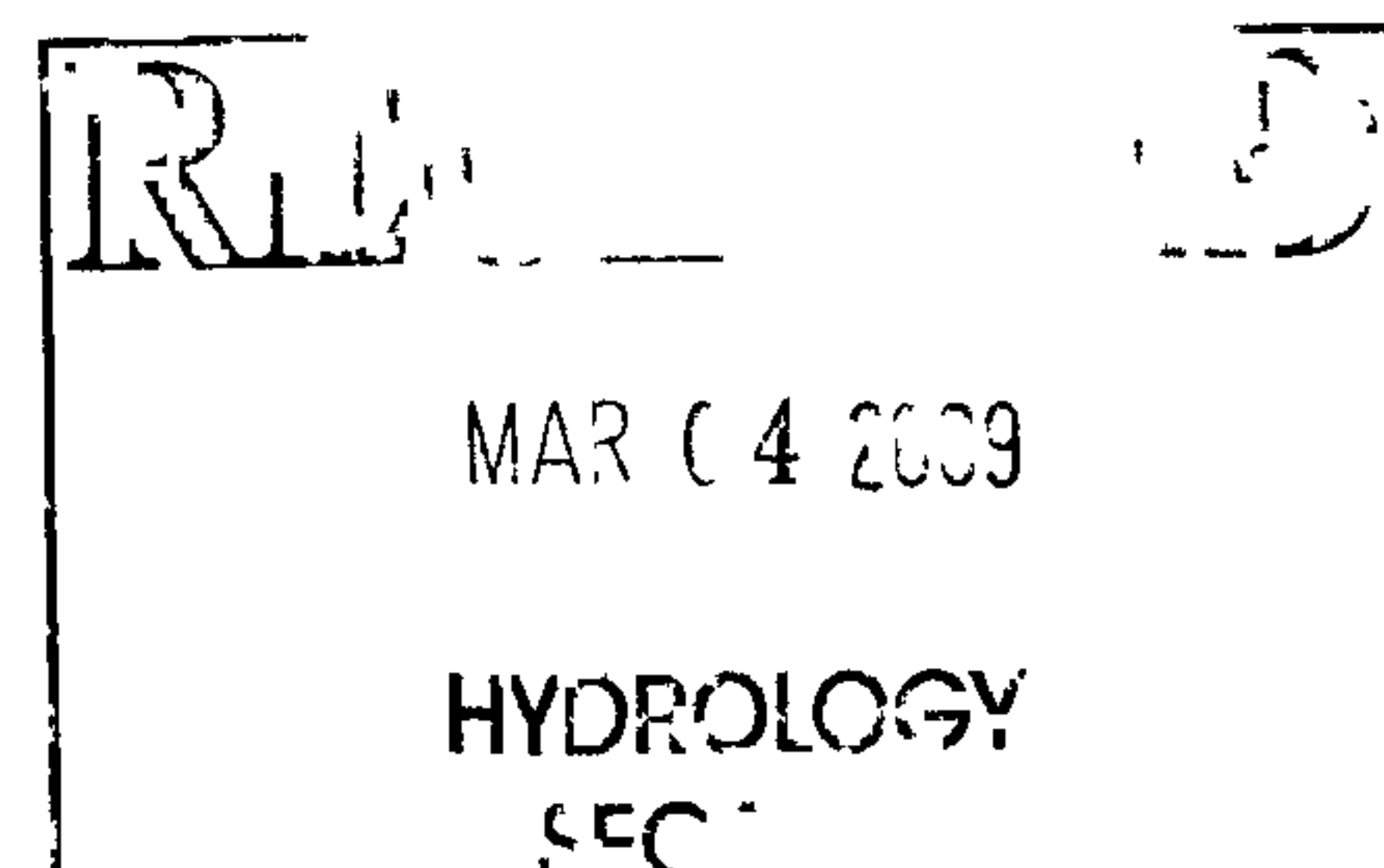
www.cabq.gov

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

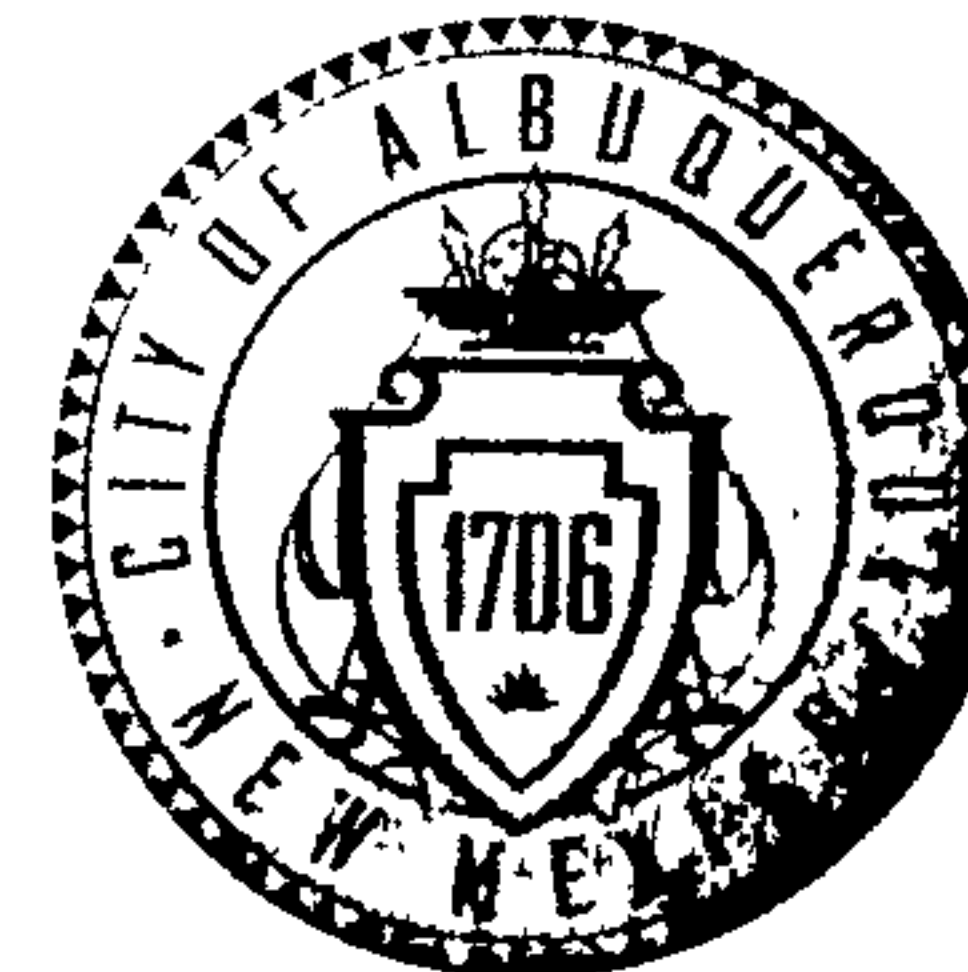
Sincerely,

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: File



CITY OF ALBUQUERQUE



February 10, 2009

Alexander Finale, R.A.
Ron Montoya Design Group
8724 Alameda NE Suite A
Albuquerque, NM 87113

Re: Indoor Flea Market, 11109 Central Ave. NE, Traffic Circulation Layout
Architect's Stamp dated 02-06-09 (L21-D068)

Dear Mr. Finale,

The TCL submittal received 02-10-09 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

PO Box 1293

Albuquerque

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NM 87103

www.cabq.gov

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

PROJECT TITLE: INDOOR FLEA MARKET ZONE MAP: L-21/D068
 DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: L 10-A, 11-A, 12A, 13A, 14A B1K 2 EAST CENTRAL
 CITY ADDRESS: 11109 CENTRAL AVE. NE BUSINESS DISTRICT

ENGINEERING FIRM: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

OWNER: ALAN DICEAN CONTACT: _____
 ADDRESS: 11109 CENTRAL NE PHONE: _____
 CITY, STATE: AIR NM ZIP CODE: 87123

ARCHITECT: RON MONTROYA DESIGNS - ALEX FINALE CONTACT: ALEX or RON
 ADDRESS: 4801 ALAMOSA NE - G2 PHONE: 823 6474
 CITY, STATE: AIR NM ZIP CODE: _____

SURVEYOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: FIRST CHOICE CUSTOM BUILDERS CONTACT: FRED RIVERA
 ADDRESS: 1020 10TH ST BLVD SUITE G PHONE: 244-3800-
 CITY, STATE: AIR NM 87102 ZIP CODE: C-250-9040

