

# CITY OF ALBUQUERQUE



**Planning Department  
Transportation Development Services Section**

June 16, 2009

Alexander Harrison, Registered Architect  
Alexander Harrison, Architect  
8525 Jefferson St. NE  
Albuquerque, NM 87113

Re: Certification Submittal for Final Building Certificate of Occupancy for  
Dion's Resturant NM#5, [L-21/D069]  
11000 Central SE  
Engineer's Stamp Dated 06/16/09

Dear Mr. Harrison:

The TCL / Letter of Certification submitted on June 16, 2009 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.  
Senior Traffic Engineer  
Development and Building Services  
Planning Department

c: Engineer  
Hydrology file  
CO Clerk

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

**DRAINAGE AND TRANSPORTATION INFORMATION SHEET**  
(Rev. 12/05)

PROJECT TITLE: Dion's Elizabeth & Central SE ZONE MAP/DRG. FILE # L-21 <sup>D045</sup>  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: Tract 1-A, Block 3, East Central Business Addition  
CITY ADDRESS: 11000 Central SE

ENGINEERING FIRM: Isaacson & Arfman, P.A.  
ADDRESS: 128 Monroe Street NE  
CITY, STATE: Albuquerque, NM

CONTACT: Scott McGee  
PHONE: 268-8828  
ZIP CODE: 87108

OWNER: Dion's  
ADDRESS: 8525 Jefferson Street NE  
CITY, STATE: Albuquerque, NM

CONTACT: Alex Harrison  
PHONE: 858-1010  
ZIP CODE: 87113

ARCHITECT: Alex Harrison  
ADDRESS: 8525 Jefferson Street NE  
CITY, STATE: Albuquerque, NM

CONTACT: Alex Harrison  
PHONE: 228-0439  
ZIP CODE: 87113

SURVEYOR: Wayjohn Surveying  
ADDRESS: 330 Louisiana Blvd. NE  
CITY, STATE: Albuquerque, NM

CONTACT: Tom Johnston #14269  
PHONE: 255-2052  
ZIP CODE: 87108

CONTRACTOR: Gerald Martin  
ADDRESS: 8501 Jefferson Street NE  
CITY, STATE: Albuquerque, NM

CONTACT: \_\_\_\_\_  
PHONE: 828-1144  
ZIP CODE: 87113

**TYPE OF SUBMITTAL:**

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT
- ☒ ENGINEER/ARCHITECT CERT (TCL)
- ☐ ENGINEER/ARCHITECT CERT (DRB S.P.)
- ☐ ENGINEER/ARCHITECT CERT (AA)
- ☐ OTHER (SPECIFY) \_\_\_\_\_

**CHECK TYPE OF APPROVAL SOUGHT:**

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) - \_\_\_\_\_

WAS A PRE-DESIGN CONFERENCE ATTENDED:  
☐ YES  
☐ NO

**RECEIVED**

JUN 16 2009

**HYDROLOGY  
SECTION**

**RECEIVED**

JUN 16 2009

L-21/0069

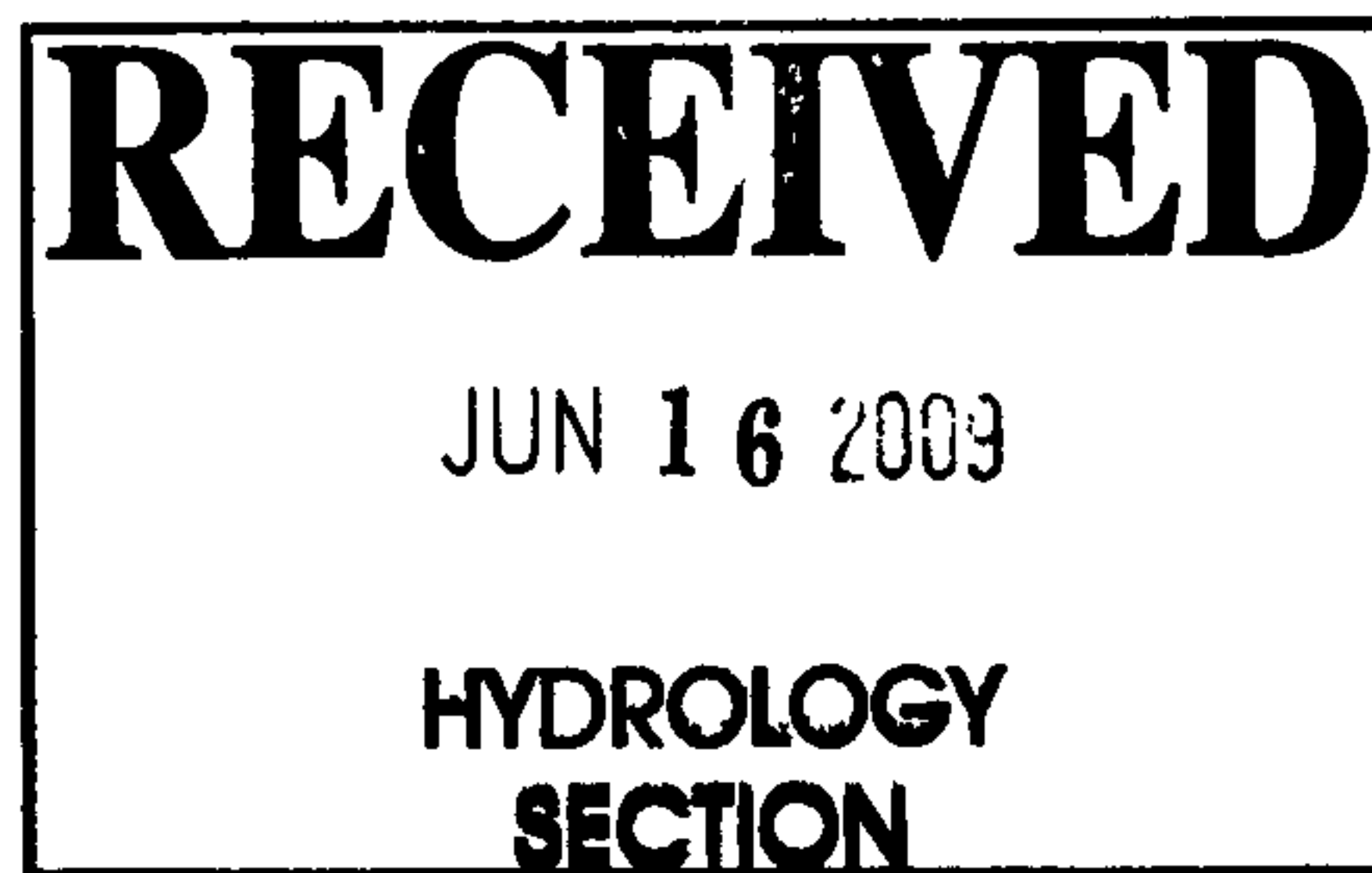
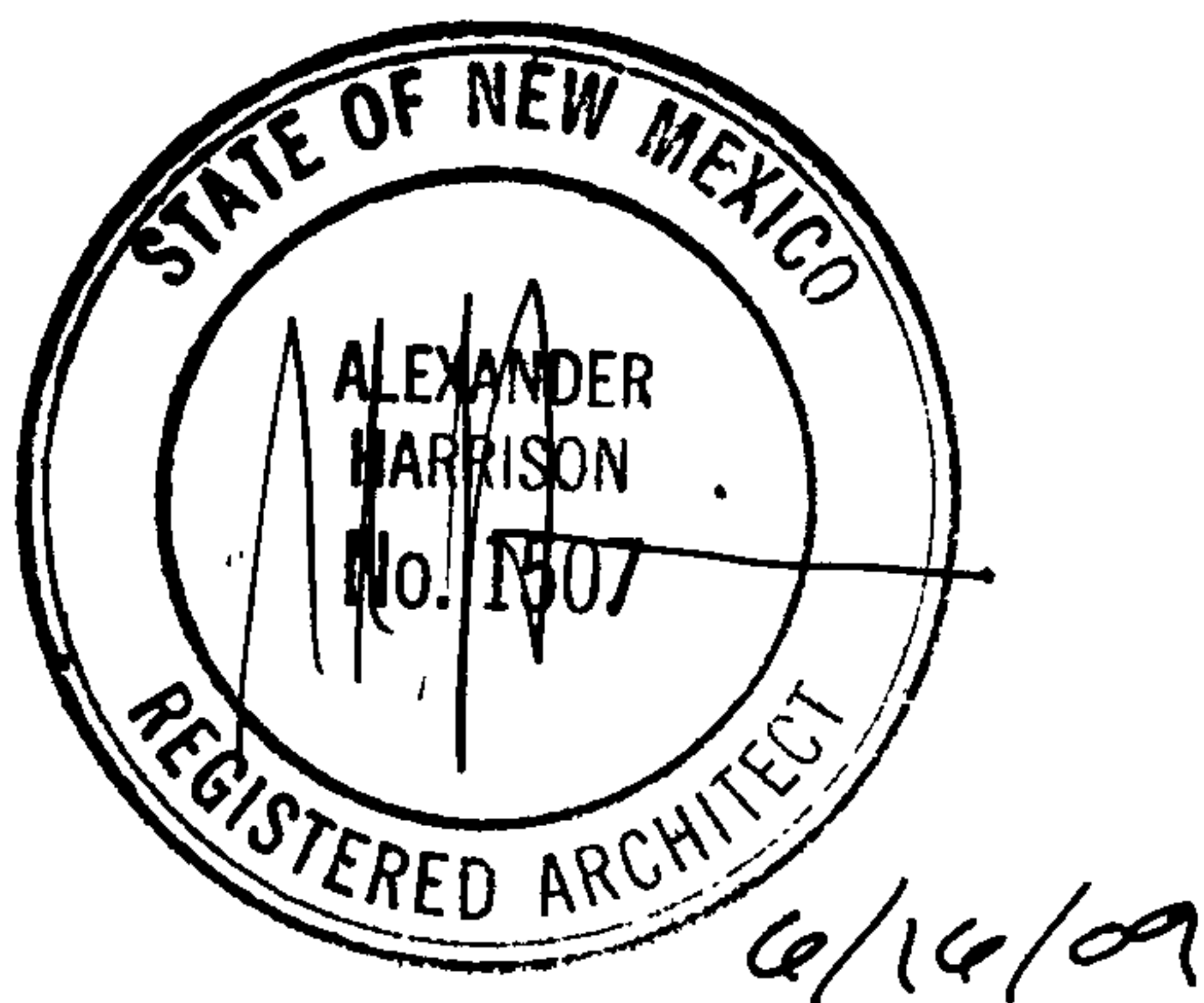
# ALEXANDER HARRISON - ARCHITECT

