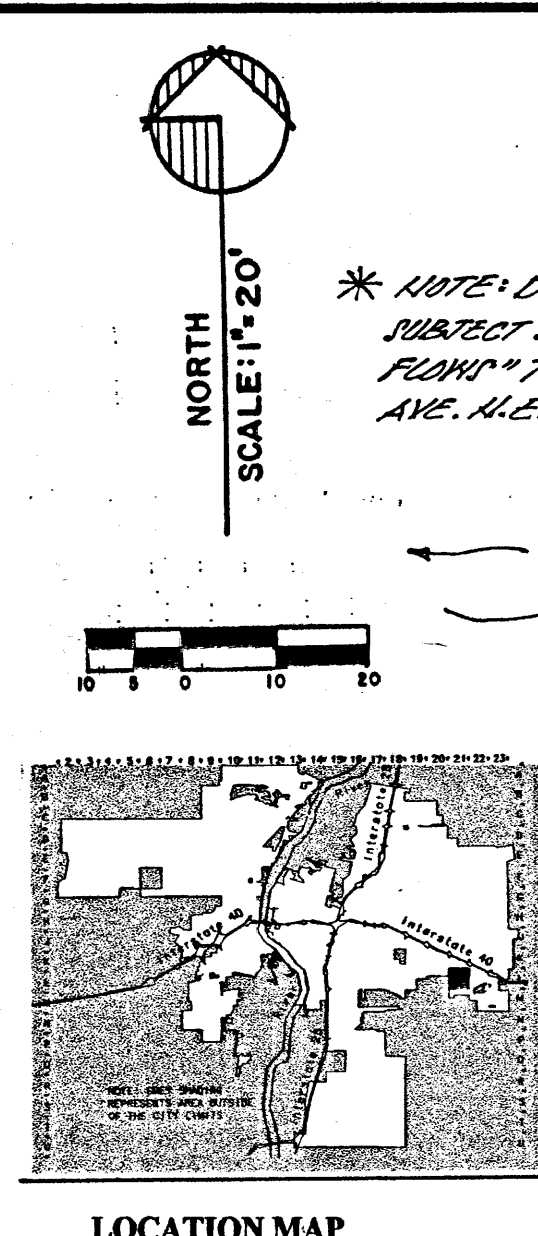


VICINITY MAP L-21-Z



LOCATION MAP

GENERAL NOTES:

- 1) NO PERIMETER BOUNDARY CORNERS HAVE BEEN FIELD ESTABLISHED BY THIS SURVEY OF THE SUBJECT PROPERTY.
- 2) NO SEARCH HAS BEEN MADE FOR EASEMENTS OF RECORD OTHER THAN SHOWN HEREON.

TABLE A-10. PEAK INTENSITY (IN/H.R. at 100-YR)

Zone	Intensity
1	4.70
2	6.00
3	8.00
4	10.00

TABLE A-9. PEAK DISCHARGE (cfs)

Zone	Intensity	Discharge
1	4.70	0.05
2	6.00	0.05
3	8.00	0.05
4	10.00	0.05

DRAINAGE CERTIFICATION

I, **LEVI J. VALDES**, NMPE #5693 of the firm **LEVI J. VALDES & ASSOCIATES, P.C.** hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated **03-05-00**. The record information edited onto the original design document has been obtained by **LEVI J. VALDES & ASSOCIATES, P.C.** of the firm **LEVI J. VALDES & ASSOCIATES, P.C.** I further certify that I have personally visited the project site on **03-04-00** and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Certification of Occupancy (PERMANENT).

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Levi J. Valdes
NMPE
Date **03-05-00**



DRAINAGE COMMENTS:

As shown on the Vicinity Map hereon, the subject site is located on the North side of Central Avenue N.E., between Elizabeth Street N.E. and Dorothy Street N.E., in the City of Albuquerque, Bernalillo County, New Mexico, (Zone Atlas Map "L-21-Z").

The subject site, 1.) is presently a developed commercial property, 2.) is not located within a designated floodplain, 3.) does contribute to the offsite flows of adjacent properties to the West, 4.) does not accept offsite flows from adjacent properties, 5.) is not located adjacent to a natural or artificial water course, 6.) is to have a proposed building addition constructed to the existing southerly building.

CALCULATIONS:

Per Section 22.2, Hydrology of the Development Process Manual, Volume 2, Design Criteria, for the City of Albuquerque, Bernalillo County, New Mexico, Dated January 1993.

Site Area: 1.89 Acre
Precipitation Zone: Three (3), Table A-1
Peak Intensity: IN/H.R. at T_c = Twelve (12) Min., 100-Yr. = 5.38
Land Treatment Method for the Calculations of "Qp", Tables A-8 & A-9.
Land Treatment Factors, Table A-4

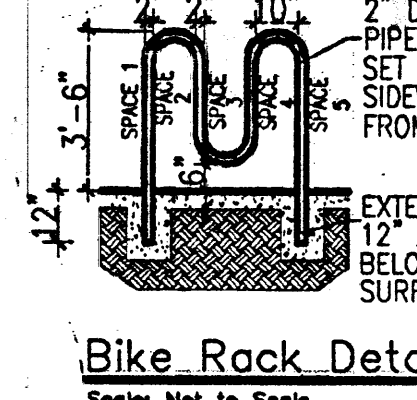
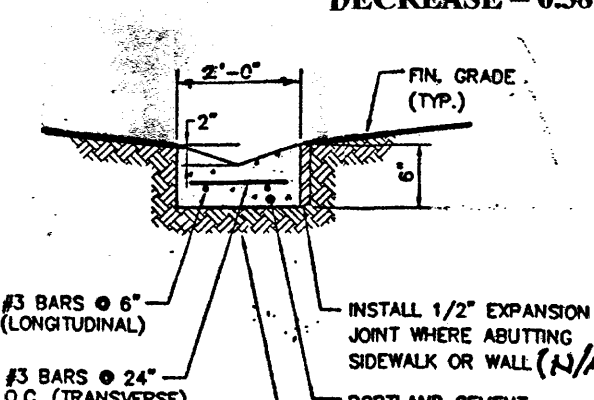
EXISTING CONDITIONS:

TREATMENT	AREA/ACRES	FACTOR	CFS
C	0.05	X 3.45	= 0.17
D	1.84	X 5.02	= 9.24
*Qp = 9.41 CFS			

PROPOSED DEVELOPED CONDITIONS:

TREATMENT	AREA/ACRES	FACTOR	CFS
C	0.29	X 3.45	= 1.00
D	1.60	X 5.02	= 8.03
*Qp = 9.03 CFS			

DECREASE = 0.38 CFS



Bike Rack Detail
Scale: Not to Scale

KEYED NOTES

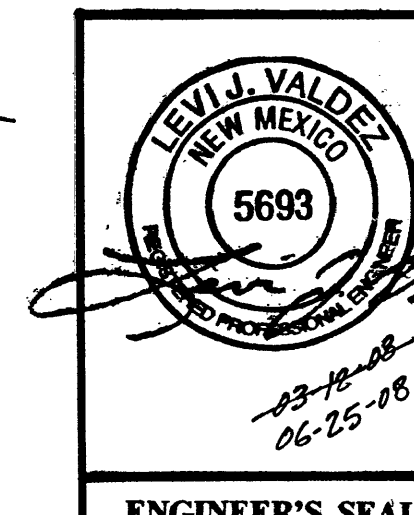
1. 8" CMU WALL WITH STUCCO SYSTEM OVER BUILDING PAPER, COLOR BY ARCHITECT.
2. FINISH GRADE.
3. SLOPE STUCCO CAP.
4. 4-#4 BARS CONT. @ BOTTOM OF FOOTING #4 @ 16" O.C. ACROSS BOTTOM OF FOOTING.
5. 2-#3 BARS @ TOP KNOCK-OUT BLOCK BOND BEAM. CONTINUOUS: #3 BARS @ 32" O.C. VERTICAL. GROUT REINFORCED CELLS. DOWELWALL @ 16" O.C. HORIZONTAL.
6. 1/2" EXPANSION JOINT MATERIAL.
7. 4" CONCRETE SLAB 3000 PSI 3/4" AGGREGATE WITH 5/8" 10X10 W/M. W/ TURNDOWN EDGE.
8. 6" CONCRETE APRON 3000 PSI 3/4" AGGREGATE WITH 5/8" 10X10 W/M. W/ TURNDOWN EDGE.
9. 4" CONCRETE FILLED PIPE IN 16" DIA. X 2'-6" DEEP CONC. FOOTING. PAINT TO MATCH STUCCO FINISH.
10. ASPHALT PAVING.
11. GROUT ALL CELLS SOLID BELOW GRADE, TYPICAL.

Refuse Enclosure

Scale: Not to Scale

"AS-BUILT" - ENGINEER'S CERTIFICATION
(03-05-00)

A PROPOSED
DRAINAGE PLAN
FOR AN
INDOOR FLEA MARKET
11109 CENTRAL AVENUE N.E.
ALBUQUERQUE, NEW MEXICO
MARCH, 2008
(01-28-00)



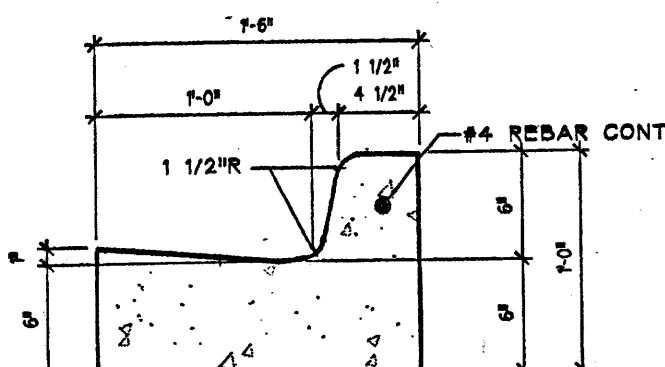
EROSION CONTROL MEASURES:

THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT OF STORM RUNOFF DURING CONSTRUCTION. HE SHALL ENSURE THAT THE FOLLOWING MEASURES ARE TAKEN:

- 1) ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY CONSTRUCTION OF BERMS, DIKES, SWALES, PONDS, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUNOFF FROM LEAVING THE SUBJECT SITE AND ENTERING ADJACENT PROPERTIES.
- 2) ADJACENT PUBLIC RIGHT-OF-WAYS SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUNOFF FROM THE SUBJECT SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER PUBLIC STREET RIGHT-OF-WAYS.
- 3) THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY AND ALL SEDIMENT FROM PUBLIC STREETS THAT HAS BEEN ERODED FROM THE SUBJECT SITE AND DEPOSITED THEREON.

CONSTRUCTION NOTES:

- 1) TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE AT 260-1990 FOR THE ACTUAL FIELD LOCATION OF THE EXISTING SURFACE OF SUB-SURFACE UTILITIES.
- 2) PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION(S) OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.
- 3) ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- 4) ALL CONSTRUCTION WITHIN PUBLIC STREET RIGHT-OF-WAY(S) SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE/BERNALILLO COUNTY STANDARDS AND PROCEDURES.



NOTE:
PROVIDE 1/4" W X 1/2" DP CONSTRUCTION JOINT 10" O.C. MAX OR 5' O.C. MIN.
PROVIDE THIS CURB WHERE GRADE SLOPES TO CURB, SEE GRADING PLAN

CURB AND GUTTER

LEGEND:

- F.H. FIRE HYDRANT
- TEL. TELEPHONE RISER
- PP. POWER POLE
- EM. ELECTRIC METER
- GM. GAS METER
- WM. WATER METER
- MH. SANITARY SEWER MANHOLE
- WV. WATER VALVE
- GV. GAS VALVE
- LP. LIGHT POLE
- CO. SEWER CLEANOUT
- FB. FIRE BOX
- RV. RV HOOKUP
- BLOCK WALL
- CHAIN LINK FENCE
- WROUGHT IRON FENCE

- = FOUND/SET CORNER AS NOTED:
- A: FOUND #4 REBAR AND CAP "LS 7002"
- B: FOUND #4 REBAR - NO CAP

LEGAL DESCRIPTION:

Lots 10-A, 11-A, 12-A, 13-A & 14-A, Block Two (2), East Central Business Addition, Albuquerque, New Mexico.

BENCH MARK REFERENCE:

A.C.S. Station "6-L21", Elevation=5503.276 (NAVD 88); Project T.B.M. as shown on the plan hereon.

