

Planning Department Transportation Development Services Section

June 16, 2009

Alexander Harrison, Registered Architect Alexander Harrison, Architect 8525 Jefferson St. NE Albuquerque, NM 87113

Re: Certification Submittal for Final Building Certificate of Occupancy for

Dion's Resturant NM#5, [L-21/D069]

11000 Central SE

Engineer's Stamp Dated 06/16/09

Dear Mr. Harrison:

The TCL / Letter of Certification submitted on June 16, 2009 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the

Building and Safety Section.

Sincerely

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

Nilo/E./Salgado-Fernandez, P.E.

Senior Traffic Engineer

Development and Building Services

Planning Department

c: Engineer

Hydrology file

CO Clerk

		(Rev. 12/05)		70 0 CO			I
		ZONE MA	D/DRG FILE	#L-21 / D045			
PROJECT TITLE:	Dion's Elizabeth & Central SE	WORK (TRDER#.	# L1 / L/O			
DRB#:	EPC#:	WORK					
LEGAL DESCRIPTIO	N: Tract 1-A, Block 3, East Central	Business Addition					
CITY ADDRESS:	11000 Central SE		<u> </u>				
ENGINEERING FIRM	1. Isaacson ce i in italian,			Scott McGee			
ADDRESS: _	128 Monroe Street NE		PHONE:				
CITY, STATE	E: Albuquerque, NM		ZIP CODE:	8/108			
		(CONTACT	Alex Harrison			
OWNER:	Dion's Street NIC		PHONE:				
	8525 Jefferson Street NE	· · · · · · · · · · · · · · · · · · ·	ZIP CODE:			ස	> l
CITY, STATE	E: Albuquerque, NM	<u></u>				2003	9
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ARCHITECT:ADDRESS: _	8525 Jefferson Street NE	· · · · · · · · · · · · · · · · · · ·	PHONE:	228-0439		-	
· · · · · · · · · · · · · · · · · · ·	E: Albuquerque, NM	<u> </u>	ZIP CODE:	87113	_ ア i	<u> </u>	9
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SURVEYOR:	Wayjohn Surveying		CONTACT: _	Tom Johnston #14269			
ADDRESS:]	PHONE:	<u>255-2052</u>			
	E: Albuquerque, NM		ZIP CODE:	87108			
					<u> </u>		1
CONTRACTOR:	Gerald Martin		CONTACT: _	929 1144			
,			PHONE:	828-1144 87113			
CITY, STAT!	E: Albuquerque, NM		ZIP CODE:	0/113			
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L-21/0069