8525 Jefferson Street NE, Albuquerque, New Mexico 87113, 505-858-1010

## TRAFFIC CERTIFICATION

I, Alex Harrison, NMRA #1507, of the firm Alexander Harrison – Architect, hereby certify that this project is in substantial compliance with and in accordance with the design intent of the TCL approved plan dated 10/23/08. The record information edited onto the original design document has been obtained by Alex Harrison, of the firm Alexander Harrison – Architect. I further certify that I have personally visited the project site on 6/08/09 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Certificate of Occupancy – Permanent.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.



# CITY OF ALBUQUERQUE



**Planning Department  
Transportation Development Services Section**

June 11, 2009

Alexander Harrison, Registered Architect  
Alexander Harrison, Architect  
8525 Jefferson St. NE  
Albuquerque, NM 87113

Re: Approval of Temporary Certificate of Occupancy (C.O.) for  
Dion's Resturant NM#5, [L-21/D069]  
11000 Central SE  
Engineer's Stamp Dated None provided

Dear Mr. Means:

Based on the information provided on your submittal dated June 10, 2009, the above referenced project is approved for a 120-day Temporary C.O.

A Temporary C.O. has been issued allowing the outstanding Architectural Stamp (provide on Certification and provide the correct approval date of 10/23/08 instead of Aug of 2008 for TCL approved plan) issues to be completed within this time period. When these remaining issues have been fully completed, are in substantial compliance, and a final Certification for Transportation has been resubmitted to the City's Hydrology office for approval, a Permanent C.O. will be issued.

The Certification package for Final C.O. must include an **exact** copy of the approved TCL, or signed off D.R.B. Site Plan, which is in each of the two City Permit Plan Sets—the contractor's City field set and the City's plan set in the basement of the Plaza Del Sol building. Package also must include a letter of certification on designer's letterhead-stamped with his seal, signed, and dated. Submit package along with fully completed Drainage Information Sheet to front counter personnel for log in and evaluation by Transportation.

If you have any questions, please call me at 924-3630.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.  
Senior Traffic Engineer  
Development and Building Services  
Planning Department

c: Engineer  
Hydrology file  
CO Clerk



# ALEXANDER HARRISON - ARCHITECT

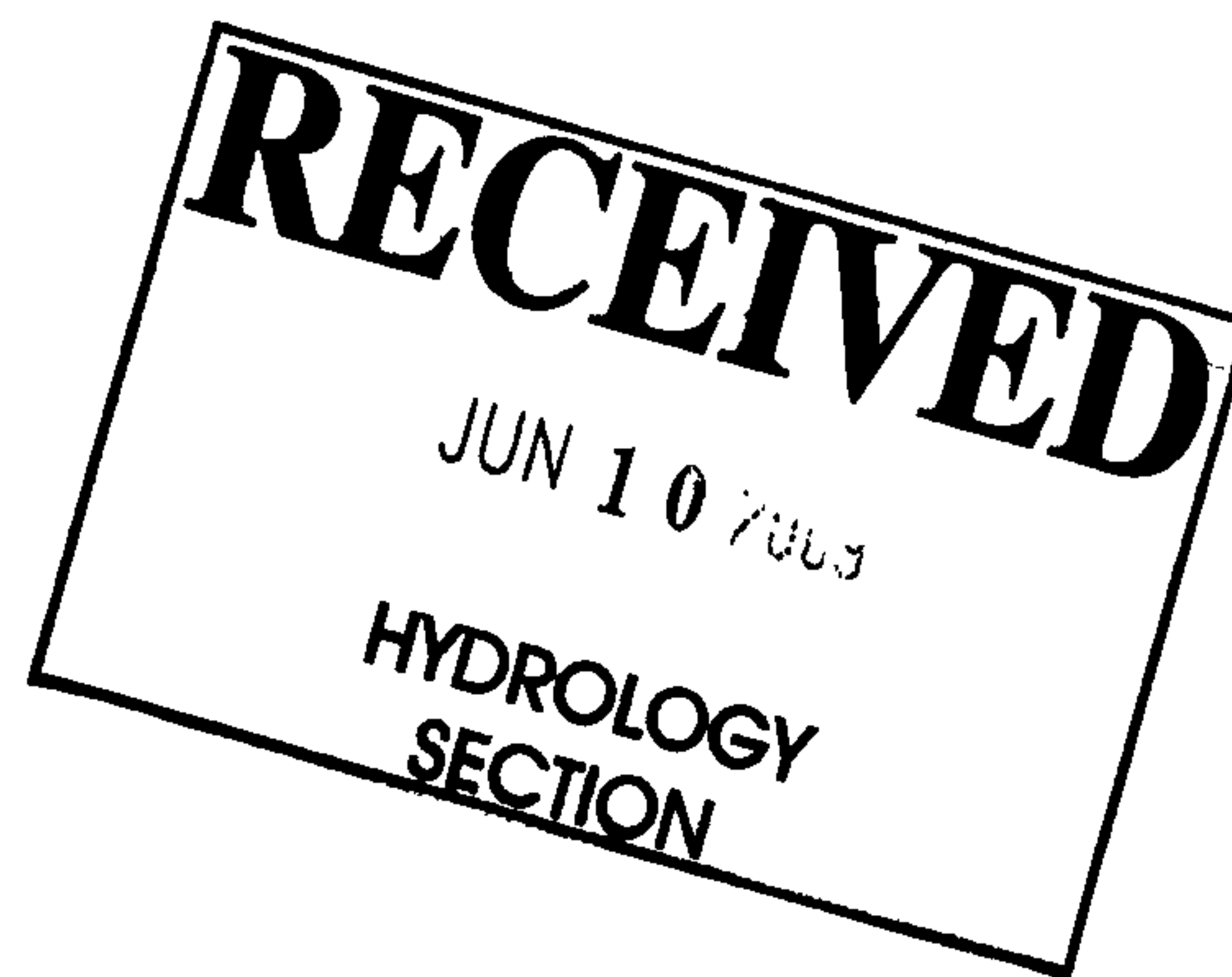
8525 Jefferson Street NE, Albuquerque, New Mexico 87113, 505-858-1010

## TRAFFIC CERTIFICATION

I, Alex Harrison, NMRA #1507, of the firm Alexander Harrison – Architect, hereby certify that this project is in substantial compliance with and in accordance with the design intent of the TCL approved plan dated August 2008. The record information edited onto the original design document has been obtained by Alex Harrison, of the firm Alexander Harrison – Architect. I further certify that I have personally visited the project site on 6/08/09 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Certificate of Occupancy – Permanent.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Alex Harrison, Architect  
6/08/09



Central/Elizabeth

NE Paul 350-0647	Steven Garlock 319-6284	SE
Paul	Andrew Sanchez 304 1309	premier concrete
No permit was issued		

# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 12/05)

PROJECT TITLE: Dion's Elizabeth & Central SE ZONE MAP/DRG. FILE # L-21 / 1045  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: Tract 1-A, Block 3, East Central Business Addition

CITY ADDRESS: 11000 Central SE

ENGINEERING FIRM: Isaacson & Arfman, P.A.  
ADDRESS: 128 Monroe Street NE  
CITY, STATE: Albuquerque, NM