TYPE OF SUBMITTAL:
 _____ DRAINAGE REPORT
 _____ DRAINAGE PLAN 1st SUBMITTAL
 _____ DRAINAGE PLAN RESUBMITTAL
 _____ CONCEPTUAL G & D PLAN
 _____ GRADING PLAN
 _____ EROSION CONTROL PLAN
 _____ ENGINEER'S CERT (HYDROLOGY)
 _____ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT
 _____ ENGINEER'S CERT (TCL)
 _____ ENGINEER'S CERT (DRB SITE PLAN)
 _____ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:
 _____ SIA/FINANCIAL GUARANTEE RELEASE
 _____ PRELIMINARY PLAT APPROVAL
 _____ S. DEV. PLAN FOR SUB'D APPROVAL
 _____ S. DEV. FOR BLDG. PERMIT APPROVAL
 _____ SECTOR PLAN APPROVAL
 _____ FINAL PLAT APPROVAL
 _____ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
 _____ CERTIFICATE OF OCCUPANCY (PERM)
 _____ CERTIFICATE OF OCCUPANCY (TEMP)
 _____ GRADING PERMIT APPROVAL
 _____ PAVING PERMIT APPROVAL
 _____ WORK ORDER APPROVAL
 _____ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:
 _____ YES
 _____ NO
 _____ COPY PROVIDED

< Resubmittal >

DATE SUBMITTED: 2-10- BY: _____

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



August 21, 2008

Alexander Finale, R.A.
Ron Montoya Design Group
8724 Alameda NE Suite A
Albuquerque, NM 87113

Re: Indoor Flea Market, 11109 Central Ave. NE, Traffic Circulation Layout
Architect's Stamp dated 8-19-08 (L21-D068)

Dear Mr. Finale,

The TCL submittal received 8-20-08 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

PO Box 1293

Albuquerque

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

NM 87103

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

www.cabq.gov

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: File

02/10/09 Letter

See

CITY OF ALBUQUERQUE



July 23, 2008

Alexander Finale, R.A.

Ron Montoya Design Group

4801 Alameda NE Ste G-1

Albuquerque, NM 87113

New Address

**Re: Indoor Flea Market, 11109 Central Ave NE, Traffic Circulation Layout
Architect's Stamp dated 7-17-08 (L-21/D068)**

Dear Mr. Finale,

Based upon the information provided in your submittal received 7-21-08, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

- ✓1. Show a vicinity map on the traffic circulation layout. This vicinity map must clearly indicate the location of the site and clearly identify all major cross streets.
- ✓2. Please note that the 2-foot overhang is not allowed to encroach on the 6 foot required width of sidewalk.
- ✓3. The "road sign" appears to interfere with the sight distance of the entrance. See the *Development Process Manual*, Chapter 23, Section 6, Part B.12. Provide a sight triangle exhibit, using the example attached.
- ✓4. Define all keyed notes.
- ✓5. Include two copies of the traffic circulation layout at the next submittal.
- ✓6. Please show the location of all ramps and provide a detail.
- ✓7. All text must be at least 0.1" tall.
- ✓8. Call out the width of the keyway.

If you have any questions, you can contact me at 924-3991.

Sincerely,

Kristal D. Metro, P.E.

Traffic Engineer, Planning Dept.

Development and Building Services

C: File

CITY OF ALBUQUERQUE



July 15, 2008

Alexander Finale, R.A.
Ron Montoya Design Group
4801 Alameda NE Ste G-1
Albuquerque, NM 87113

**Re: Indoor Flea Market, 11109 Central Ave NE, Traffic Circulation Layout
Architect's Stamp undated (L-21/D068)**

Dear Mr. Finale,

Based upon the information provided in your submittal received 7-08-08, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

1. Please show a vicinity map on the traffic circulation layout.
2. The traffic circulation layout must be stamped, signed, and dated by an engineer or architect licensed in the state of New Mexico.
3. Call out the width of all sidewalks.
4. Curb returns are required for this site. The minimum radius value at the flow line needs to be 20'.
5. Will the "road sign" interfere with the sight distance of the entrance?
Provide a clear sight triangle.
6. Define all keyed notes.
7. Please show the location of all ramps and provide a detail.
8. Will all parking stalls be 18'-6"? If so, note as "typical."
9. Call out the specific width of the entrance.

If you have any questions, you can contact me at 924-3991.