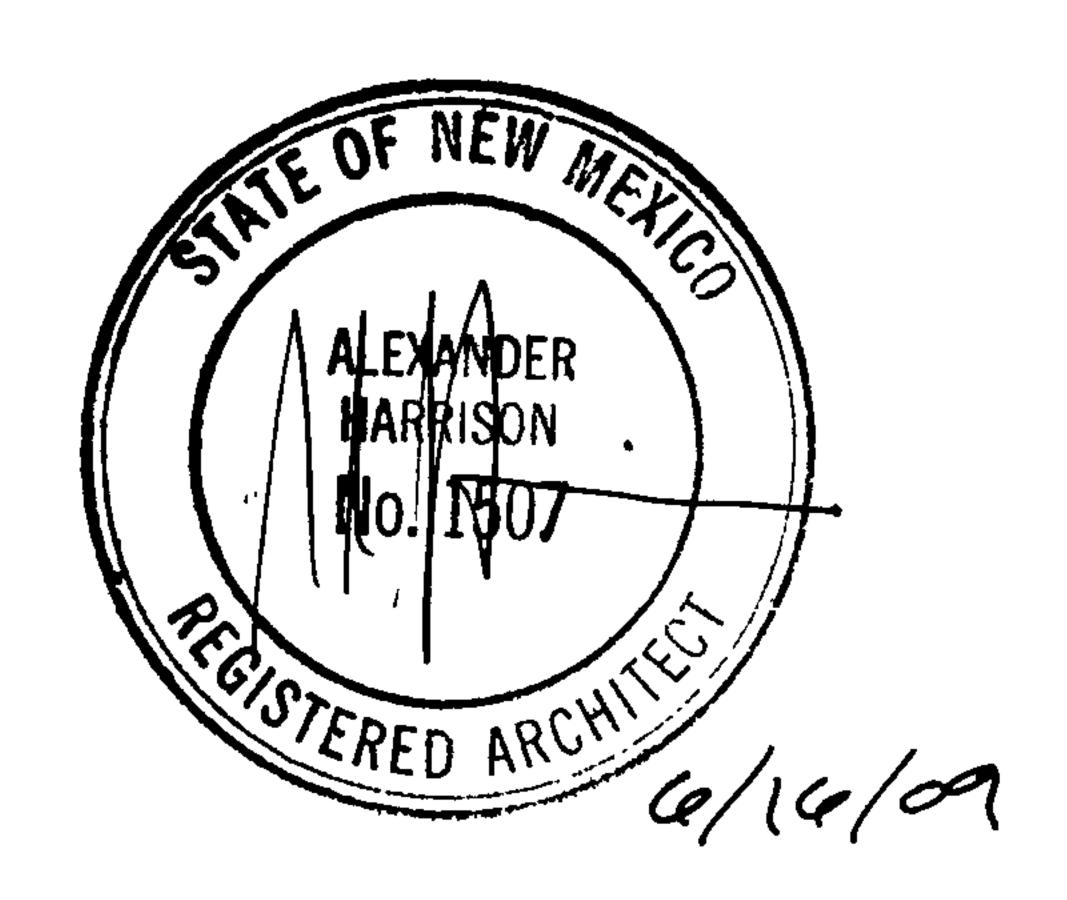
ALEXANDER HARRISON - ARCHITECT

8525 Jefferson Street NE, Albuquerque, New Mexico 87113, 505-858-1010

TRAFFIC CERTIFICATION

I, Alex Harrison, NMRA #1507, of the firm Alexander Harrison – Architect, hereby certify that this project is in substantial compliance with and in accordance with the design intent of the TCL approved plan dated 10/23/08. The record information edited onto the original design document has been obtained by Alex Harrison, of the firm Alexander Harrison – Architect. I further certify that I have personally visited the project site on 6/08/09 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Certificate of Occupancy – Permanent.

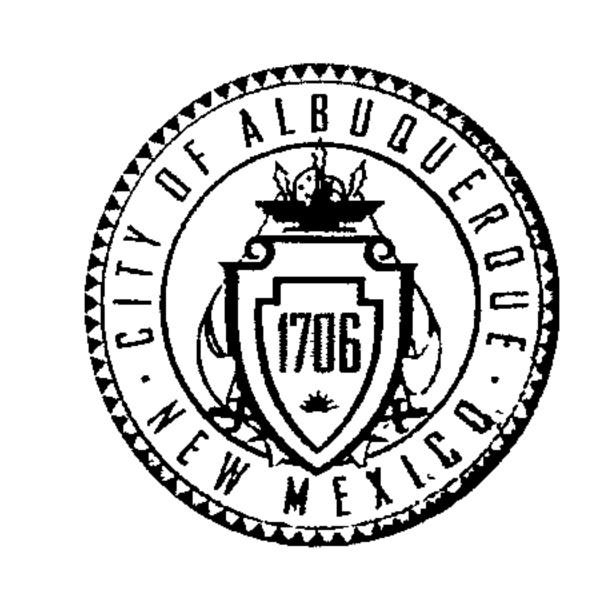
The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using is for any other purpose.



RECEIVED

JUN 1 6 2009

HYDROLOGY
SECTION



Planning Department Transportation Development Services Section

June 11, 2009

Alexander Harrison, Registered Architect Alexander Harrison, Architect 8525 Jefferson St. NE Albuquerque, NM 87113

Re: Approval of Temporary Certificate of Occupancy (C.O.) for

Dion's Resturant NM#5, [L-21/D069]

11000 Central SE

Engineer's Stamp Dated None provided

Dear Mr. Means:

Based on the information provided on your submittal dated June 10, 2009, the above referenced project is approved for a 120-day Temporary C.O.

PO Box 1293

A Temporary C.O. has been issued allowing the outstanding Architectural Stamp (provide on Certification and provide the correct approval date of 10/23/08 instead of Aug of 2008 for TCL approved plan) issues to be completed within this time period. When these remaining issues have been fully completed, are in substantial compliance, and a final Certification for Transportation has been resubmitted to the City's Hydrology office for approval, a Permanent C.O. will be issued.

NM 87103

Albuquerque

The Certification package for Final C.O. must include an <u>exact</u> copy of the approved TCL, or signed off D.R.B. Site Plan, which is in each of the two City Permit Plan Sets—the contractor's City field set and the City's plan set in the basement of the Plaza Del Sol building. Package also must include a letter of certification on designer's letterhead-stamped with his seal, signed, and dated. Submit package along with fully completed Drainage Information Sheet to front counter personnel for log in and evaluation by Transportation.

www.cabq.gov

If you have any questions, please call me at 924-3630.

Sincerely,

Nilo E. Salgado-Fernandez, P.E. Senior Traffic Engineer Development and Building Services Planning Department

c: Engineer
Hydrology file
CO Clerk

ALEXANDER HARRISON - ARCHIECT 8525 Jefferson Street NE, Albuquerque, New Mexico 87113, 505-858-1010

TRAFFIC CERTIFICATION

I, Alex Harrison, NMRA #1507, of the firm Alexander Harrison – Architect, hereby certify that this project is in substantial compliance with and in accordance with the design intent of the TCL approved plan dated August 2008. The record information edited onto the original design document has been obtained by Alex Harrison, of the firm Alexander Harrison – Architect. I further certify that I have personally visited the project site on 6/08/09 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Certificate of Occupancy – Permanent.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy

before using is for any other purpose.