CONTACT: Scott McGee  
PHONE: 268-8828  
ZIP CODE: 87108

OWNER: Dion's  
ADDRESS: 8525 Jefferson Street NE  
CITY, STATE: Albuquerque, NM

CONTACT: Alex Harrison  
PHONE: 858-1010  
ZIP CODE: 87113

ARCHITECT: Alex Harrison  
ADDRESS: 8525 Jefferson Street NE  
CITY, STATE: Albuquerque, NM

CONTACT: Alex Harrison  
PHONE: 228-0439  
ZIP CODE: 87113

SURVEYOR: Wayjohn Surveying  
ADDRESS: 330 Louisiana Blvd. NE  
CITY, STATE: Albuquerque, NM

CONTACT: Tom Johnston #14269  
PHONE: 255-2052  
ZIP CODE: 87108

CONTRACTOR: Gerald Martin  
ADDRESS: 8501 Jefferson Street NE  
CITY, STATE: Albuquerque, NM

CONTACT: \_\_\_\_\_  
PHONE: 828-1144  
ZIP CODE: 87113

## TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERT (HYDROLOGY)  
☐ CLOMR/LOMR  
☒ TRAFFIC CIRCULATION LAYOUT  
☒ ENGINEER/ARCHITECT CERT (TCL)  
☐ ENGINEER/ARCHITECT CERT (DRB S.P.)  
☐ ENGINEER/ARCHITECT CERT (AA)  
☐ OTHER (SPECIFY) \_\_\_\_\_

## CHECK TYPE OF APPROVAL SOUGHT:

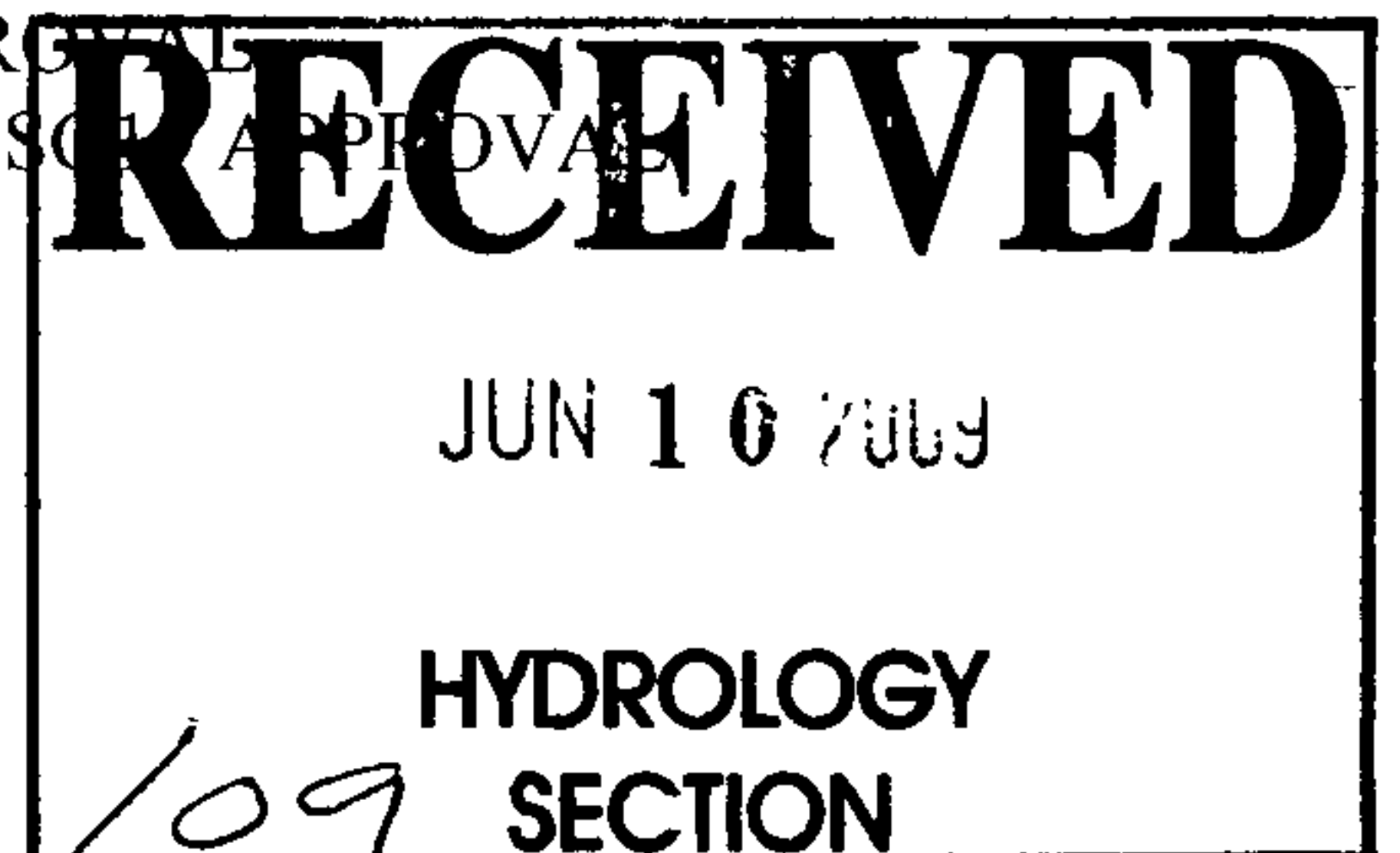
☐ SIA/FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☐ BUILDING PERMIT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY (PERM)  
☐ CERTIFICATE OF OCCUPANCY (TEMP)  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ OTHER (SPECIFY) - \_\_\_\_\_

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES  
☐ NO  
☐ COPY PROVIDED

SUBMITTED BY: \_\_\_\_\_

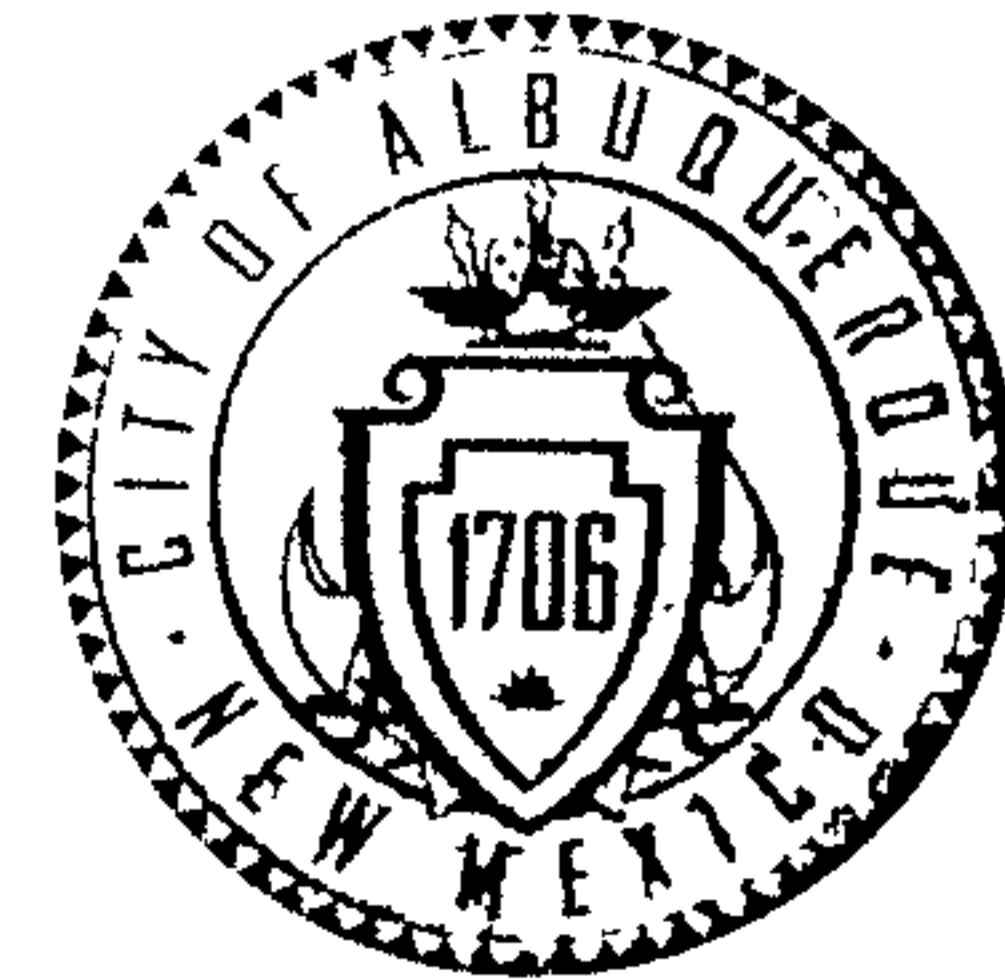
DATE: 6/10/09



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

# CITY OF ALBUQUERQUE



**Planning Department  
Transportation Development Services Section**

May 6, 2009

Alexander Harrison, Registered Architect,  
Peter-Defries Corp.  
8525 Jefferson St. NE  
Albuquerque, NM 87113

Re: Approval of Temporary Certificate of Occupancy (C.O.) for  
Dion's Resturant #NM5, [L-21 / D069]  
11000 Central Ave. SE  
Architect's Stamp Dated 05/04/09

Dear Mr. Harrison:

Based on the information provided on your submittal dated May 5, 2009, the above referenced project is approved for a 90-day Temporary C.O.