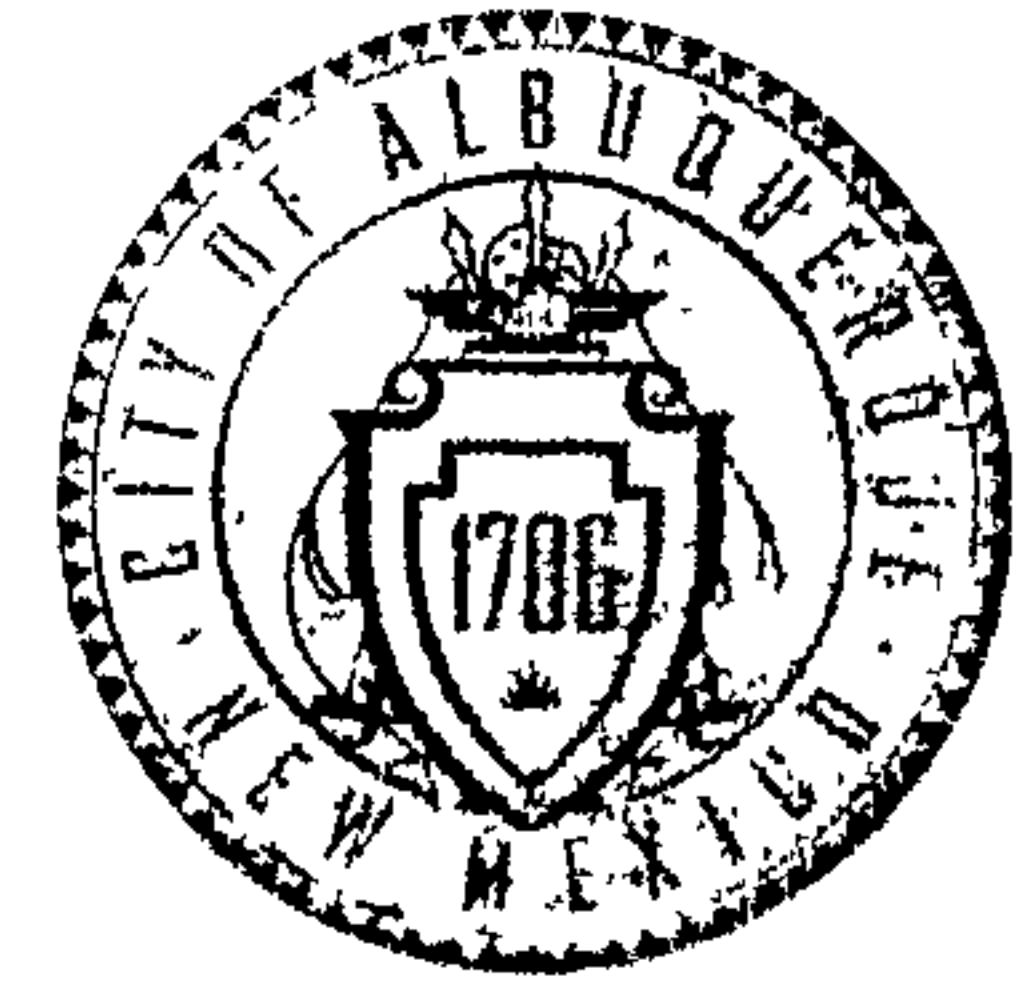
Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C: File

CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development & Building Services



July 1, 2008

Levi J. Valdez, P.E.
c/o: George T. Rodriguez – Development Consultant
12,800 San Juan N.E.
Albuquerque, New Mexico 87123

RE: **INDOOR FLEA MARKET – 11,109 Central Ave NE** (L-21 – D 068)
Drainage Plan for Building Permit (Proposed Add'n.) (PE Stamped 06-25-08)

Dear Mr. Valdez:

Based upon the information provided in your submittal received 7/01/08, the above referenced Grading and Drainage Plan is approved for Building Permit, conditioned upon compliance with the NPDES/SWPPP requirements discussed below.

PO Box 1293

Please attach a copy of this approved plan to the Building Permit plan sets prior to requesting sign-off by Hydrology.

Albuquerque

SWPPP: This project requires a National Pollutant Discharge Elimination System (NPDES) permit. You are required to send a copy of the P.E. certified Storm Water Pollution Prevention Plan (SWPPP) on a CD to City of Albuquerque, Storm Drainage Division at:

Department of Municipal Development, Storm Drainage Division

P.O. Box 1293, One Civic Plaza, Rm. 301, Albuquerque, NM 87103

NM 87103

If you have any question concerning the SWPPP, please contact Kathy Verhage 768-3654.

www.cabq.gov

Prior to Certificate of Occupancy approval, an Engineer's Certification of compliance with this plan is required per the DPM.

If I can be of further assistance, please feel free to contact me at 924-3981.

Sincerely,

Gregory R. Olson, P.E.