Alex Harrison, Architect

6/08/09^V

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HYDROLOGY
SECTION

Central/ELizabeth

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Garlock

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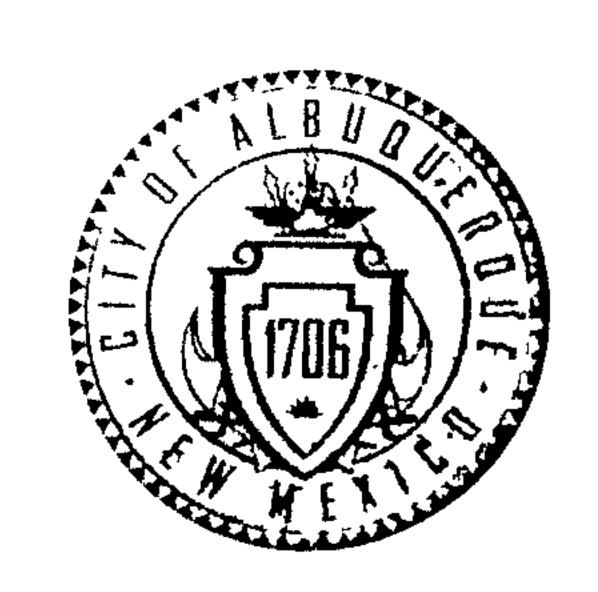
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PROJECT TITLE:	Dion's Elizabeth & Central SE	ZONE MAP/DRG. FILE	E # <u>L-21 / D045</u>
DRB#:	EPC#:	WORK ORDER#:	
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	: Tract 1-A, Block 3, East Central Busin	ness Addition	
CITY ADDRESS:	11000 Central SE	<u></u>	
FNGINFFRING FIRM:	Isaacson & Arfman, P.A.	CONTACT:	Spott MoGoo
•	128 Monroe Street NE	PHONE:	<u>Scott McGee</u> 268-8828
	Albuquerque, NM		87108
,			<u> </u>
OWNER:	Dion's	CONTACT:	Alex Harrison
ADDRESS:	8525 Jefferson Street NE	PHONE:	858-1010
CITY, STATE:	Albuquerque, NM	ZIP CODE:	87113
4 Th CIT I TOWN			
ARCHITECT:	Alex Harrison	CONTACT: _	Alex Harrison
	8525 Jefferson Street NE	PHONE:	<u>228-0439</u>
CHY, STATE:	Albuquerque, NM	ZIP CODE:	87113
SURVEYOR:	Wayjohn Surveying	CONTACT:	Tom Johnston #14269
ADDRESS:	330 Louisiana Blvd. NE	PHONE:	255-2052
	Albuquerque, NM	ZIP CODE:	87108
CONTRACTOR:	Gerald Martin	CONTACT:	
ADDRESS:	8501 Jefferson Street NE	PHONE:	828-1144
CITY, STATE:	Albuquerque, NM	ZIP CODE:	87113
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		<i>-</i> /.	HYDROLOGY
SUBMITTED BY:		DATE:	SECTION
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Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



Planning Department Transportation Development Services Section

May 6, 2009

Alexander Harrison, Registered Architect, Peter-Defries Corp. 8525 Jefferson St. NE Albuquerque, NM 87113

Re:

Approval of Temporary Certificate of Occupancy (C.O.) for

Dion's Resturant #NM5, [L-21 / D069]

11000 Central Ave. SE

Architect's Stamp Dated 05/04/09

Dear Mr. Harrison:

Based on the information provided on your submittal dated May 5, 2009, the above referenced project is approved for a 90-day Temporary C.O.

A Temporary C.O. has been issued allowing the outstanding Approved Site (need to provide the approved site plan dated 10/23/08), Central Ave. Infrastructure (entrance eastern ramp and sidewalk connection will need to be 5' in width; wheel ramp at the corner of Elizabeth St. is not ADA; and cracked sidewalk adjacent to ramp will need to be replaced), missing pavers for bus stop need to be in place, and drive thru pavement markings (will need a pavement directional arrow prior to pavement markings) issues to be completed within this time period. When these remaining issues have been fully completed, are in substantial compliance, and a final Certification for Transportation has been resubmitted to the City's Hydrology office for approval, a Permanent C.O. will be

issued.

NM 87103

PO Box 1293

Albuquerque

www.cabq gov

The Certification package for Final C.O. must include an <u>exact</u> copy of the approved TCL, or signed off D.R.B. Site Plan, which is in each of the two City Permit Plan Sets—the contractor's City field set and the City's plan set in the basement of the Plaza Del Sol building. Package also must include a letter of certification on designer's letterhead-stamped with his seal, signed, and dated. Submit package along with fully completed Drainage Information Sheet to front counter personnel for log in and evaluation by Transportation.

4

If you have any questions, please call me at 924-3630.

Nilo E. Salgado-Fernandez, P.E.

Senior Traffic Engineer

Development and Building Services

Planning Department

C:

Sincerer

Engineer
Hydrology file
CO Clerk

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

PROJECT TITLE: DION'S RESTAURA DRB#: EPC#: EPC#:	17 # 11/5 WORK	ZONE M. CORDER#:	AP: L-21/DO(
LEGAL DESCRIPTION: LOT 1-A BLOC CITY ADDRESS: 11000 CENTRAL			
ENGINEERING FIRM: 15AAC SON + A ADDRESS: 128 MONRES ST. CITY, STATE: AUGQ. NH	REMAN	CONTACT: SEP PHONE: 208	777 MCGEE - 8828 1108
OWNER: DON'S ADDRESS: 8525 JEFFERSE CITY, STATE: AUGR. NO	*/ -5T. 1/E	CONTACT: 1200 PHONE: 858 ZIP CODE: 87	1900 = 100 1113
ARCHITECT: ALEX HARRISON ADDRESS: 8575 JEFFEK-501 CITY, STATE: AUBQ. NM	1 37. ME	CONTACT: ALL PHONE: S'SS ZIP CODE: ST	
SURVEYOR: WAYJOHH SURVEY ADDRESS: 330 LOUISLANA CITY, STATE: AUBOL. 117	SUYD NE	CONTACT: THO PHONE: 25 ZIP CODE: 8	1145 JOHH-SON 5-2052 1108
CONTRACTOR: CIERSUD MARTIN ADDRESS: SOI JEFFERS CITY, STATE: MBQ. NM	1 on te	CONTACT: TF PHONE: 88-	FATI LUCERO 1144 113
TYPE OF SUBMITTAL: DRAINAGE REPORT DRAINAGE PLAN 1st SUBMITTAL DRAINAGE PLAN RESUBMITTAL CONCEPTUAL G & D PLAN GRADING PLAN EROSION CONTROL PLAN ENGINEER'S CERT (HYDROLOGY) CLOMR/LOMR TRAFFIC CIRCULATION LAYOUT ENGINEER'S CERT (TCL) ENGINEER'S CERT (DRB SITE PLAN) OTHER (SPECIFY)	PRELIMINARY S. DEV. PLAN F S. DEV. FOR BL SECTOR PLAN FINAL PLAT AF FOUNDATION I BUILDING PER CERTIFICATE C GRADING PERM PAVING PERMI	C GUARANTEE REPLAT APPROVAL OR SUB'D APPROVAL OR PERMIT APPROVAL PERMIT APPROVAL OF OCCUPANCY (POT OCCUPANCY (P	VAL QVAL L ERM)
WAS A PRE-DESIGN CONFERENCE ATTENDED: YES NO COPY PROVIDED	WORK ORDER A	Y) MAY 0 HYDRC	LOGY
DATE SUBMITTED:		BY: MEX	HARKISOM

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

ALEXANDER HARRISON - ARCHITECT

8525 Jefferson Street NE, Albuquerque, New Mexico 87113, 505-858-1010

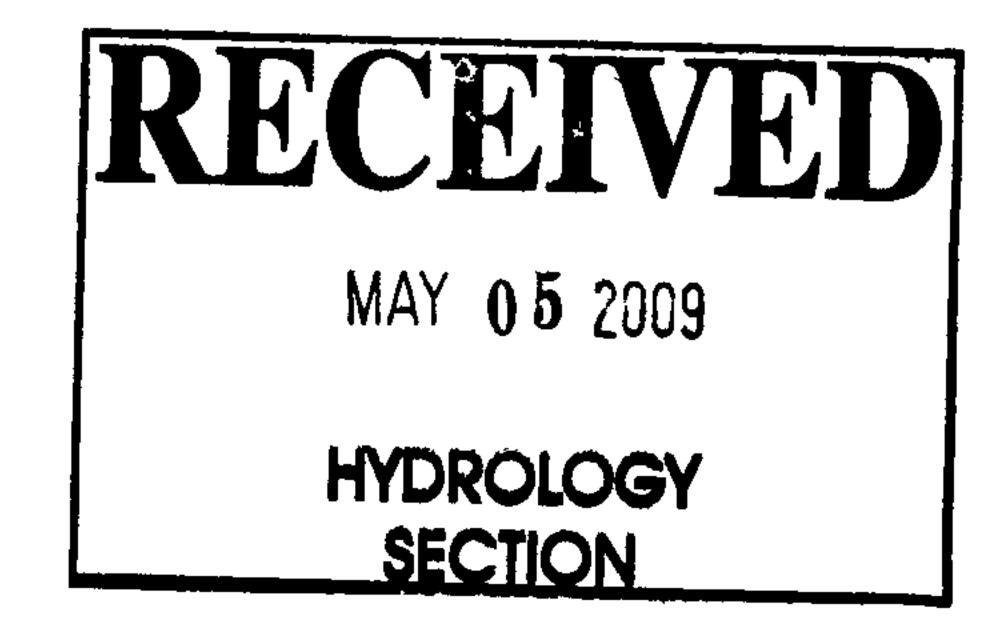
TRAFFIC CERTIFICATION

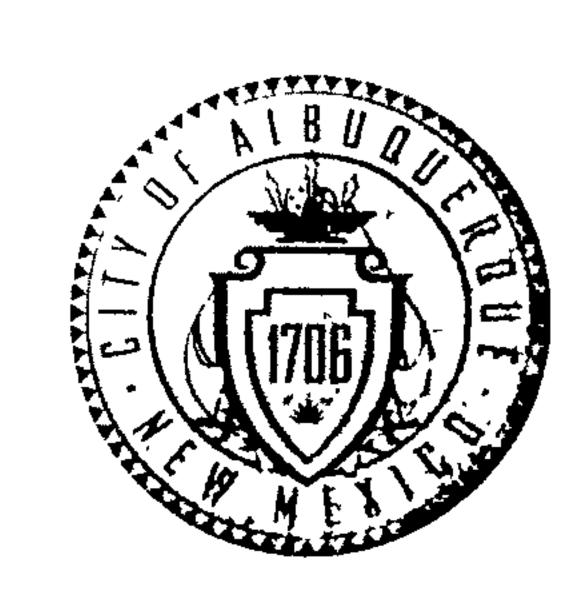
I, Alex Harrison, NMRA #1507, of the firm Alexander Harrison – Architect, hereby certify that this project is in substantial compliance with and in accordance with the design intent of the TCL approved plan dated August 2008. The record information edited onto the original design document has been obtained by Alex Harrison, of the firm Alexander Harrison – Architect. I further certify that I have personally visited the project site on 5/01/09 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Certificate of Occupancy – Permanent.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using is for any other purpose.