A Temporary C.O. has been issued allowing the outstanding Approved Site (need to provide the approved site plan dated 10/23/08), Central Ave. Infrastructure (entrance eastern ramp and sidewalk connection will need to be 5' in width; wheel ramp at the corner of Elizabeth St. is not ADA; and cracked sidewalk adjacent to ramp will need to be replaced), missing pavers for bus stop need to be in place, and drive thru pavement markings (will need a pavement directional arrow prior to pavement markings) issues to be completed within this time period. When these remaining issues have been fully completed, are in substantial compliance, and a final Certification for Transportation has been resubmitted to the City's Hydrology office for approval, a Permanent C.O. will be issued.

The Certification package for Final C.O. must include an **exact** copy of the approved TCL, or signed off D.R.B. Site Plan, which is in each of the two City Permit Plan Sets—the contractor's City field set and the City's plan set in the basement of the Plaza Del Sol building. Package also must include a letter of certification on designer's letterhead-stamped with his seal, signed, and dated. Submit package along with fully completed Drainage Information Sheet to front counter personnel for log in and evaluation by Transportation.

If you have any questions, please call me at 924-3630.

Sincerely,

  
Nilo E. Salgado-Fernandez, P.E.  
Senior Traffic Engineer  
Development and Building Services  
Planning Department

c: Engineer  
Hydrology file  
CO Clerk

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



**DRAINAGE AND TRANSPORTATION INFORMATION SHEET**  
(REV 12/2005)

PROJECT TITLE: DION'S RESTAURANT #NM5 ZONE MAP: L-21/D069  
DRB#: NA EPC#: NA WORK ORDER#: NA

LEGAL DESCRIPTION: LOT 1-A, BLOCK 3, EAST CENTRAL BUS. ADD.  
CITY ADDRESS: 11000 CENTRAL AVE SE

ENGINEERING FIRM: ISAACSON + ARFMAN CONTACT: SCOTT MCGEE  
ADDRESS: 128 MONROE ST. NE PHONE: 208-8828  
CITY, STATE: ALBU. NM ZIP CODE: 87108

OWNER: DION'S CONTACT: DOUG MORSE  
ADDRESS: 8525 JEFFERSON ST. NE PHONE: 858-1010  
CITY, STATE: ALBU. NM ZIP CODE: 87113

ARCHITECT: ALEX HARRISON CONTACT: ALEX HARRISON  
ADDRESS: 8525 JEFFERSON ST. NE PHONE: 858-1010  
CITY, STATE: ALBU. NM ZIP CODE: 87113

SURVEYOR: WAYSON SURVEYING CONTACT: THOMAS JOHNSON  
ADDRESS: 330 LOUISIANA BLVD NE PHONE: 255-2052  
CITY, STATE: ALBU. NM ZIP CODE: 87108

CONTRACTOR: GERALD MARTIN CONTACT: TIFFANY LUCERO  
ADDRESS: 8501 JEFFERSON NE PHONE: 828-1144  
CITY, STATE: ALBU. NM ZIP CODE: 87113

**TYPE OF SUBMITTAL:**

☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERT (HYDROLOGY)  
☐ CLOMR/LOMR  
☒ TRAFFIC CIRCULATION LAYOUT  
☐ ENGINEER'S CERT (TCL)  
☐ ENGINEER'S CERT (DRB SITE PLAN)  
☐ OTHER (SPECIFY)

**CHECK TYPE OF APPROVAL SOUGHT:**

☐ SIA/FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☐ BUILDING PERMIT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY (PERM)  
☐ CERTIFICATE OF OCCUPANCY (TEMP)  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ OTHER (SPECIFY)

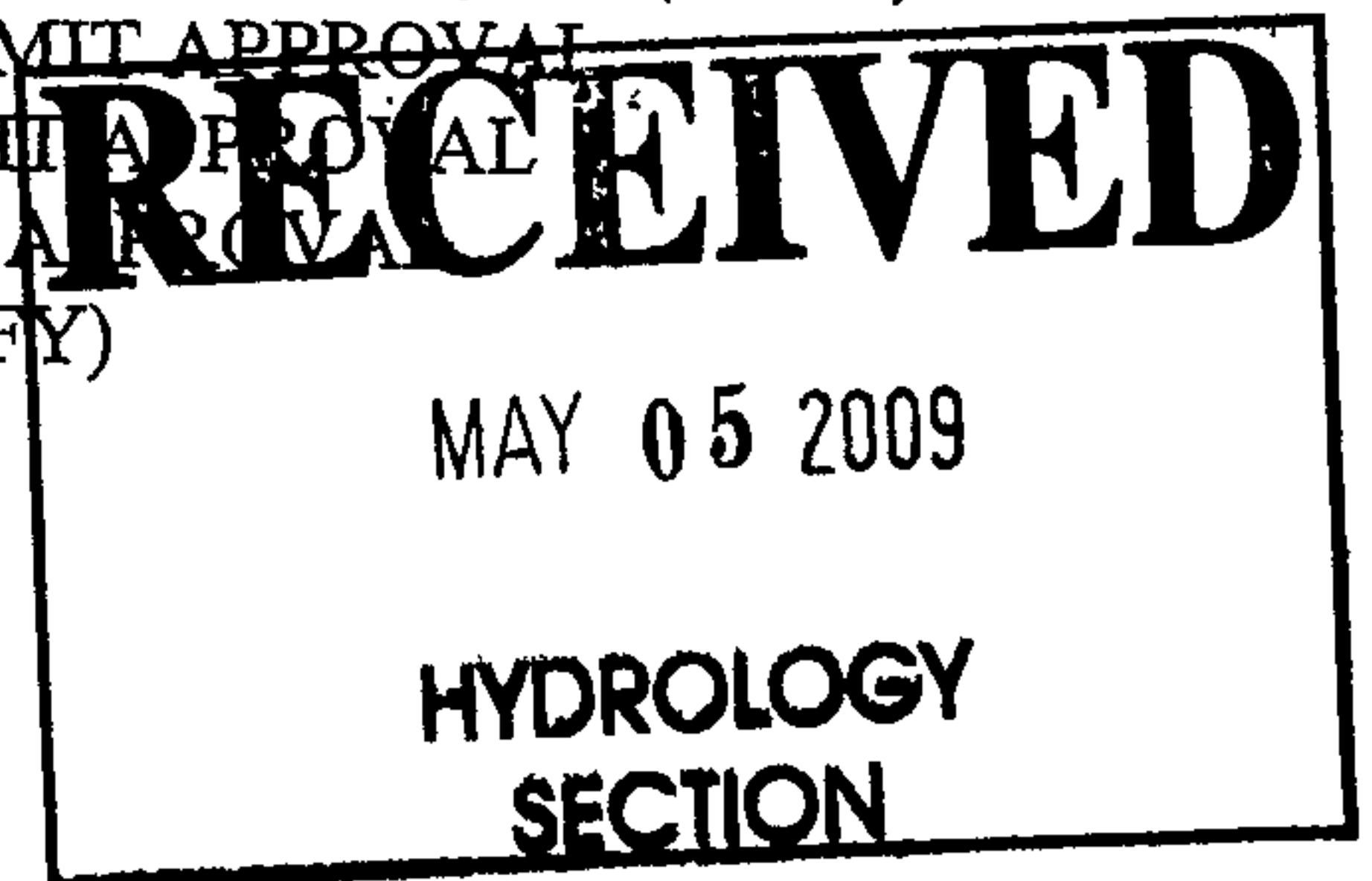
WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES  
☒ NO  
☐ COPY PROVIDED