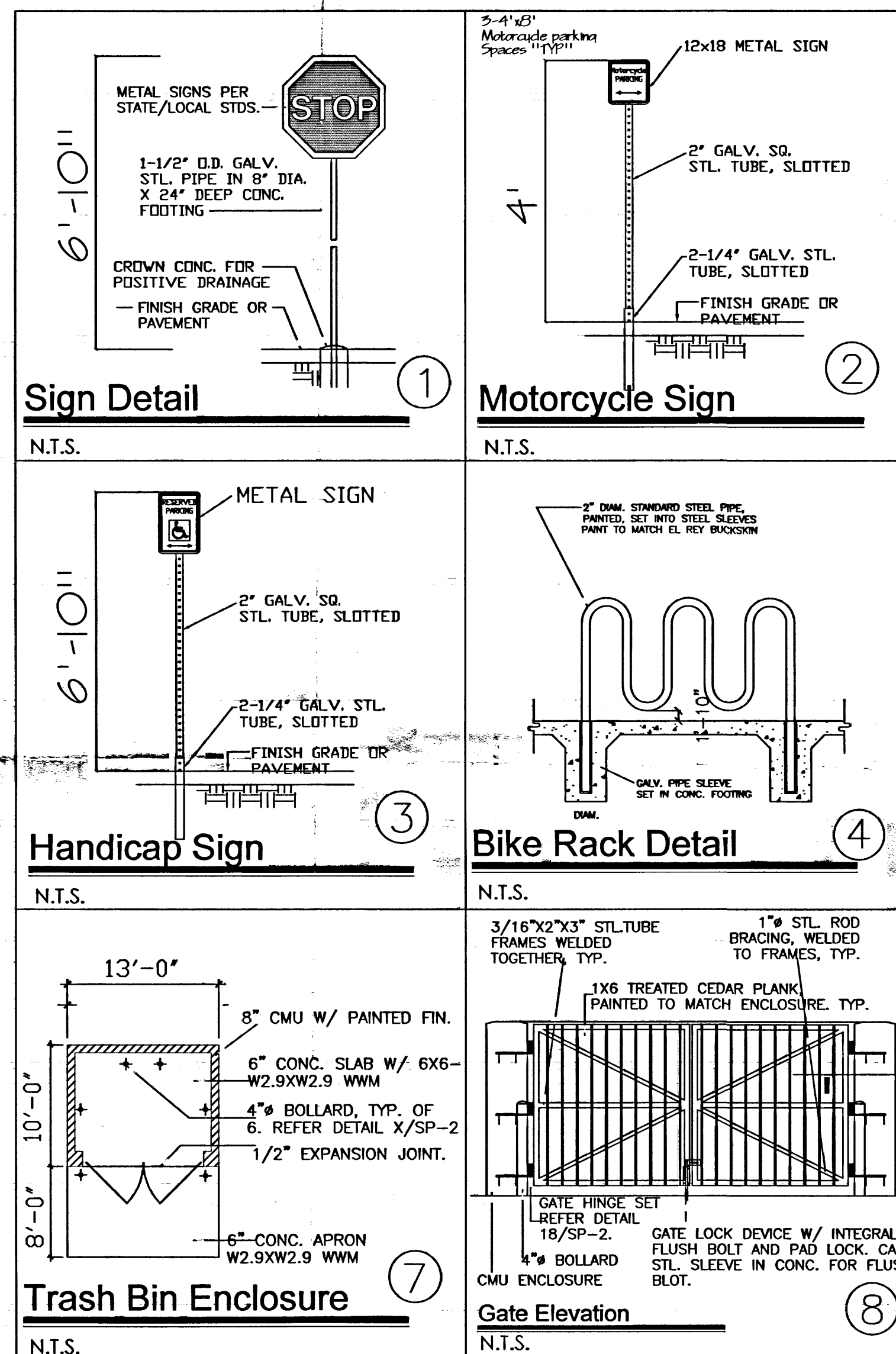
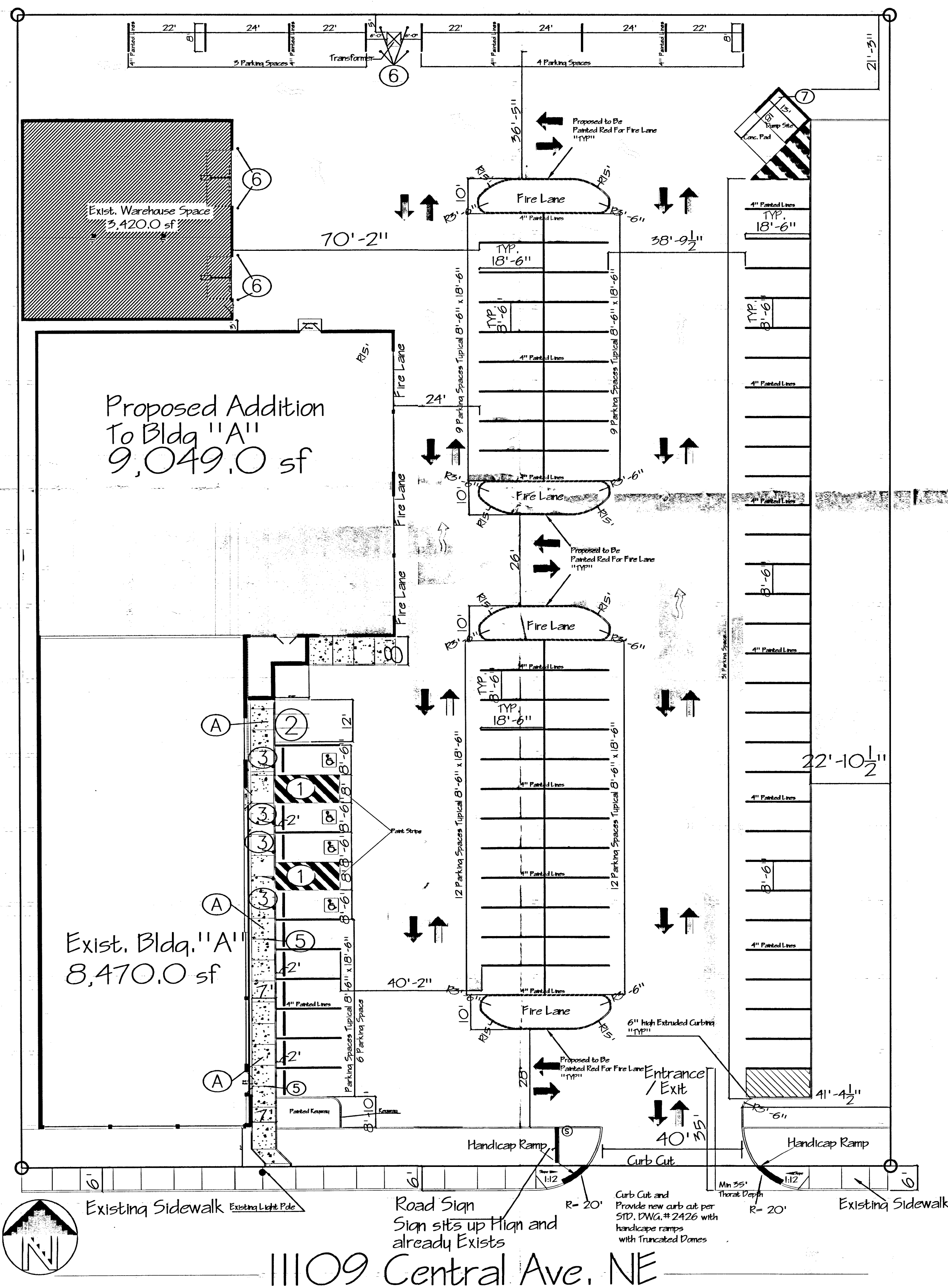
- ④ - SAW-CUT EXISTING ASPHALT PAVING FOR PROPOSED LANDSCAPE AREA (P)
- ⑤ - EXISTING LANDSCAPE AREA

Legal Description
Lot 10-A11-A12-A13-A14-A
Block 2
Subdivision East Central Business Addition
County Bernalillo