Alex Harrison, Architect 5/04/09







May 12, 2009

Scott M. McGee, P.E.

Isaacson & Arfman, P.A.

128 Monroe Street N.E.

Albuquerque, NM 87108

Re: Dion's @ Elizabeth & Central, 11000 Central Ave. SE,

Approval of Permanent Certificate of Occupancy, (L-21/D069)

Engineer's Stamp Dated: 9-29-08

Dear Mr. McGee,

Based upon the information provided in your submittal, dated 5/11/09, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

PO Box 1293

If you have any questions, you can contact me at 924-3982.

Albuquerque

NM 87103

Thmothy E. Sims

Singerely,

Plan Checker-Hydrology, Planning Dept Development and Building Services

www.cabq.gov

CO Clerk—Katrina Sigala file

PROJECT TITLE:	Dion's Elizabeth & Central SE		ZONE MAP/DRG. FILE	E #L-21/D045 D069
DRB#:	EPC#:			
LEGAL DESCRIPTION:	: Tract 1-A, Block 3, East Central B	Rusiness A	ddition	
CITY ADDRESS:		745111C55 <u>1</u>	taartion – – – – – – – – – – – – – – – – – – –	
	Isaacson & Arfman, P.A.		_ CONTACT: _	Scott McGee
 -	128 Monroe Street NE		_ PHONE:	
CITY, STATE:	Albuquerque, NM		_ ZIP CODE:	87108
OWNER:	Dion's		CONTACT:	Alex Harrison
	8525 Jefferson Street NE		PHONE:	
CITY, STATE:	Albuquerque, NM		ZIP CODE:	· · · · · · · · · · · · · · · · · · ·
ARCHITECT:	Alex Harrison			Alex Harrison
	8525 Jefferson Street NE		PHONE:	228-0439
CITY, STATE:	Albuquerque, NM		_ ZIP CODE:	87113
SURVEYOR:	Wayjohn Surveying		CONTACT:	Tom Johnston #14269
	330 Louisiana Blvd. NE		PHONE:	255-2052
	Albuquerque, NM		ZIP CODE:	87108
CONTRACTOR:	Gerald Martin		_ CONTACT:	
	8501 Jefferson Street NE		_ PHONE:	828-1144
CITY, STATE: _	Albuquerque, NM		_ ZIP CODE:	87113
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CONCEPTUAL			S. DEV. FOR BLDG. P	
GRADING PLA			SECTOR PLAN APPR	
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	CERT (HYDROLOGY)		FOUNDATION PERM	
CLOMR/LOMR	`		BUILDING PERMIT A	
	CULATION LAYOUT	XX	CERTIFICATE OF OC	
	CHITECT CERT (TCL)		CERTIFICATE OF OC	
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	<i>-</i>)		OTHER (SPECIFY)	SOH) APPROVAL V
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	ONFERENCE ATTENDED:			MAY 1 1 2009
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NO				HYDROLOGY
COPY PROVID	PED			SECTION
SUBMITTED BY:	Scott M. McGee, PE		DATE: 11-Ma	

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

Isaacson & Arfman, P.A.

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



October 23, 2008

Alexander Harrison, R.A. Peter-Defries Corp. d.b.a Dions 8525 Jefferson St. NE Albuquerque, NM 87113

Re:

Dions Restaurant #NM5, 11000 Central Avenue SE, Traffic Circulation Layout

Architect's Stamp dated 8-15-08 (L21-D069)

Dear Mr. Harrison,

The TCL submittal received 10-23-08 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.

PO Box 1293

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Albuquerque

NM 87103

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

www.cabq.gov

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.

Traffic Engineer, Planning Dept. Development and Building Services

File



October 23, 2008

Alexander Harrison, R.A. Peter-Defries Corp. d.b.a Dions 8525 Jefferson St. NE Albuquerque, NM 87113

Dions Restaurant #NM5, 11000 Central Avenue SE, Re:

> Traffic Circulation Layout Architect's Stamp dated 8-15-08 (L21-D069)

Dear Mr. Harrison,

Based upon the information provided in your submittal received 10-20-08, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

Albuquerque

NM 87103

PO Box 1293

- List radii for all curves shown.
- 2. For passenger vehicles, the minimum end island radius is 15 feet.
- Build notes are needed for the prosposed curb cuts. Please refer to all applicable city standards.

4. Please ensure all ramps are ADA compliant.

Please ensure all ramps are ADA compliant.

Is there a median break along Central Avenue at the site? If the site has left turn access, the drivepad has a 36-foot minimum width.

6. Is the sidewalk along the building flush with the pavement?

www.cabq.gov

If you have any questions, you can contact me at 924-3991.

Kristal D. Metro, P.E.