DATE SUBMITTED: 5/5/07 BY: ALEX HARRISON

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



# ALEXANDER HARRISON - ARCHITECT

8525 Jefferson Street NE, Albuquerque, New Mexico 87113, 505-858-1010

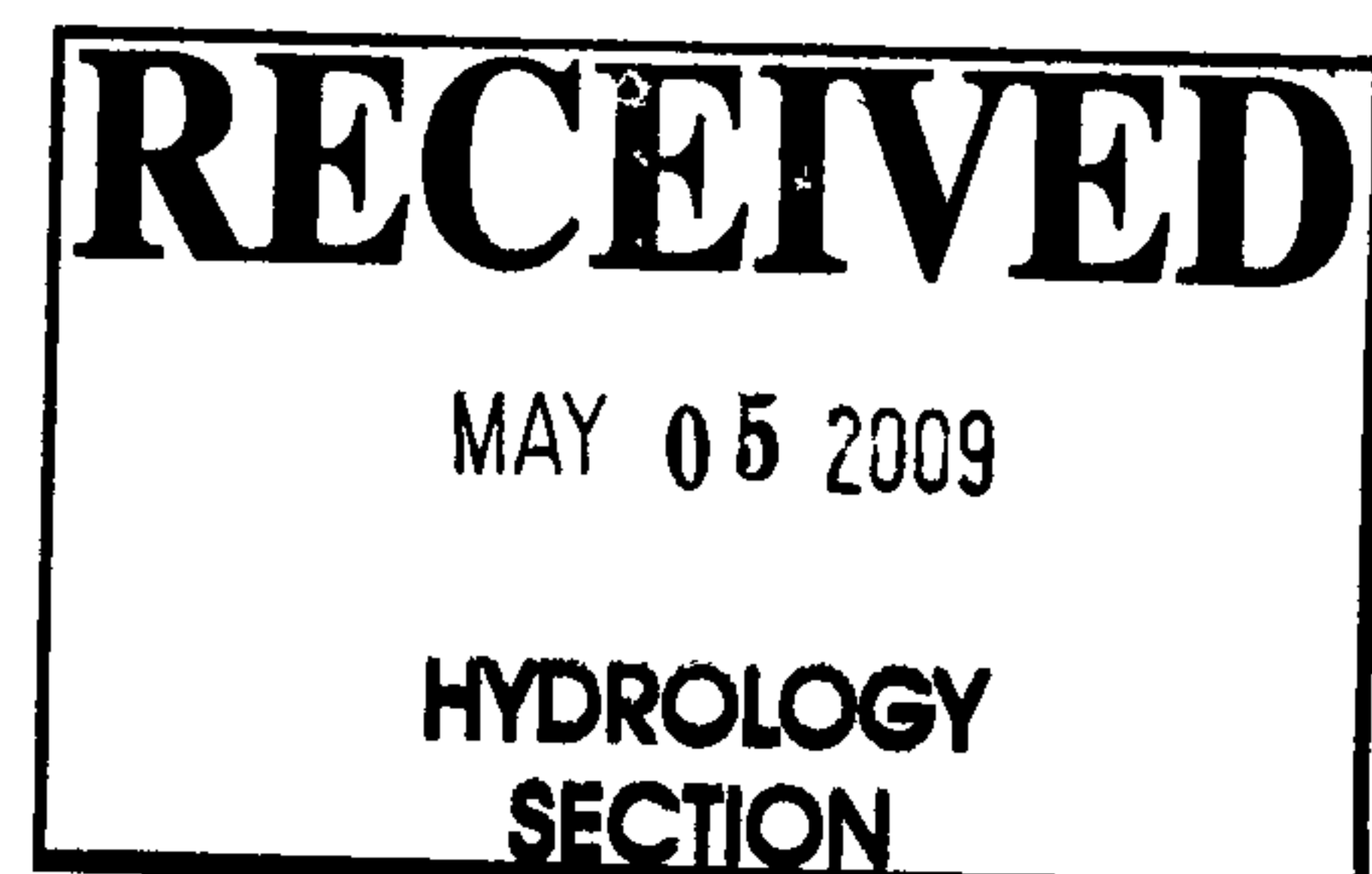
## TRAFFIC CERTIFICATION

I, Alex Harrison, NMRA #1507, of the firm Alexander Harrison – Architect, hereby certify that this project is in substantial compliance with and in accordance with the design intent of the TCL approved plan dated August 2008. The record information edited onto the original design document has been obtained by Alex Harrison, of the firm Alexander Harrison – Architect. I further certify that I have personally visited the project site on 5/01/09 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Certificate of Occupancy – Permanent.

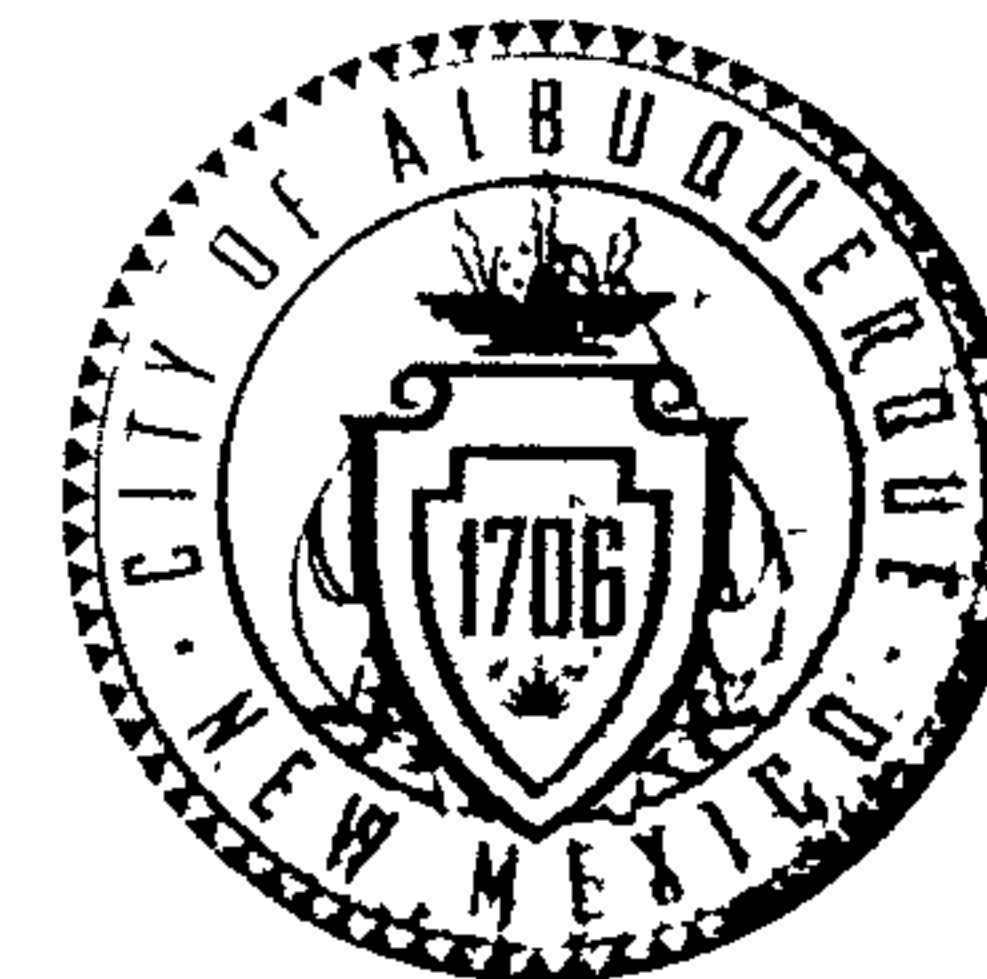
The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.



Alex Harrison, Architect  
5/04/09



# CITY OF ALBUQUERQUE



May 12, 2009

Scott M. McGee, P.E.  
**Isaacson & Arfman, P.A.**  
128 Monroe Street N.E.  
Albuquerque, NM 87108

**Re: Dion's @ Elizabeth & Central, 11000 Central Ave. SE,  
Approval of Permanent Certificate of Occupancy, (L-21/D069)  
Engineer's Stamp Dated: 9-29-08**

Dear Mr. McGee,

Based upon the information provided in your submittal, dated 5/11/09, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3982.

Sincerely,

  
Timothy E. Sims

Plan Checker-Hydrology, Planning Dept  
Development and Building Services

C: CO Clerk—Katrina Sigala  
file

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)



**DRAINAGE AND TRANSPORTATION INFORMATION SHEET**  
(Rev. 12/05)

PROJECT TITLE: Dion's Elizabeth & Central SE ZONE MAP/DRG. FILE # L-21 / D045 **D069**  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: Tract 1-A, Block 3, East Central Business Addition  
CITY ADDRESS: 11000 Central SE

ENGINEERING FIRM: Isaacson & Arfman, P.A. CONTACT: Scott McGee  
ADDRESS: 128 Monroe Street NE PHONE: 268-8828  
CITY, STATE: Albuquerque, NM ZIP CODE: 87108

OWNER: Dion's CONTACT: Alex Harrison  
ADDRESS: 8525 Jefferson Street NE PHONE: 858-1010  
CITY, STATE: Albuquerque, NM ZIP CODE: 87113

ARCHITECT: Alex Harrison CONTACT: Alex Harrison  
ADDRESS: 8525 Jefferson Street NE PHONE: 228-0439  
CITY, STATE: Albuquerque, NM ZIP CODE: 87113

SURVEYOR: Wayjohn Surveying CONTACT: Tom Johnston #14269  
ADDRESS: 330 Louisiana Blvd. NE PHONE: 255-2052  
CITY, STATE: Albuquerque, NM ZIP CODE: 87108