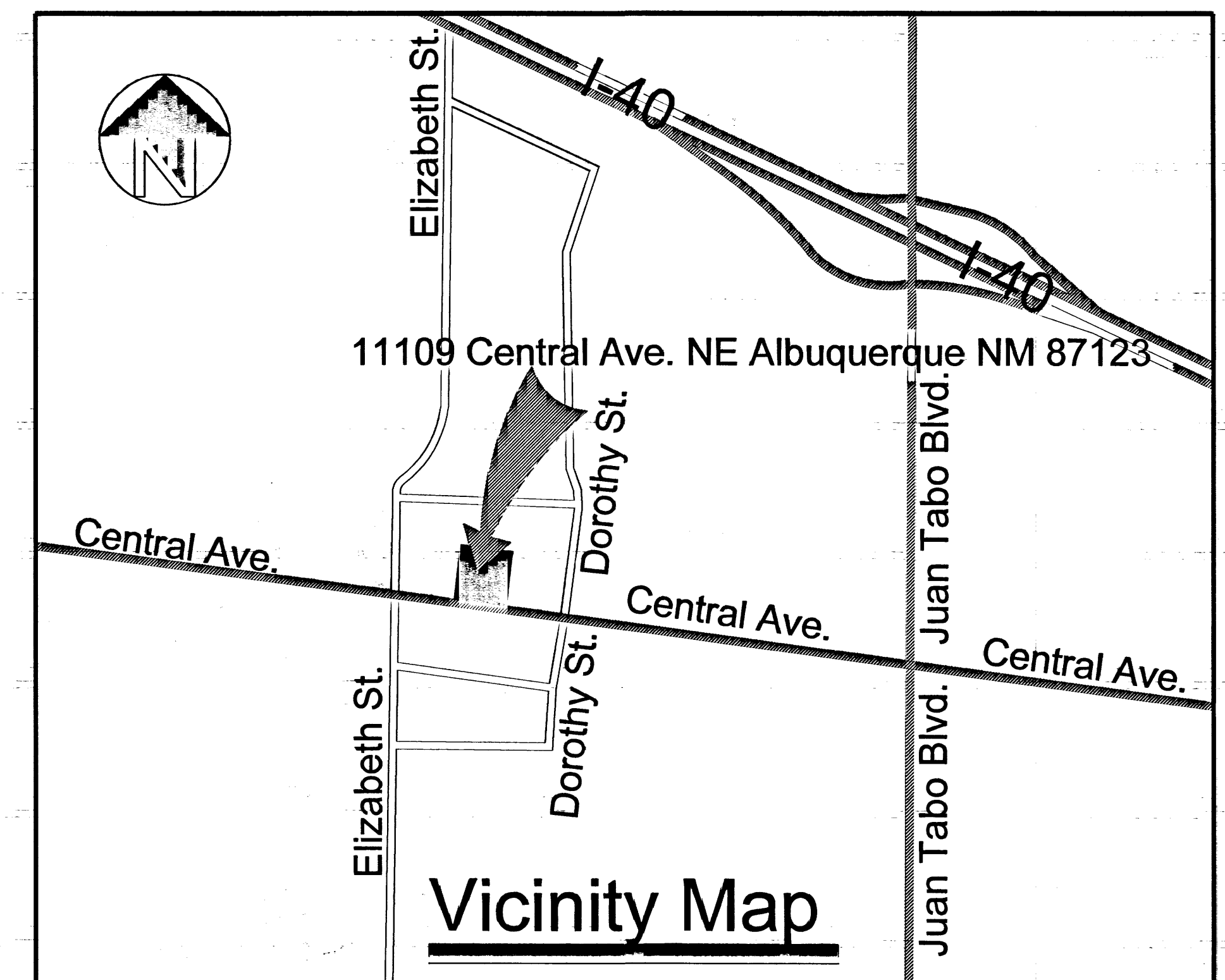
KEYED NOTES

- DIRECTION VEHICULAR TRAFFIC
 STOP SIGN
 ACCESSIBLE PARKING SYMBOL
 DIRECTION OF DRAINAGE FLOW

Total Area: 82,500sqft



(A) Note: Saw cut existing asphalt pavement for new concrete sidewalk to be flush with existing asphalt paving



PARKING CALCULATIONS

BASED ON THE CITY OF ALBUQUERQUE OFF-STREET PARKING REGULATIONS SECTION 14-16-3-1

TYPICAL STALL = 8'6" WIDE X 20'-0" LONG

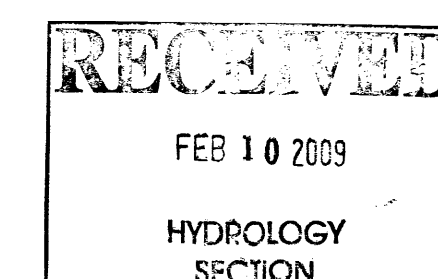
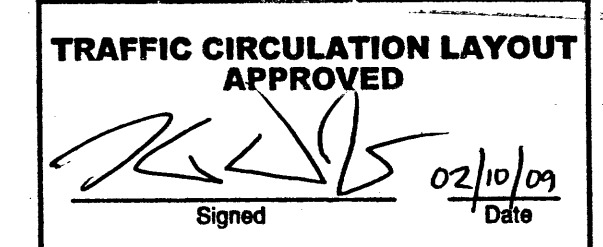
TOTAL NET LEASABLE SF 17,519
 17,519 NET LEASABLE SF OFFICE RETAIL/200 = 88 SPACES
 3420 Net Warehouse Space 1/2000 = 2
 SPACES REQUIRED = 90
 -9 SPACES (10% FOR BUS ROUTE)
 SPACES REQUIRED = 79

ACCESSIBLE SPACES REQUIRED = 4
 ACCESSIBLE SPACES PROVIDED = 4

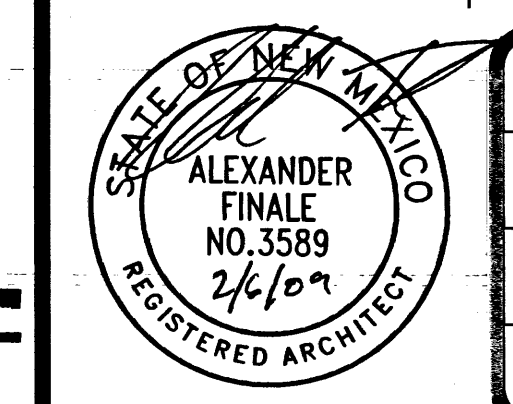
MOTORCYCLE SPACES REQUIRED = 3
 MOTORCYCLE SPACES PROVIDED = 3

SPACES REQUIRED = 84
 SPACES PROVIDED = 85

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.



Architect's Stamp



TCL Plan

Scale 1" = 20'

Final Drawing Checked By:	Sheet
1. M. Ortiz	3A
2.	
3.	