Traffic Engineer, Planning Dept. Development and Building Services

File

Sincerely,

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

PROJECT TITLE: 12101/5 12557AURAIT	
DRB#: EPC#:	WORK ORDER#:
LEGAL DESCRIPTION: LOT 1-A, BLOC CITY ADDRESS: 1 600 CENTRAL	K3, EAST CENTRAL BUS. ADDITION
ENGINEERING FIRM:	CONTACT:
ADDRESS:	PHONE:
CITY, STATE:	ZIP CODE:
OWNER:	CONTACT:
ADDRESS:	PHONE:
CITY, STATE:	ZIP CODE:
ARCHITECT: ALEX HARPHSOIL	R.A. CONTACT: AUF PHONE: 858-1010
ADDRESS: 8525 JEFFERSON	NE PHONE: 858 - 1010
CITY, STATE: ALSQ. NM	ZIP CODE: 87/12
SLIBVEVOR. 858-2421 CA	Place con with
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ADDRESS:	PHONE:
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CONTRACTOR:	CONTACT:
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CITY, STATE:	ZIP CODE:
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DRAINAGE PLAN 1 st SUBMITTAL	PRELIMINARY PLAT APPROVAL
DRAINAGE PLAN RESUBMITTAL	S. DEV. PLAN FOR SUB'D APPROVAL
CONCEPTUAL G & D PLAN	S. DEV. FOR BLDG. PERMIT APPROVAL
GRADING PLAN	SECTOR PLAN APPROVAL
EROSION CONTROL PLAN	FINAL PLAT APPROVAL
ENGINEER'S CERT (HYDROLOGY)	FOUNDATION PERMIT APPROVAL
CLOMR/LOMR	X BUILDING PERMIT APPROVAL,
TRAFFIC CIRCULATION LAYOUT	CERTIFICATE OF OCCUPANCY (PERM)
ENGINEER'S CERT (TCL)	CERTIFICATE OF OCCUPANCY (TEMP)
ENGINEER'S CERT (DRB SITE PLAN)	GRADING PERMIT APPROVAL DAMBIC DEPMIT APPROVAL
OTHER (SPECIFY)	PAVING PERMIT APPROVAL WORK ORDER APPROVAL
	OTHER (SPECIPAL)
•	
WAS A PRE-DESIGN CONFERENCE ATTENDED:	
YES	
> NO	
COPY PROVIDED	
	MEY HARRINGH
DATE SUBMITTED: 10/20/08	(C) ON: XUEX HARRISON
	Plats shall be accompanied by a drainage submittal. The particular nature, drainage detail. One or more of the following levels of submittal may be

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.

2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.

Brainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

Call out all radii

15' min R

Need Build notes for proposed entremes

- refer to CoA Std 2426

Entrance off Central - nedian

access?

PLAMNING DEPARTMENT - Development & Building Services

October 1, 2008



Scott McGee, P.E.
Isaacson & Arfman, P.A.
128 Monroe St. NE
Albuquerque, New Mexico 87108

RE: DION's at Central and Elizabeth (11,000 Central SE) (L21 – D 045) Grading & Drainage Plan for Building Permit & SO-19 (PE Stamped 09-29-08)

Dear Mr. McGee:

Based upon the information provided in your submittal received on 09-29-08, the above referenced Grading and Drainage Plan is approved for Building Permit.

Please attach a copy of this approved plan to the Building Permit plan sets prior to requesting sign-off by the Hydrology Section.

PO Box 129 3

A Storm Water Pollution Prevention Plan (SWPPP) is required for this site. A SWPPP in MS Word or PDF format on a CD is required to be submitted to Hydrology Section before Hydrology will approve a Building Permit for this site.

Albuquerque

SO-19: A separate excavation permit is required for construction within City R/W. A copy of this approval letter must be on hand when applying for the excavation permit. To obtain a temporary or permanent CO the private storm drain connection to the existing inlet on Elizabeth Street must be inspected and accepted. Please contact Duane Schmitz, 235-8016, to schedule an inspection.

www.cabq.gov

NM 87103

Prior to Certificate of Occupancy approval, an Engineer's Certification of compliance with this plan is required per the DPM.

If I can be of further assistance, please feel free to contact me at 924-3981.

Sincerely,

Gregory R. Olson, P.E.

Hydrology Section

XC: Bradley Bingham, COA-PLN/Hydrology

Antoinette Baldonado, Excavation and Barricading

Duane Schmitz, Street/Storm Drain Maintenance

Drainage file: L21=D045

		•		Dobg
PROJECT TITLE:	Dion's Elizabeth & Central SE (R			
DRB#:	EPC#:	·	_ WORK ORDER#:	
	Tract 1-A, Block 3, East Central I	Business A	Addition	
CITY ADDRESS:	11000 Central SE			
ENICINEEDING EIDM.	Toppoon Pr Aufmon D A			
	Isaacson & Arfman, P.A. 128 Monroe Street NE		_ CONTACT: _	Scott McGee
	Albuquerque, NM		_ PHONE:	<u>268-8828</u>
CITT, STATE.	Albuquei que, ivivi		_ ZIP CODE:	8/108
OWNER:	Dion's		CONTACT:	Alex Harrison
ADDRESS:	8525 Jefferson Street NE	-	PHONE:	858-1010
CITY, STATE:	Albuquerque, NM		ZIP CODE:	87113
ARCHITECT:	Alex Harrison		_ CONTACT: _	Alex Harrison
ADDRESS:	8525 Jefferson Street NE	• • • • • • • • • • • • • • • • • • •	PHONE:	228-0439
CITY, STATE:	Albuquerque, NM		_ ZIP CODE:	87113
	TTT ' 1 C			
SURVEYOR:	Wayjohn Surveying		_ CONTACT: _	Tom Johnston #14269
ADDRESS:	330 Louisiana Blvd. NE		_ PHONE:	<u>255-2052</u>
CILI, STATE:	Albuquerque, NM		_ ZIP CODE:	<u>87108</u>
CONTRACTOR:	Gerald Martin		CONTACT:	
	8501 Jefferson Street NE	· ·	PHONE:	828-1144
	Albuquerque, NM		ZIP CODE:	87113
TYPE OF SUBMITTAL:		<u>CHECK</u>	TYPE OF APPROVAL	SOUGHT:
DRAINAGE RE	EPORT		_ SIA/FINANCIAL GUA	ARANTEE RELEASE
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X DRAINAGE PL	LAN RESUBMITTAL		_ S. DEV. PLAN FOR SI	UB'D APPROVAL
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	CERT (HYDROLOGY)		_ FOUNDATION PERM	
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WAS A PRE-DESIGN CO	ONFERENCE ATTENDED:			SEP 9 2008
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Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