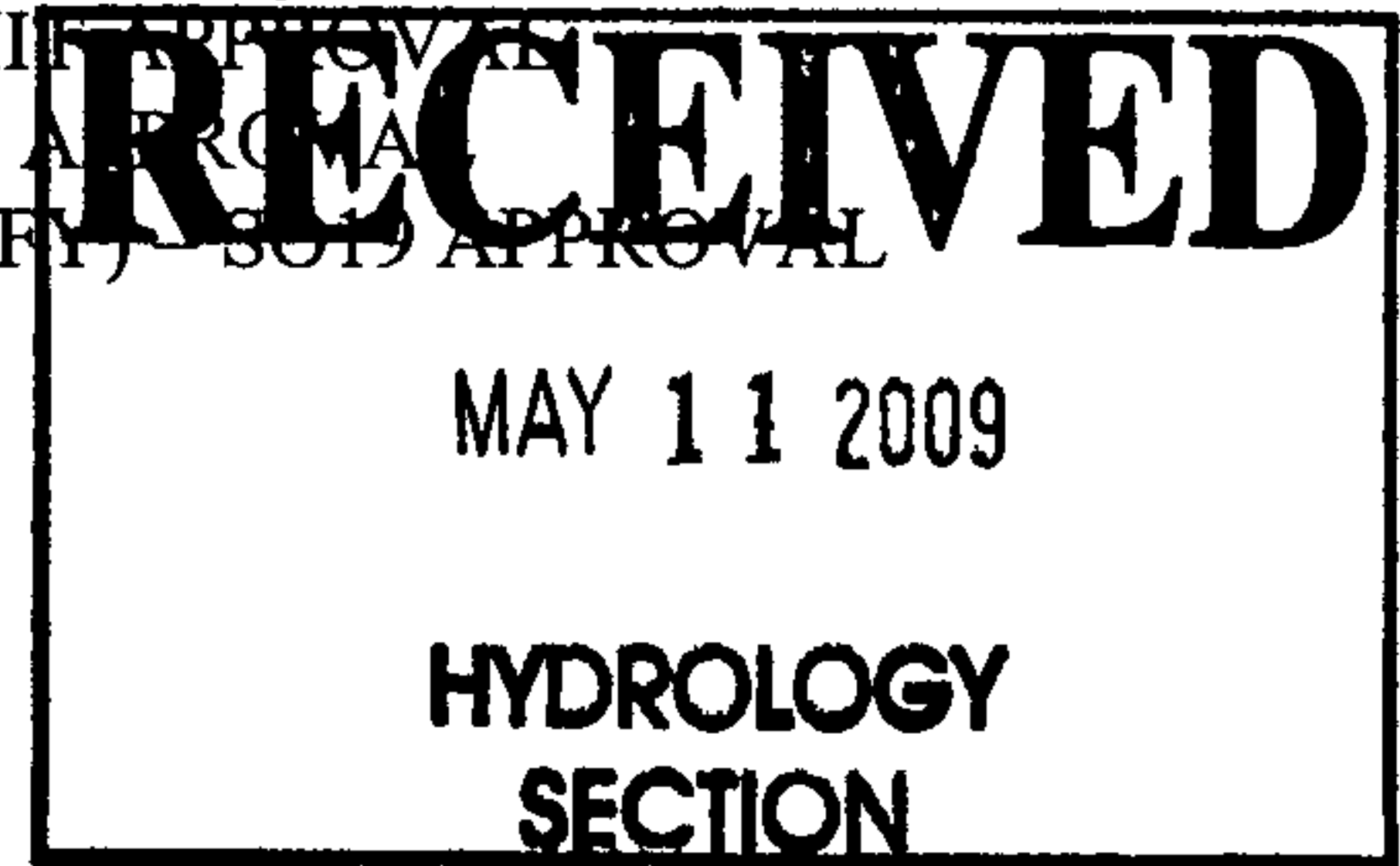
CONTRACTOR: Gerald Martin CONTACT: \_\_\_\_\_  
ADDRESS: 8501 Jefferson Street NE PHONE: 828-1144  
CITY, STATE: Albuquerque, NM ZIP CODE: 87113

TYPE OF SUBMITTAL:  
\_\_\_\_ DRAINAGE REPORT  
\_\_\_\_ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL  
\_\_\_\_ DRAINAGE PLAN RESUBMITTAL  
\_\_\_\_ CONCEPTUAL G & D PLAN  
\_\_\_\_ GRADING PLAN  
\_\_\_\_ EROSION CONTROL PLAN  
XX \_\_\_\_ ENGINEER'S CERT (HYDROLOGY)  
\_\_\_\_ CLOMR/LOMR  
\_\_\_\_ TRAFFIC CIRCULATION LAYOUT  
\_\_\_\_ ENGINEER/ARCHITECT CERT (TCL)  
\_\_\_\_ ENGINEER/ARCHITECT CERT (DRB S.P.)  
\_\_\_\_ ENGINEER/ARCHITECT CERT (AA)  
\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

CHECK TYPE OF APPROVAL SOUGHT:  
\_\_\_\_ SIA/FINANCIAL GUARANTEE RELEASE  
\_\_\_\_ PRELIMINARY PLAT APPROVAL  
\_\_\_\_ S. DEV. PLAN FOR SUB'D APPROVAL  
\_\_\_\_ S. DEV. FOR BLDG. PERMIT APPROVAL  
\_\_\_\_ SECTOR PLAN APPROVAL  
\_\_\_\_ FINAL PLAT APPROVAL  
\_\_\_\_ FOUNDATION PERMIT APPROVAL  
\_\_\_\_ BUILDING PERMIT APPROVAL  
XX \_\_\_\_ CERTIFICATE OF OCCUPANCY (PERM)  
\_\_\_\_ CERTIFICATE OF OCCUPANCY (TEMP)  
\_\_\_\_ GRADING PERMIT APPROVAL  
\_\_\_\_ PAVING PERMIT APPROVAL  
\_\_\_\_ WORK ORDER APPROVAL  
\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

WAS A PRE-DESIGN CONFERENCE ATTENDED:  
\_\_\_\_ YES  
\_\_\_\_ NO  
\_\_\_\_ COPY PROVIDED

SUBMITTED BY: Scott M. McGee, PE DATE: 11-May-09  
Isaacson & Arfman, P.A.

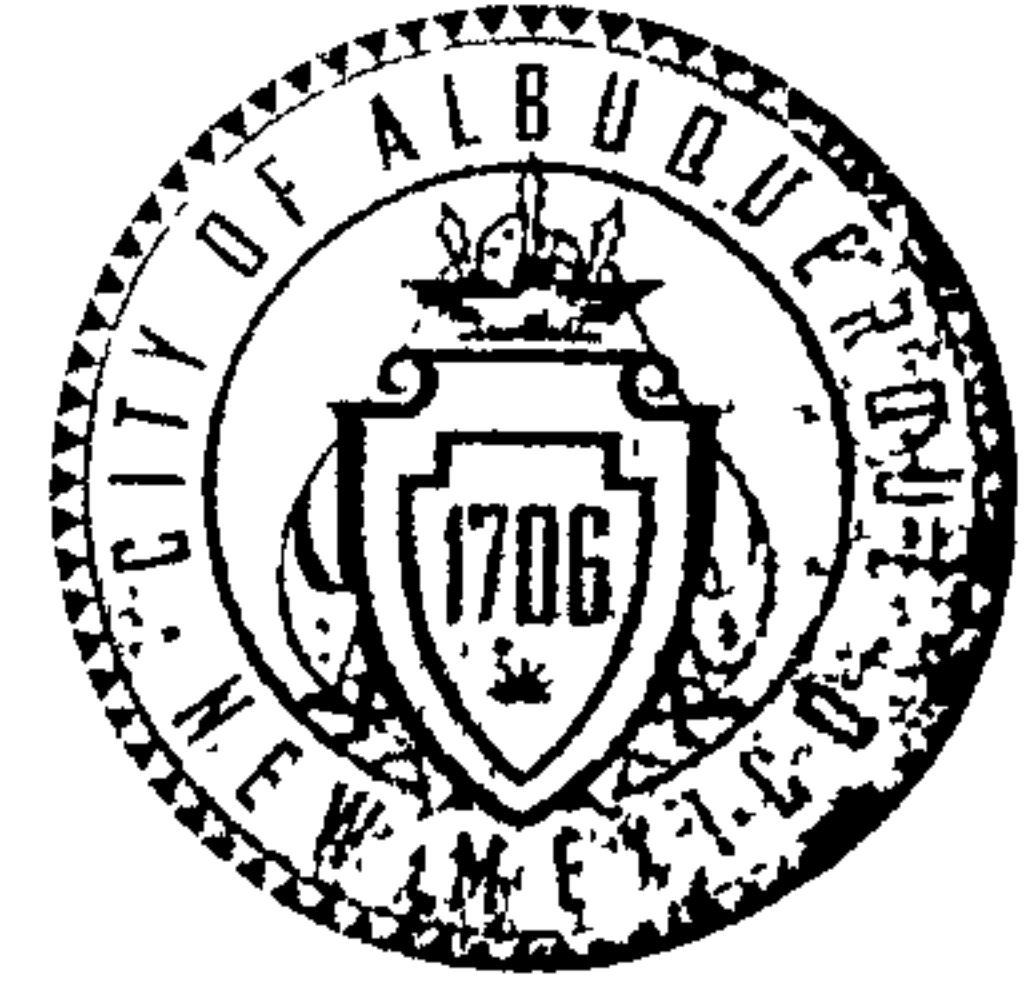


Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



# CITY OF ALBUQUERQUE



October 23, 2008

Alexander Harrison, R.A.  
Peter-Defries Corp.  
d.b.a Dions  
8525 Jefferson St. NE  
Albuquerque, NM 87113