OF 11 Sheets

Indoor Flea Market (First Choice) June 16, 2008
Abuquerque, New Mexico
TCL Plan

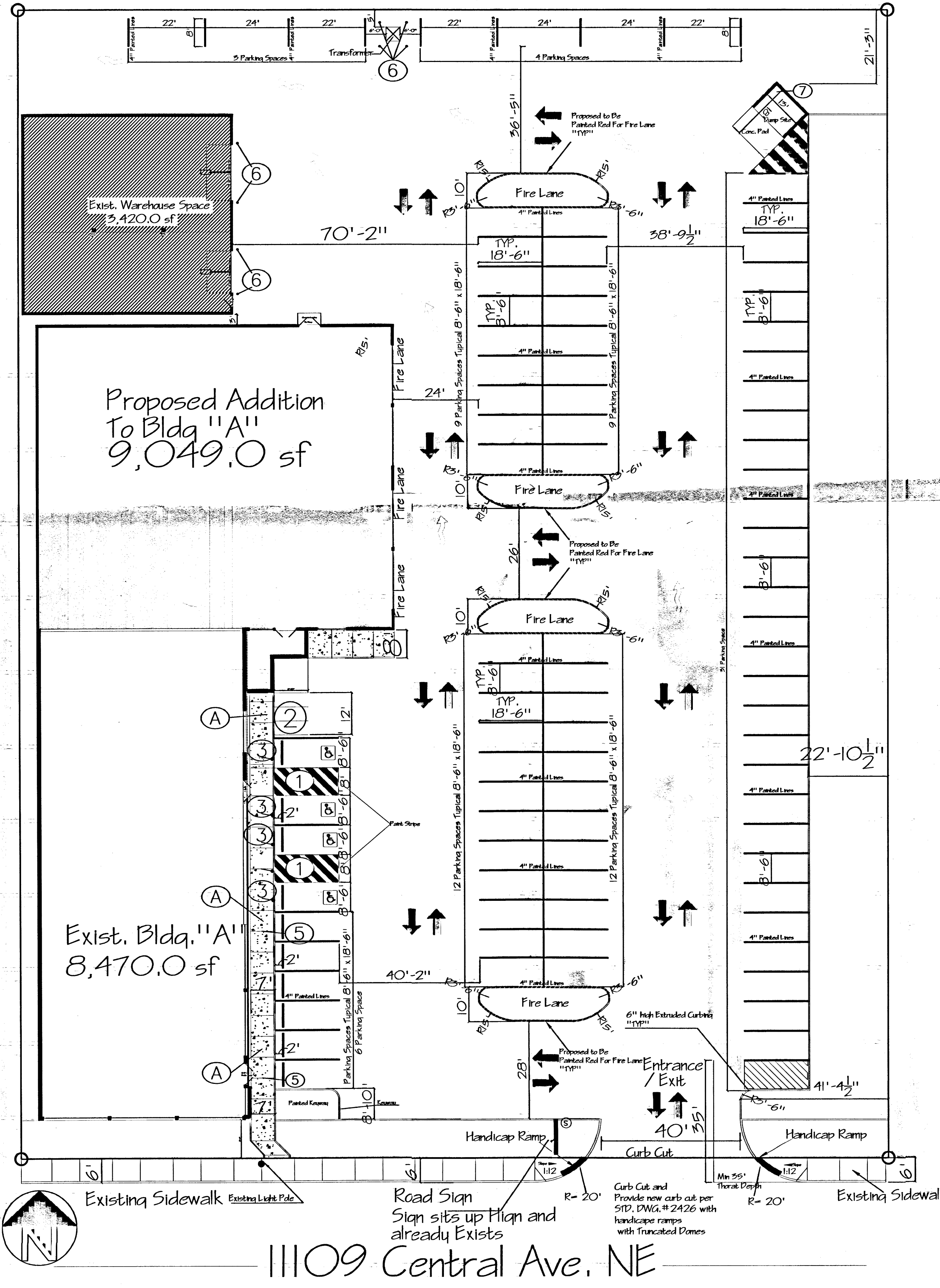
Ron Montoya Custom Designs
 Residential Design and Drafting Services
 4801 Alameda N.E., Suite G-1 New Mexico Design Center
 (505) 825-6474 Cell: (505) 307-1003

Legal Description
Lot 10-A11-A12-A13-A14-A
Block 2
Subdivision East Central Business Addition
County Bernalillo

KEYED NOTES

- DIRECTION VEHICULAR TRAFFIC
- STOP SIGN
- ACCESSIBLE PARKING SYMBOL
- DIRECTION OF DRAINAGE FLOW

Total Area: 82,500sqft



Sign Detail

N.T.S.

Motorcycle Sign

N.T.S.

Handicap Sign

N.T.S.

Bike Rack Detail

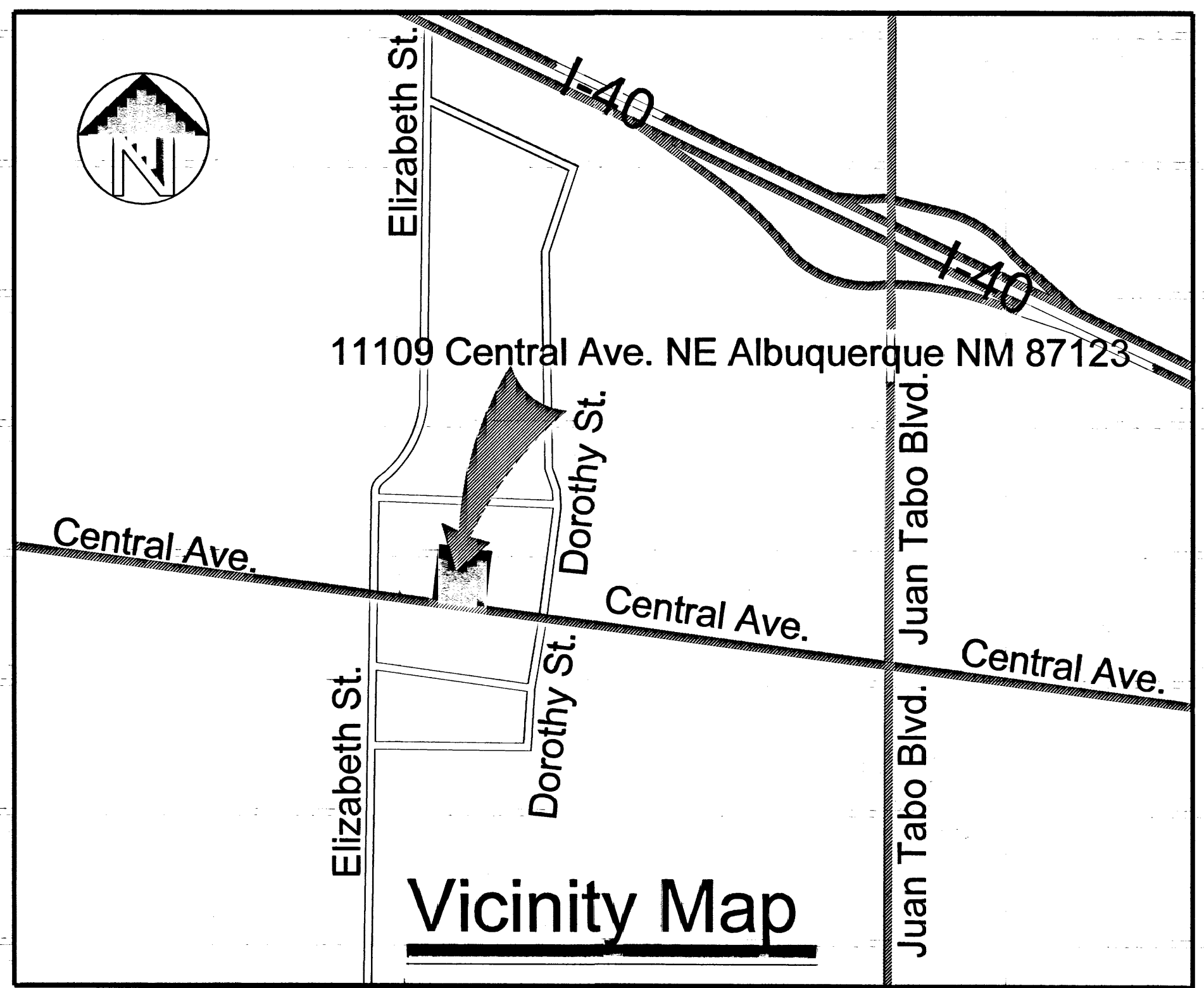
N.T.S.