SUBMITTED BY:

Scott M. McGee, PE

Isaacson & Arfman, P.A.

DATE: 29-Sep-08 (RESUBMITTAL)

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

ISAACSON & ARFMAN, P.A.

Consulting Engineering Associates

Thomas O. Isaacson, PE & LS • Fred C. Arfman, PE Scott M. McGee, PE

September 29, 2008

Mr. Gregory R. Olsen, P.E. Hydrology Section Planning Department City of Albuquerque P.O. Box 1293 Albuquerque, NM 87103

RE: DION'S AT CENTRAL AND ELIZABETH (L21-D045) - RESUBMITTAL

Dear Mr. Olsen:

Attached with this letter are two copies of the revised Drainage and Grading Plan for your review. Revisions made were in response to your comments dated September 16, 2008 and are as follows:

- 1. SWPPP is required for construction grading on this site and will be provided by contractor prior to receiving grading or building permit.
- 2. Note added to plan identifying drain inlet to capture runoff from the trash enclosure pad for routing to sanitary sewer after passing through a grease trap.
- 3. Additional proposed grades provided within private landscaped areas along Elizabeth Street to clearly identify direction of flow to proposed storm drain inlets. Additional inlet provided in the landscaped area NW of the building pad to ensure that roof drain flows are not routed over the sidewalk.
- 4. Building FF elevations clarified with approximate location of level change.

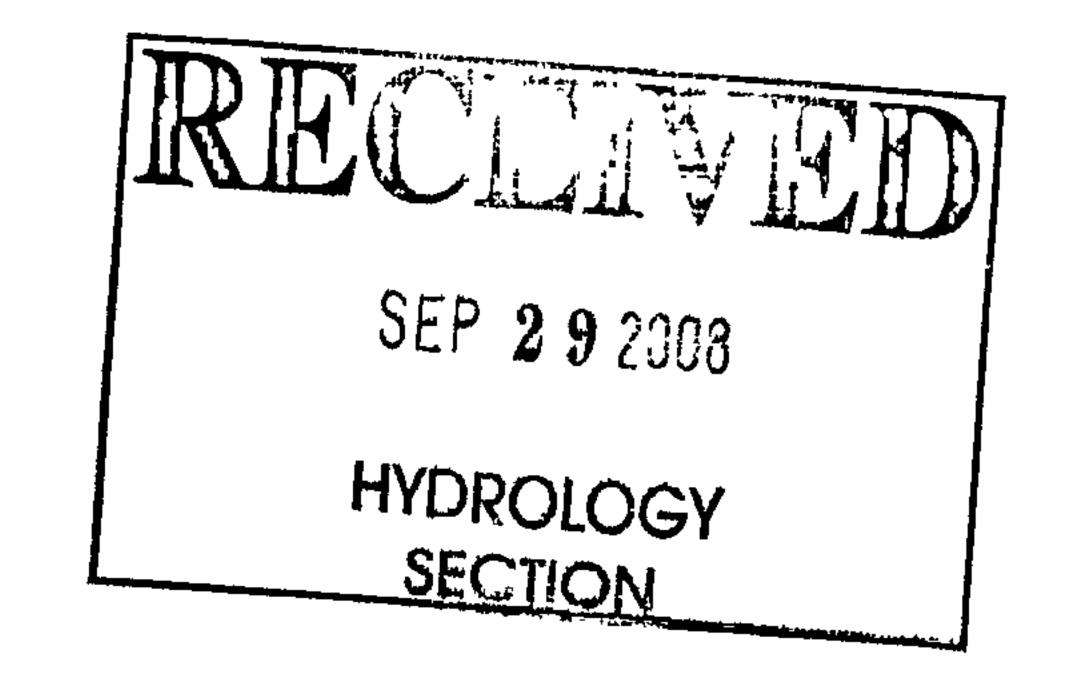
Please don't hesitate to contact me at 268-8828 or scottm@iacivil.com with any questions or comments.

Sincerely,

ISAACSON & ARFMAN, P.A.

Scott M. McGee, PE

SMM/bjb



PLANNING DEPARTMENT - Development & Building Services

September 16, 2008

Scott McGee, P.E.
Isaacson & Arfman, P.A.
128 Monroe St. NE
Albuquerque, New Mexico 87108

RE: DION's at Central and Elizabeth (11,000 Central SE)

 $(L21 - D.045)^{-1}$

Grading & Drainage Plan for Building Permit & SO-19 (PE Stamped 08-25-08)

Dear Mr. McGee:

Based upon the information provided in your submittal received on 08-19-08 and amended 08-25-08, the above referenced plan cannot be approved for Building Permit or SO-19 until the following comments are addressed:

PO Box 1293

A Storm Water Pollution Prevention Plan (SWPPP) is required for construction grading on this site. A SWPPP in MS Word or PDF format on a CD is required to be submitted to Hydrology Section, prior to review of this plan.