Re: Dions Restaurant #NM5, 11000 Central Avenue SE, Traffic Circulation Layout  
Architect's Stamp dated 8-15-08 (L21-D069)

Dear Mr. Harrison,

The TCL submittal received 10-23-08 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.  
Traffic Engineer, Planning Dept.  
Development and Building Services

C: File

# CITY OF ALBUQUERQUE



October 23, 2008

Alexander Harrison, R.A.  
Peter-Defries Corp.  
d.b.a Dions  
8525 Jefferson St. NE  
Albuquerque, NM 87113

**Re: Dions Restaurant #NM5, 11000 Central Avenue SE,  
Traffic Circulation Layout  
Architect's Stamp dated 8-15-08 (L21-D069)**

Dear Mr. Harrison,

Based upon the information provided in your submittal received 10-20-08, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. List radii for all curves shown.
2. For passenger vehicles, the minimum end island radius is 15 feet.
3. Build notes are needed for the proposed curb cuts. Please refer to all applicable city standards.
4. Please ensure all ramps are ADA compliant.
5. Is there a median break along Central Avenue at the site? If the site has left turn access, the drivepad has a 36-foot minimum width.
6. Is the sidewalk along the building flush with the pavement?

*No median break - 30' ok*

If you have any questions, you can contact me at 924-3991.

Sincerely,

Kristal D. Metro, P.E.  
Traffic Engineer, Planning Dept.  
Development and Building Services

C: File

# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

PROJECT TITLE: DION'S RESTAURANT #NM5 ZONE MAP: L-21/DO69  
 DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: LOT 1-A, BLOCK 3, EAST CENTRAL BUS. ADDITION  
 CITY ADDRESS: 11000 CENTRAL SE

ENGINEERING FIRM: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

OWNER: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

ARCHITECT: ALEX HARRISON, R.A. CONTACT: ALEX  
 ADDRESS: 8525 JEFFERSON NE PHONE: 858-1010  
 CITY, STATE: ALBU. NM ZIP CODE: 87112

SURVEYOR: 858-2421 (fax) CONTACT: please call with review results.  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: wants BP by end of week

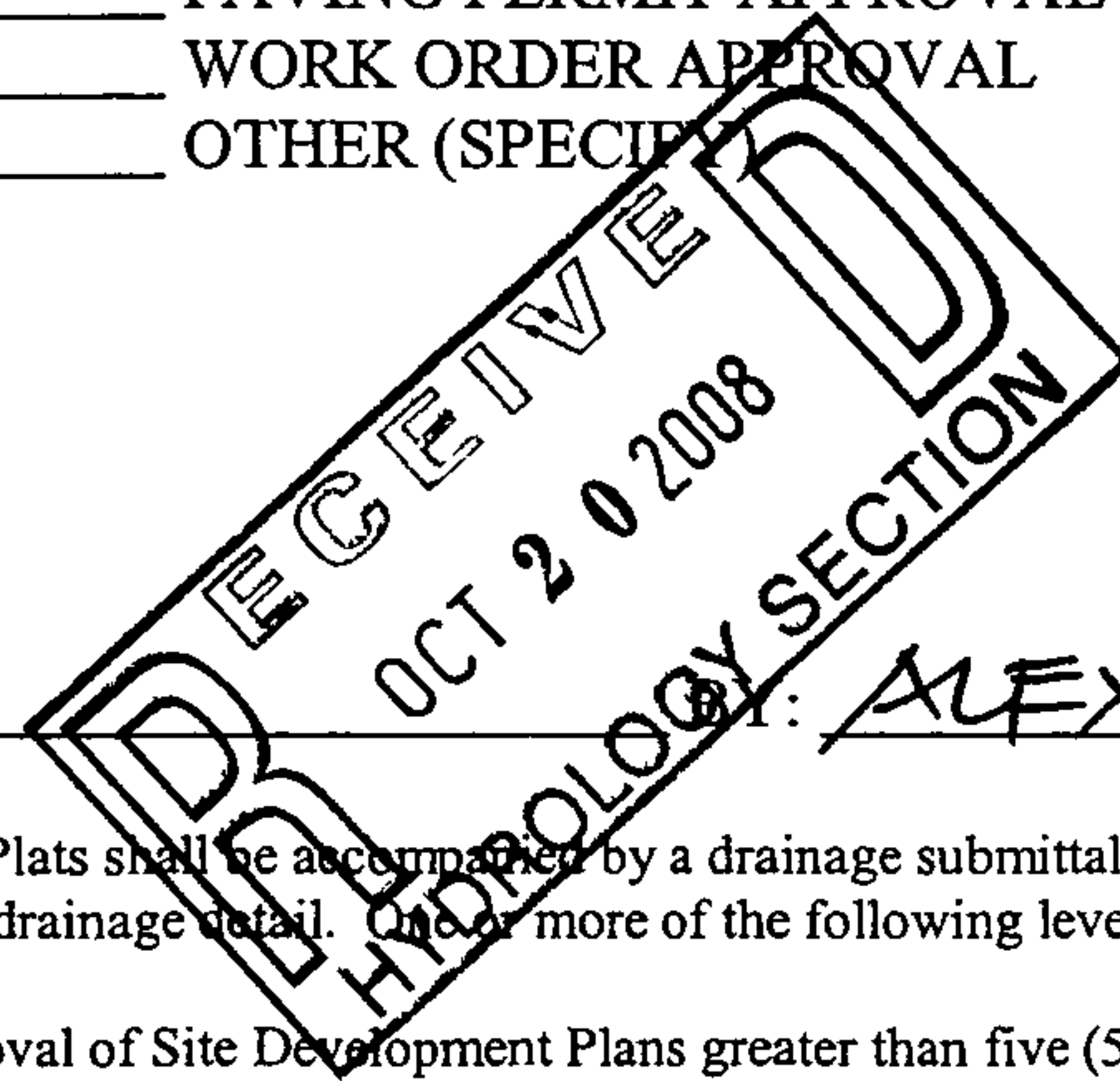
CONTRACTOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

TYPE OF SUBMITTAL:  
☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERT (HYDROLOGY)  
☐ CLOMR/LOMR  
☒ TRAFFIC CIRCULATION LAYOUT  
☐ ENGINEER'S CERT (TCL)  
☐ ENGINEER'S CERT (DRB SITE PLAN)  
☐ OTHER (SPECIFY) \_\_\_\_\_

CHECK TYPE OF APPROVAL SOUGHT:  
☐ SIA/FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY (PERM)  
☐ CERTIFICATE OF OCCUPANCY (TEMP)  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ OTHER (SPECIFY) \_\_\_\_\_

WAS A PRE-DESIGN CONFERENCE ATTENDED:  
☐ YES  
☒ NO  
☐ COPY PROVIDED

DATE SUBMITTED: 10/20/08



BY: ALEX HARRISON

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

Call out all radii

15' min R

Need Build notes for proposed entrances  
- refer to CoA Std 2426

Entrance off Central - median  
access?



# CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development & Building Services



October 1, 2008

Scott McGee, P.E.  
Isaacson & Arfman, P.A.  
128 Monroe St. NE  
Albuquerque, New Mexico 87108

RE: **DION's at Central and Elizabeth** (11,000 Central SE) (L21 – D 045)  
**Grading & Drainage Plan for Building Permit & SO-19** (PE Stamped 09-29-08)

Dear Mr. McGee:

Based upon the information provided in your submittal received on 09-29-08, the above referenced Grading and Drainage Plan is approved for Building Permit.

Please attach a copy of this approved plan to the Building Permit plan sets prior to requesting sign-off by the Hydrology Section.

PO Box 1293

A Storm Water Pollution Prevention Plan (SWPPP) is required for this site. A SWPPP in MS Word or PDF format on a CD is required to be submitted to Hydrology Section before Hydrology will approve a Building Permit for this site.

Albuquerque

NM 87103

SO-19: A separate excavation permit is required for construction within City R/W. A copy of this approval letter must be on hand when applying for the excavation permit. To obtain a temporary or permanent CO the private storm drain connection to the existing inlet on Elizabeth Street must be inspected and accepted. Please contact Duane Schmitz, 235-8016, to schedule an inspection.

www.cabq.gov

Prior to Certificate of Occupancy approval, an Engineer's Certification of compliance with this plan is required per the DPM.