Trash Bin Enclosure

N.T.S.

Gate Elevation

N.T.S.



Concrete Joints

N.T.S.

Bollard

N.T.S.

PARKING CALCULATIONS

BASED ON THE CITY OF ALBUQUERQUE OFF-STREET PARKING REGULATIONS SECTION 14-16-3-1

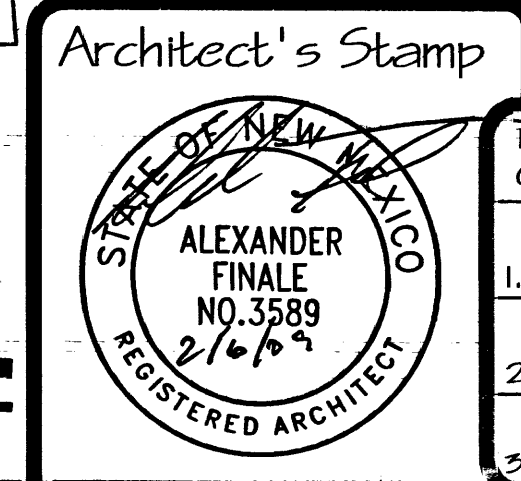
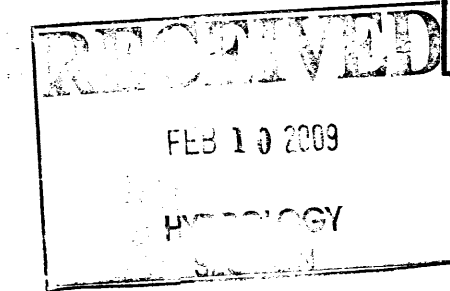
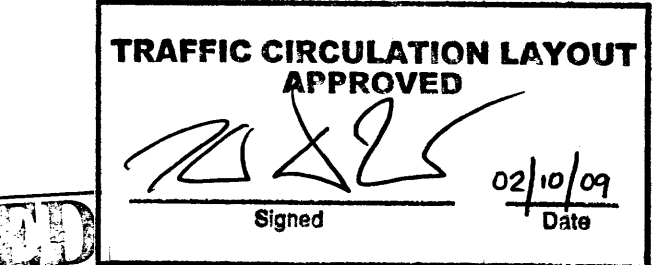
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TOTAL NET LEASABLE SF 17,519
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 SPACES PROVIDED = 85



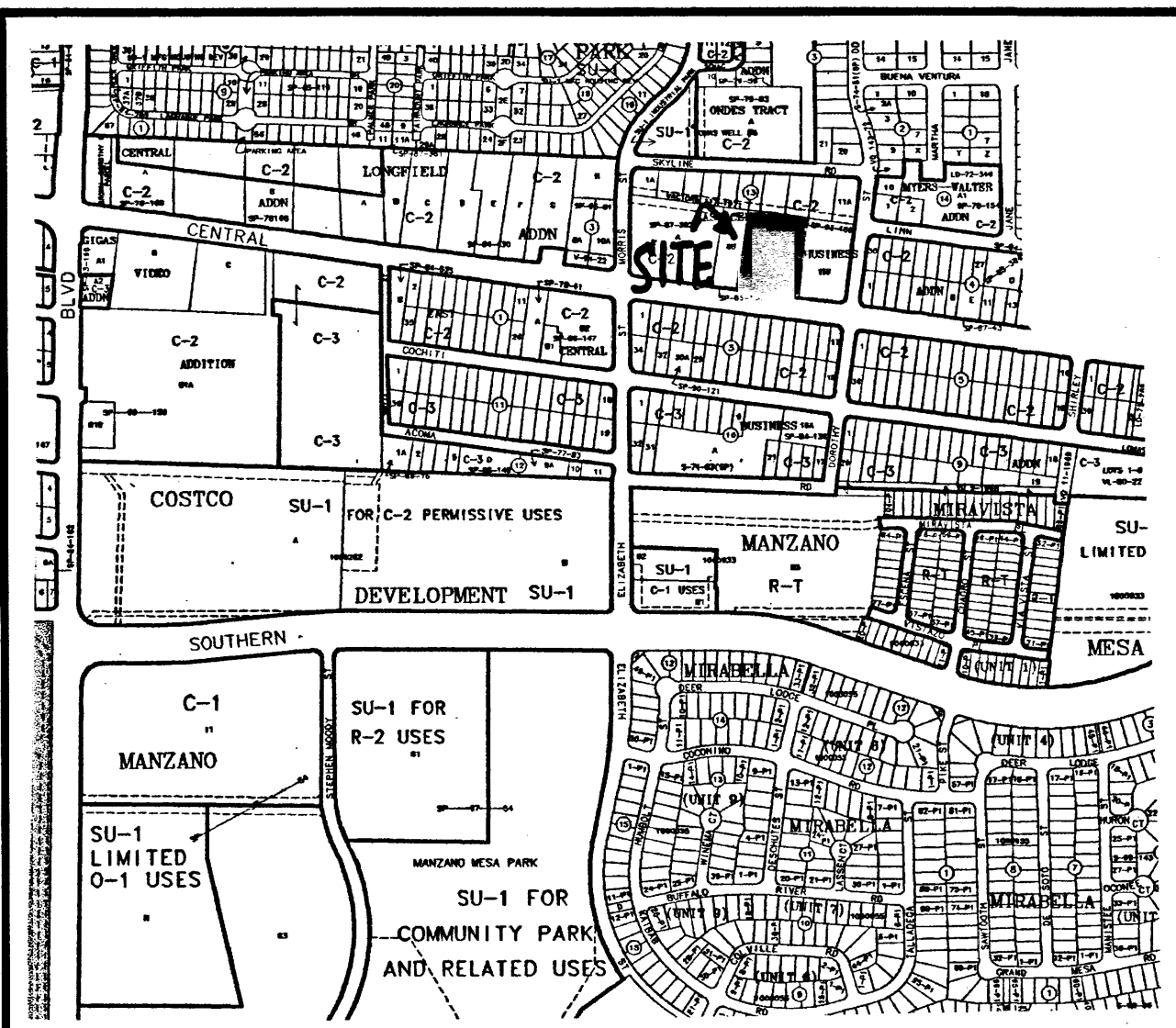
TCL Plan

Scale 1" = 20'