XC: Brad Bingham
Kathy Verhage, COA/DMD-Storm Drainage
✓ Drainage file L21-D 068

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 12/2005)

PROJECT TITLE: INDOOR FLEX MARKET ZONE MAP: L-21/D068
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOTS 10-A, 11-A, 12-A, 13-A, 14-A, BLK. 2, EAST CENTRAL BUSINESS
CITY ADDRESS: 11109 CENTRAL AVE. N.E. ADDITION

ENGINEERING FIRM: LEVI J. VALDEZ, P.E. CONTACT: LEVI VALDEZ
GEORGE T. RODRIGUEZ-DEVEL. CONSULT. GEORGE RODRIGUEZ
ADDRESS: 12800 SAN JUAN N.E. PHONE: 610-0593
CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87123

OWNER: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: RON MONTOYA DESIGNS CONTACT: RON MONTOYA
ADDRESS: 4801 ALAMEDA, N.E. - SUITE G-1 PHONE: 823-6474
CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: _____

SURVEYOR: WATSON SURVEYING CONTACT: THOMAS JOHNSTON
ADDRESS: 330 LOUISIANA N.E. PHONE: 255-2052
CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87108

CONTRACTOR: 1ST CHOICE REALTY - CUSTOM BLDG'S CONTACT: FRED RIVERA
ADDRESS: 1020 LOMAS N.W. PHONE: 244-3800
CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87102

TYPE OF SUBMITTAL:

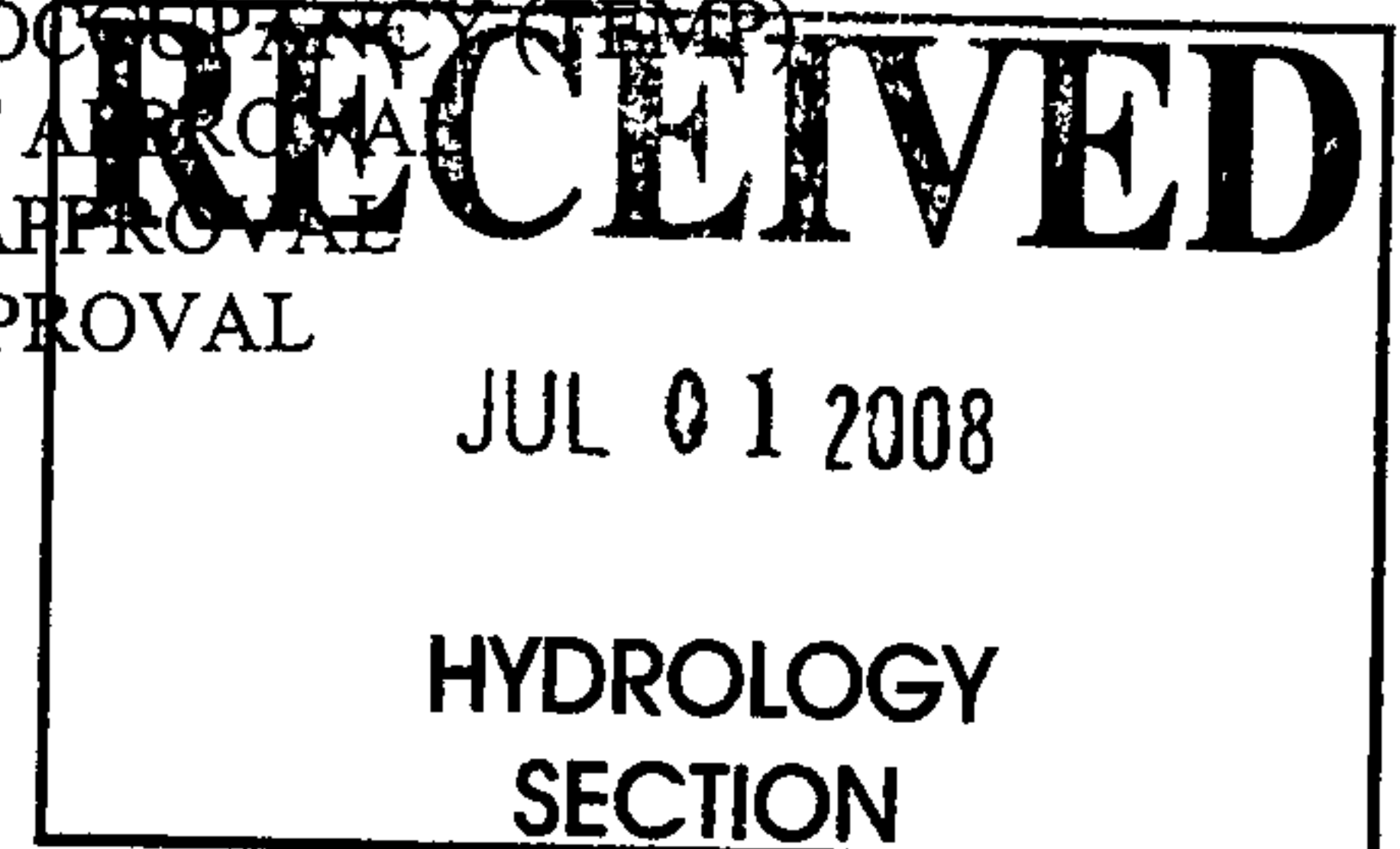
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☒ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
- ☐ NO
- ☐ COPY PROVIDED