(This policy came into effect July 1st, 2008.)

Albuquerque

2. Per the DPM Chapter 22 Sect-9, runoff from the trash enclosure pad at a restaurant is required to drain to the sanitary sewer after passing through a grease trap. Please include details or at least refer to this plumbing which may be shown on another sheet.

NM 87103

Provide additional, proposed grades for the private, landscaped areas back of sidewalk along Elizabeth, to ensure that runoff goes into the area inlet. It appears as though the inlet is at the same elevation as the adjacent sidewalk (Elev. =3.0). Also, clarify grading in the landscape area NW of the building pad to ensure that roof drain flows are **not** routed over the sidewalk or WC Ramp.

www.cabq gov

4. The building pad shows two different "FF" elevations. If this is correct, show the step where grades change.

If you have any questions or would like to schedule a meeting to discuss this, you may contact me at 924-3981.

Sincerely,

Gregory R. Olson, P.E.

Hydrology Section

XC: Bradley Bingham, COA-PLN/Hydrology

Drainage file: L21-D045

	Dion's Elizabeth & Central SE		ZONE MAP/DRG. FIL	LE #L	-21/Do45
DRB#:	_ EPC#:		WORK ORDER#:	· _	
LEGAL DESCRIPTION:	Tract 1-A, Block 3, East Central	Business Ada	lition		
CITY ADDRESS:		Daomicoo z rac	111011	<u> </u>	
	11000 Commun DD				······································
ENGINEERING FIRM:	Isaacson & Arfman, P.A.		CONTACT:	Scott McC	iee
			PHONE:	268-8828	
	Albuquerque, NM		ZIP CODE:	87108	
_		-			•
OWNER:	Dion's		CONTACT: _	Alex Harr	ison
ADDRESS:	8525 Jefferson Street NE		PHONE:	858-1010	
CITY, STATE:	Albuquerque, NM		ZIP CODE:	<u>87113</u>	
ARCHITECT:	Alex Harrison	<u></u>	CONTACT:		ison
ADDRESS:	8525 Jefferson Street NE		PHONE:	<u>228-0439</u>	
CITY, STATE:	Albuquerque, NM		ZIP CODE:	87113	
			CONTRA CT.	Tom John	oton #14260
	Wayjohn Surveying		CONTACT:		•
 -	330 Louisiana Blvd. NE	<u></u> .	PHONE: ZIP CODE:	255-2052	<u></u>
CITY, STATE:	Albuquerque, NM		ZIP CODE	0/100	
CONTED A CETOD.	Gerald Martin		CONTACT:		
CONTRACTOR:	8501 Jefferson Street NE		PHONE:		
	Albuquerque, NM	· · · · · · · · · · · · · · · · · · ·	ZIP CODE:	·	
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CTIDATITED DV.	Scott M. McGee, PE		DATE:	August 25	, 2008
SUBMITTED BY:	Isaacson & Arfman, P.A.				

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
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- 3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

PROJECT TITLE: DRB#:	Dion's Elizabeth & Central SE EPC#:		NE MAP/DRG. FIL RK ORDER#:	L-21/0°45
LEGAL DESCRIPTION:	Tract 1-A, Block 3, East Central B	usiness Additio	n	
CITY ADDRESS:	• •			
ENGINEERING FIRM:	Isaacson & Arfman, P.A.		CONTACT:	Soott MaCoo
	128 Monroe Street NE	· · · · · · · · · · · · · · · · · · ·	PHONE:	Scott McGee 268-8828
	Albuquerque, NM		ZIP CODE:	87108
OWNER:	Dion's		CONTACT: _	Alex Harrison
ADDRESS:	8525 Jefferson Street NE		PHONE:	<u>858-1010</u>
CITY, STATE: _	Albuquerque, NM		ZIP CODE:	87113
ARCHITECT:	Alex Harrison		CONTACT:	Alex Harrison
ADDRESS:	8525 Jefferson Street NE		PHONE:	228-0439
	Albuquerque, NM		ZIP CODE:	87113
SURVEYOR:	Wayjohn Surveying	<u></u>	CONTACT:	Tom Johnston #14269
ADDRESS:	330 Louisiana Blvd. NE		PHONE:	255-2052
CITY, STATE: _	Albuquerque, NM		ZIP CODE:	87108
CONTRACTOR:	Gerald Martin		CONTRACT.	
	- · · · · · · · · · · · · · · · · · · ·	· · ·	CONTACT:	
	8501 Jefferson Street NE			828-1144
CITY, STATE: _	Albuquerque, NM	· -	ZIP CODE:	87113
TYPE OF SUBMITTAL:		CHECK TYPE	E OF APPROVAL	SOUGHT:
DRAINAGE RE				RANTEE RELEASE
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	ONFERENCE ATTENDED: \		Alig 1	9 2008
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SUBMITTED BY:	Scott M. McGee, PE		DATE: SEC	August 19, 2008
	Isaacson & Arfman, P.A.			

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