Final Drawing Checked By	Sheet
1. M. Ortiz	3A
2.	Of 11 Sheets

Indoor Flea Market (First Choice)
 June 16, 2008
 Albuquerque, New Mexico
 TCL Plan

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VICINITY MAP

L-21-Z

EROSION CONTROL MEASURES:

THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT OF STORM RUNOFF DURING CONSTRUCTION. HE SHALL ENSURE THAT THE FOLLOWING MEASURES ARE TAKEN:

- 1) ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY CONSTRUCTION OF BERMS, DIKES, SWALES, PONDS, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUNOFF FROM LEAVING THE SUBJECT SITE AND ENTERING ADJACENT PROPERTIES.
- 2) ADJACENT PUBLIC RIGHT-OF-WAYS SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUNOFF FROM THE SUBJECT SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER PUBLIC STREET RIGHT-OF-WAYS.
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CONSTRUCTION NOTES:

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- 3) ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- 4) ALL CONSTRUCTION WITHIN PUBLIC STREET RIGHT-OF-WAY(S) SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE/BERNALILLO COUNTY STANDARDS AND PROCEDURES.

UTILITY PRECAUTIONS:

THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.

LEGEND:

- ⊙ F.H. FIRE HYDRANT
- ⊙ TEL. TELEPHONE RISER
- ⊙ PP POWER POLE
- ⊙ EM ELECTRIC METER
- ⊙ GM GAS METER
- ⊙ WM WATER METER
- ⊙ MH SANITARY SEWER MANHOLE
- ⊙ WV WATER VALVE
- ⊙ GV GAS VALVE
- ⊙ LP LIGHT POLE
- ⊙ CO SEWER CLEANOUT
- ⊙ FB FIRE BOX
- ⊙ RV R.V. HOOKUP
- ⊙ BLOCK WALL
- ⊙ CHAIN LINK FENCE
- ⊙ WROUGHT IRON FENCE
- EXISTING CONTOURS @ 1 FT. INTERVALS
- INDEX CONTOURS @ 5 FT. INTERVALS
- SPOT ELEVATION
- UNLESS OTHERWISE INDICATED, SPOT ELEVATIONS ARE TO NATURAL GRADE
- EC EDGE OF CONCRETE
- TC TOP OF CURB
- FL FLOWLINE
- BSW BACK OF SIDEWALK
- ACS MONUMENT "6-L21"
- x = 1,553,220.734
- y = 1,481,282.770
- Ground-to-grid: 0.999648352
- Mapping angle: -00° 09' 28.24"
- NMSP CENTRAL ZONE
- NAD 1983
- NAVD 88 ELEV: 5503.276

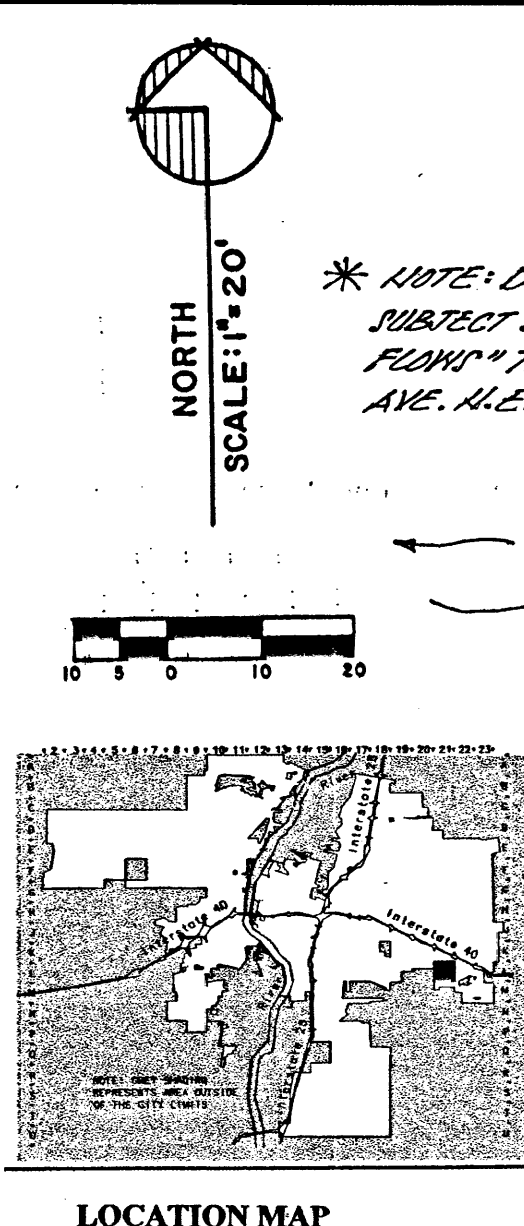
- ⊙ = FOUND/SET CORNER AS NOTED:
- A: FOUND #4 REBAR AND CAP "LS 7002"
- B: FOUND #4 REBAR - NO CAP

LEGAL DESCRIPTION:

Lots 10-A, 11-A, 12-A, 13-A & 14-A, Block Two (2), East Central Business Addition, Albuquerque, New Mexico.

BENCHMARK REFERENCE:

A.C.S. Station "6-L21", Elevation=5503.276 (NAVD 88); Project T.B.M. as shown on the plan hereon.



LOCATION MAP

GENERAL NOTES:

- 1) NO PERIMETER BOUNDARY CORNERS HAVE BEEN FIELD ESTABLISHED FOR THIS SURVEY OF THE SUBJECT PROPERTY.
- 2) NO SEARCH HAS BEEN MADE FOR EASEMENTS OF RECORD OTHER THAN SHOWN HEREON.

* NOTE: DEVELOPED FROM 9.03 cfs LEADING TO SUBJECT SITE ARE HISTORICAL FLOODS THRU VACATED LYNN AVE. N.E. RIGHT-OF-WAY

Zone	Intensity	100-YR
1	4.75	(1.84, 2.14)
2	5.75	(2.24, 2.54)
3	6.75	(2.74, 3.04)
4	7.75	(3.24, 3.54)

Zone	Intensity	100-YR
1	0.28	(0.00, 0.28)
2	0.38	(0.00, 0.38)
3	0.48	(0.00, 0.48)
4	0.58	(0.00, 0.58)

A-1 PRECIPITATION ZONES

Bernalillo County's four precipitation zones are indicated in TABLE A-1 and on FIGURE A-1.