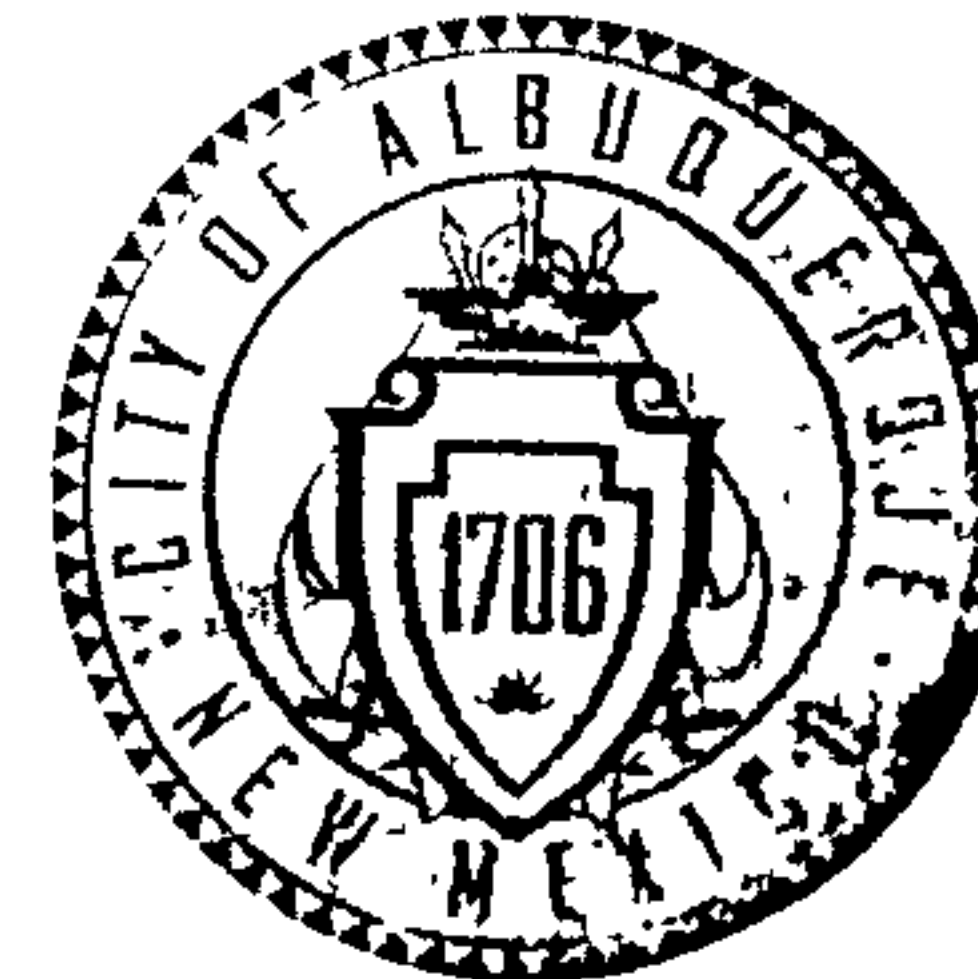


DATE SUBMITTED: 06-30-08 BY: G.T. RODRIGUEZ

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



April 4, 2008

Alexander Finale, R.A.
Ron Montoya Design Group
4801 Alameda NE Ste G-1
Albuquerque, NM 87113

**Re: Indoor Flea Market, 11109 Central Ave NE, Traffic Circulation Layout
Architect's Stamp dated 3-10-08 (L-21/D068)**

Mr. Finale,

Based upon the information provided in your submittal received 3-17-08, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