Zone	Location
1	West of the Rio Grande
2	Between the Rio Grande and San Mateo
3	Between San Mateo and Edwark, North of Interstate 40; and between San Mateo and the East boundary of Range 4 East, South of Interstate 40
4	East of Edwark, North of Interstate 40; and East of the East boundary of Range 4 East, South of Interstate 40

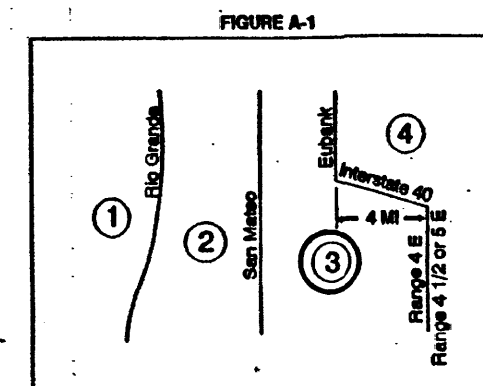


TABLE A-4. LAND TREATMENTS

Treatment	Land Condition
A	Soil uncompacted by human activity with 0 to 10 percent slopes. Native grasses, weeds and shrubs in typical densities with minimal disturbance to grading, groundwater and infiltration capacity. Croplands, Unirrigated areas.
B	Irrigated lawns, parks and golf courses with 0 to 10 percent slopes. Native grasses, weeds and shrubs in typical densities with minimal disturbance to grading, groundwater and infiltration capacity. Croplands, Unirrigated areas.
C	Soil compacted by human activity. Minimal vegetation. Unirrigated parking, roads, trails. Most recent topsoil. Gravel or rock on plastic sheeting. Native grasses, weeds and shrubs in typical densities with minimal disturbance to grading, groundwater and infiltration capacity. Croplands, Unirrigated areas.
D	Impervious areas, pavement and roofs.

Most watersheds contain a mix of land treatments. To determine proportional treatments, measure respective subareas. In lieu of specific measurement for treatment D, the area percentages in TABLE A-5 may be employed.

DRAINAGE COMMENTS:

As shown on the Vicinity Map hereon, the subject site is located on the North side of Central Avenue N.E., between Elizabeth Street N.E. and Dorothy Street N.E., in the City of Albuquerque, Bernalillo County, New Mexico, (Zone Atlas Map "L-21-Z").

The subject site, 1.) is presently a developed commercial property, 2.) is not located within a designated floodplain, 3.) does contribute to the offsite flows of adjacent properties to the West, 4.) does not accept offsite flows from adjacent properties, 5.) is not located adjacent to a natural or artificial water course, 6.) is to have a proposed building addition constructed to the existing southerly building.

CALCULATIONS:

Per Section 22.2, Hydrology of the Development Process Manual, Volume 2., Design Criteria, for the City of Albuquerque, Bernalillo County, New Mexico, Dated January 1993.

Site Area: 1.89 Acre

Precipitation Zone: Three (3), Table A-1

Peak Intensity: IN/HR. at Tc = Twelve (12) Min., 100-Yr. = 5.38

Land Treatment Method for the Calculations of "Qp", Tables A-8 & A-9.

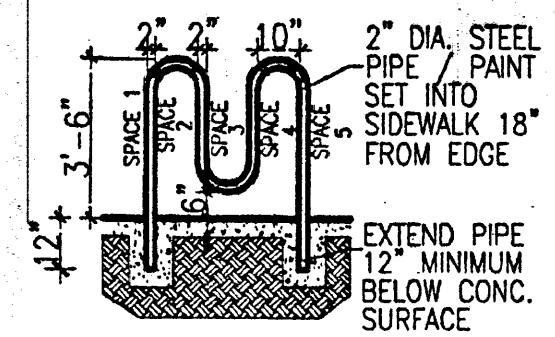
Land Treatment Factors, Table A-4

EXISTING CONDITIONS:

TREATMENT	AREA/ACRES	FACTOR	CFS
C	0.05	X	3.45 = 0.17
D	1.84	X	5.02 = 9.24
Qp = 9.41 CFS			

PROPOSED DEVELOPED CONDITIONS:

TREATMENT	AREA/ACRES	FACTOR	CFS
C	0.29	X	3.45 = 1.00
D	1.60	X	5.02 = 8.03
Qp = 9.03 CFS			
DECREASE = 0.38 CFS			



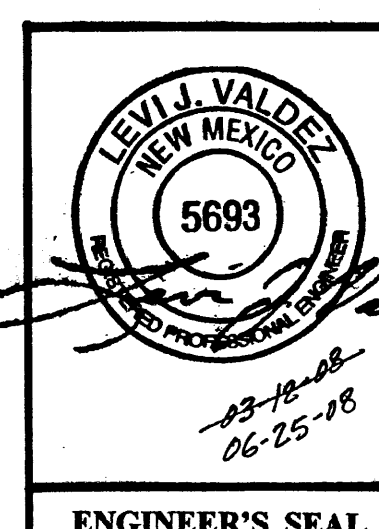
Bike Rack Detail
Scale: Not to Scale

KEYED NOTES

1. 8" CMU WALL WITH STUCCO SYSTEM OVER BUILDING. PAPER COLOR BY ARCHITECT.
2. FINISH GRADE.
3. SLOPE STUCCO CAP.
4. 4-#4 BARS CONT. @ BOTTOM OF FOOTING #4 @ 15" O.C. ACROSS BOTTOM OF FOOTING.
5. 2-#5 BARS @ TOP KNOCK-OUT BLOCK BOND BEAM. CONTINUOUS: #5 BARS @ 32" O.C. VERTICAL. GROUT REINFORCED CELLS, DOWEL @ 16" O.C. HORIZONTAL.
6. 1/2" EXPANSION JOINT MATERIAL.
7. 4" CONCRETE SLAB 3000 PSI 3/4" AGGREGATE WITH 6X6 - 10X10 W/M.
8. 6" CONCRETE APRON 3000 PSI 3/4" AGGREGATE WITH 6X6 - 10X10 W/M W/ TURNDOWN EDGE.
9. 4" CONCRETE FILLED PIPE IN 16" DIA. X 2'-5" DEEP CONC. FOOTING. PAINT TO MATCH STUCCO FINISH.
10. ASPHALT PAVING.
11. GROUT ALL CELLS SOLID BELOW GRADE, TYPICAL.

Refuse Enclosure

Scale: Not to Scale



A PROPOSED
DRAINAGE PLAN
FOR AN
INDOOR FLEA MARKET
11109 CENTRAL AVENUE N.E.
ALBUQUERQUE, NEW MEXICO
MARCH, 2008