- ① Please show a vicinity map on the traffic circulation layout.
- ② Much of the text is too small; see the *Development Process Manual*, Chapter 27, for drawing standards.
- ③ Call out the width of all sidewalks.
- ④ Curb returns are required for this site. The minimum radius value at the flow line needs to be 20'.
- ⑤ Will the "road sign" interfere with the sight distance of the entrance? Provide a clear sight triangle.
- ⑥ Define all keyed notes.
- ⑦ Please show the location of all ramps and provide a detail.
- ⑧ Will all parking stalls be 18'-6"? If so, note as "typical."
- ⑨ Call out the specific width of the entrance.

need signed, dated stamp

If you have any questions, you can contact me at 924-3991.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C: File

1.3 Nature of Construction Activity

3.3.B.1

The Indoor Flea Market at 11109 Central Avenue, NE, is a commercial project in Albuquerque, NM. Construction activities will include installation of erosion controls, clearing and grading of site; excavation and backfill for installation of any utilities; construction of any structures on site; installation of ponds and berms; site stabilization and landscaping/xeriscaping.

Sequence of major soil disturbing activities

3.3.B.2

Activity	Estimated Start Date	Actual Start Date
Install BMPs	7/11/08	See inspection reports and/or company activity log
Site Clearing and Grubbing	N/A	See inspection reports and/or company activity log
Rough Grading	7/12/08	See inspection reports and/or company activity log
Foundation Preparation	7/14/08	See inspection reports and/or company activity log
Utility Installation	7/30/08	See inspection reports and/or company activity log
Build Structure	7/30/08	See inspection reports and/or company activity log
Final Grading	8/15/08	See inspection reports and/or company activity log
Paving and Sidewalks	8/20/08	See inspection reports and/or company activity log
Landscaping	9/1/08	See inspection reports and/or company activity log
Final Stabilization achieved	10/30/08	See inspection reports and/or company activity log

Contact Information and Responsible Parties**Operator/ Project Manager:**

First Choice Custom Builders
Fred Rivera
1020 Lomas Boulevard, NW
Albuquerque, NM 87102
505-244-3800
Fax: 505-244-3808

SWPPP Contact:

J & E Investments
Alan Direen
2720 La Charles, NE
Albuquerque, NM 87112
505-715-7753

This SWPPP was prepared by:

TGC Engineering Inc.
Thomas D. Johnston, PE
330 Louisiana Boulevard, NE
Albuquerque, NM 87108-2062
505-266-7256
Fax: 505-255-2887

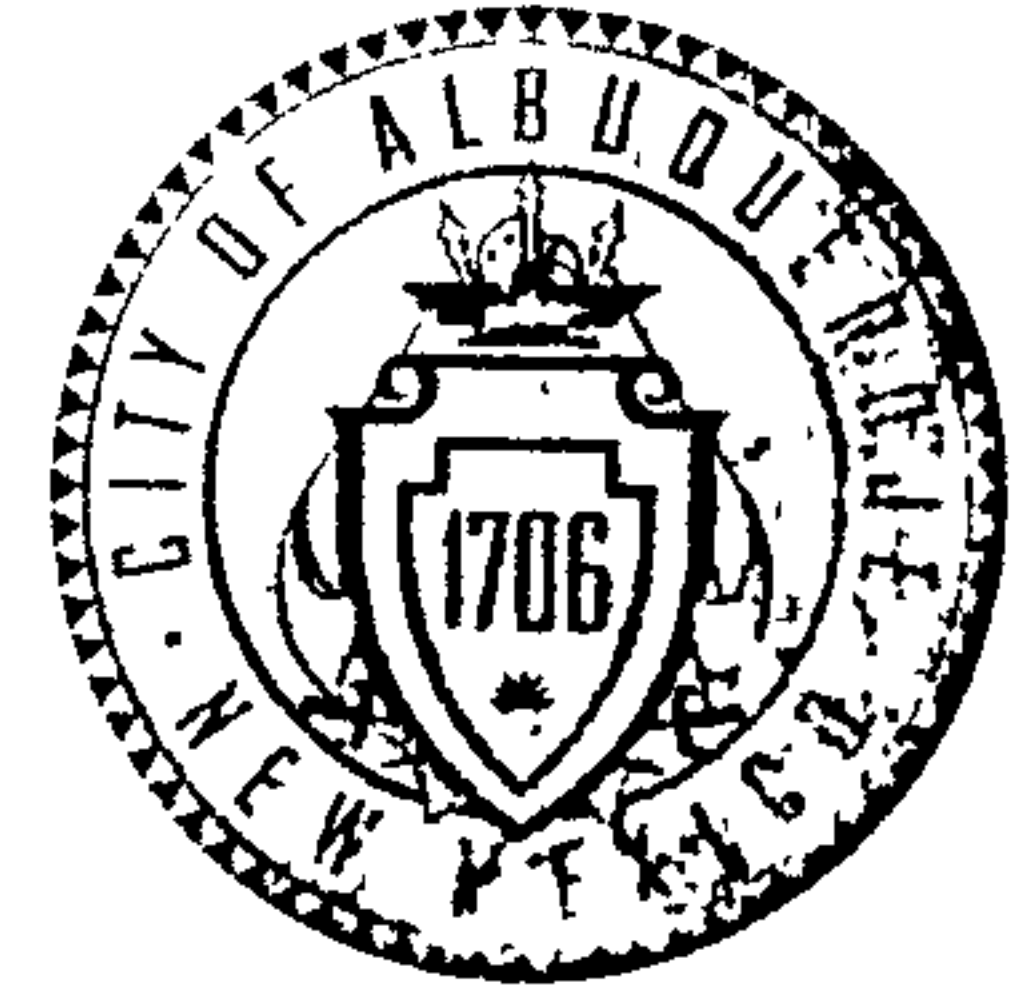
Emergency 24-hour contact:

Alan Direen
505-715-7753

L 21 / D 068
SWPPP
Rec'd & checked 7/2/8
Forwarded to Kathy V.
Copies to H... SWPPP's
A D

CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development & Building Services



April 15, 2008

Levi J. Valdez, P.E.
c/o: George T. Rodriguez – Development Consultant
12,800 San Juan N.E.
Albuquerque, New Mexico 87123

RE: **INDOOR FLEA MARKET - 11109 Central Ave NE (L-21 – D 068)**
Drainage Plan for Building Permit (Proposed Add'n.) (PE Stamped 03-12-08)

Dear Mr. Valdez:

Based upon the information provided in your submittal dated 03/12/08, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

- Provide record information on the adjacent lot at the NW corner of the property, where drainage flows leave this site. It appears that the flows are within the south half of the vacated Lynn Avenue R/W. Verify the right to discharge at that location, and provide notes to that effect on the plan.
- Drainage calculations provided on this plan used Peak Discharge Rate Factors (DPM Chapter 22, Table A-9) for Rainfall Zone 2, rather than Zone 3 where this site is located. Substitute the correct factors and recalculate existing and proposed flows.
- This site will be subject to NPDES regulations, including a Storm Water Pollution Prevention Plan (SWPPP) to be submitted to EPA and the City of Albuquerque, and followed during construction.

If you have any questions or would like to schedule a meeting to discuss this project, you may contact me at 924-3981.

Sincerely,

 4/15/08

Gregory R. Olson, P.E.
Hydrology Section

XC: Bradley Bingham, COA-PLN/Hydrology
file L21-D 068 ←

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 12/2005)

PROJECT TITLE: INDOOR FLEA MARKET ZONE MAP: L-21/0068
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOTS 10-A, 11-A, 12-A, 13-A, & 14-A, BLK. 2, EAST CENTRAL BUSINESS ADDITION
CITY ADDRESS: 11109 CENTRAL AVE. N.E.

ENGINEERING FIRM: LEVI J. VALDEZ, P.E. CONTACT: LEVI J. VALDEZ
GEORGE T. RODRIGUEZ-DEVEL. CONSUL. GEORGE T. RODRIGUEZ
ADDRESS: 12800 SAN JUAN, N.E. PHONE: 610-0593
CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87123

OWNER: ALAN DIREEN CONTACT: _____
ADDRESS: _____ PHONE: 715-7753
CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: ALEXANDER FINALE CONTACT: RON MONTANO
ADDRESS: 4801 ALAMEDA N.E., SUITE G-1 CUSTOM DESIGNS
CITY, STATE: ALBUQUERQUE, NEW MEXICO PHONE: 823-6474
ZIP CODE: _____

SURVEYOR: WAY JOHN SURVEYING CONTACT: THOMAS JOHNSTON
ADDRESS: LOUISIANA BLVD. N.E. PHONE: 255-2052
CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: _____

CONTRACTOR: FIRST CHOICE CUSTOM BUILDERS CONTACT: FRED RIVERA
ADDRESS: 1020 LOMAS BLVD. N.W. PHONE: 244-3800
CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87102

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☒ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
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☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED: \$ 5000

☒ YES
☐ NO
☐ COPY PROVIDED

DATE SUBMITTED: MARCH 17, 2008 BY: G.T. RODRIGUEZ

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