If I can be of further assistance, please feel free to contact me at 924-3981.

Sincerely,

Gregory R. Olson, P.E.  
Hydrology Section

XC: Bradley Bingham, COA-PLN/Hydrology  
Antoinette Baldonado, Excavation and Barricading  
Duane Schmitz, Street/Storm Drain Maintenance  
Drainage file: L21=D045

**DRAINAGE AND TRANSPORTATION INFORMATION SHEET**  
(Rev. 12/05)

PROJECT TITLE: Dion's Elizabeth & Central SE (RESUBMITTAL) ZONE MAP/DRG. FILE # L-21 / ~~D045~~ D069  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: Tract 1-A, Block 3, East Central Business Addition  
CITY ADDRESS: 11000 Central SE

ENGINEERING FIRM: Isaacson & Arfman, P.A.  
ADDRESS: 128 Monroe Street NE  
CITY, STATE: Albuquerque, NM

CONTACT: Scott McGee  
PHONE: 268-8828  
ZIP CODE: 87108

OWNER: Dion's  
ADDRESS: 8525 Jefferson Street NE  
CITY, STATE: Albuquerque, NM

CONTACT: Alex Harrison  
PHONE: 858-1010  
ZIP CODE: 87113

ARCHITECT: Alex Harrison  
ADDRESS: 8525 Jefferson Street NE  
CITY, STATE: Albuquerque, NM

CONTACT: Alex Harrison  
PHONE: 228-0439  
ZIP CODE: 87113

SURVEYOR: Wayjohn Surveying  
ADDRESS: 330 Louisiana Blvd. NE  
CITY, STATE: Albuquerque, NM

CONTACT: Tom Johnston #14269  
PHONE: 255-2052  
ZIP CODE: 87108

CONTRACTOR: Gerald Martin  
ADDRESS: 8501 Jefferson Street NE  
CITY, STATE: Albuquerque, NM

CONTACT: \_\_\_\_\_  
PHONE: 828-1144  
ZIP CODE: 87113

**TYPE OF SUBMITTAL:**

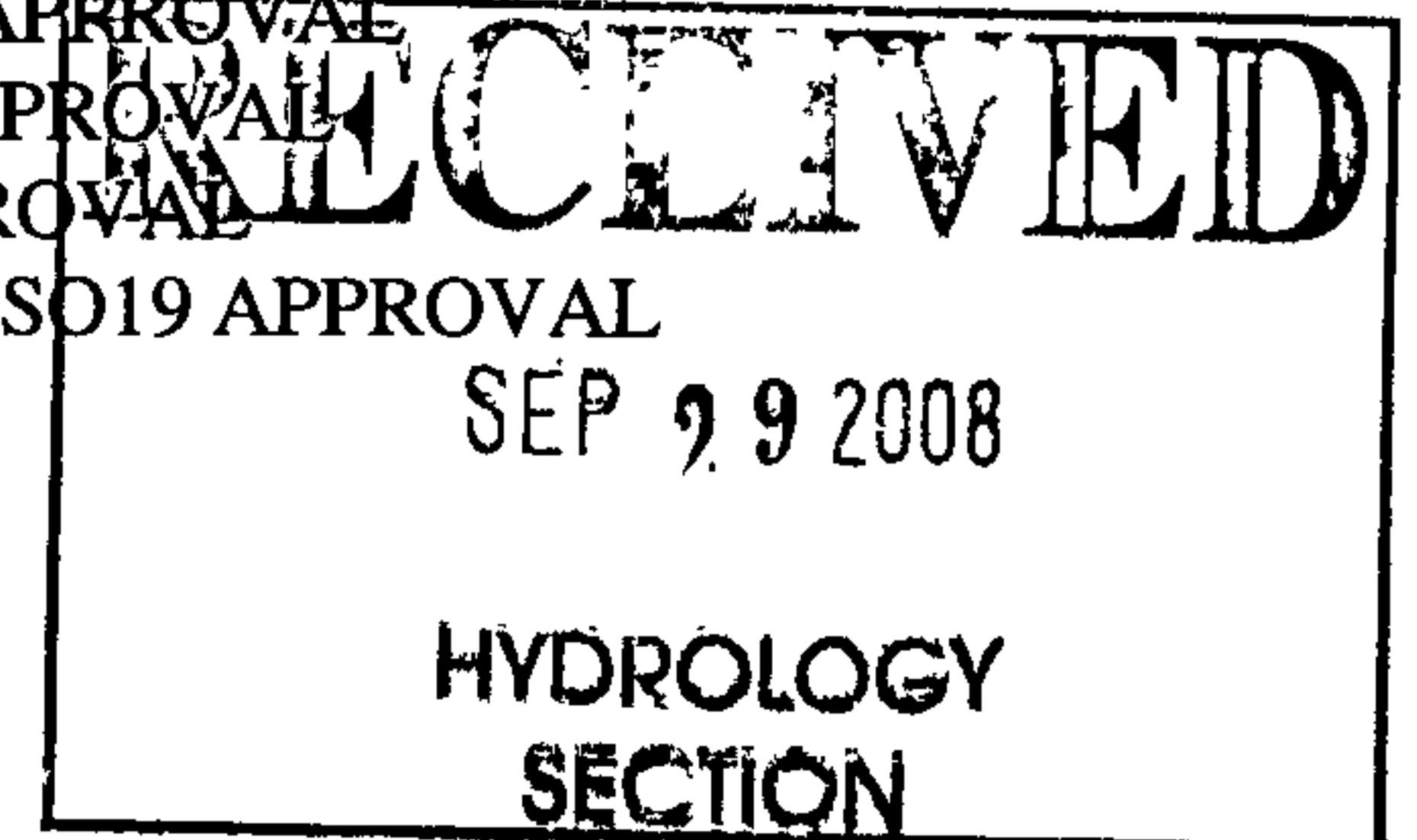
☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL  
☒ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL G & D PLAN  
☒ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERT (HYDROLOGY)  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT  
☐ ENGINEER/ARCHITECT CERT (TCL)  
☐ ENGINEER/ARCHITECT CERT (DRB S.P.)  
☐ ENGINEER/ARCHITECT CERT (AA)  
☐ OTHER (SPECIFY) \_\_\_\_\_

**CHECK TYPE OF APPROVAL SOUGHT:**

☐ SIA/FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY (PERM)  
☐ CERTIFICATE OF OCCUPANCY (TEMP)  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☒ OTHER (SPECIFY) – SO19 APPROVAL

WAS A PRE-DESIGN CONFERENCE ATTENDED:

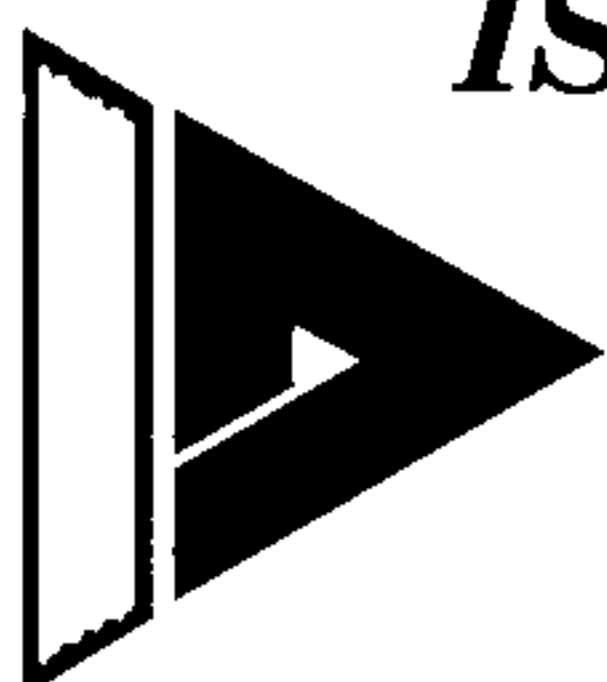
☐ YES  
☐ NO  
☐ COPY PROVIDED



SUBMITTED BY: Scott M. McGee, PE DATE: 29-Sep-08 (RESUBMITTAL)  
Isaacson & Arfman, P.A.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



**ISAACSON & ARFMAN, P.A.**

**Consulting Engineering Associates**

*Thomas O. Isaacson, PE & LS • Fred C. Arfman, PE  
Scott M. McGee, PE*

September 29, 2008

Mr. Gregory R. Olsen, P.E.  
Hydrology Section  
Planning Department  
City of Albuquerque  
P.O. Box 1293  
Albuquerque, NM 87103

**RE: DION'S AT CENTRAL AND ELIZABETH (L21-D045) - RESUBMITTAL**

Dear Mr. Olsen:

Attached with this letter are two copies of the revised Drainage and Grading Plan for your review. Revisions made were in response to your comments dated September 16, 2008 and are as follows:

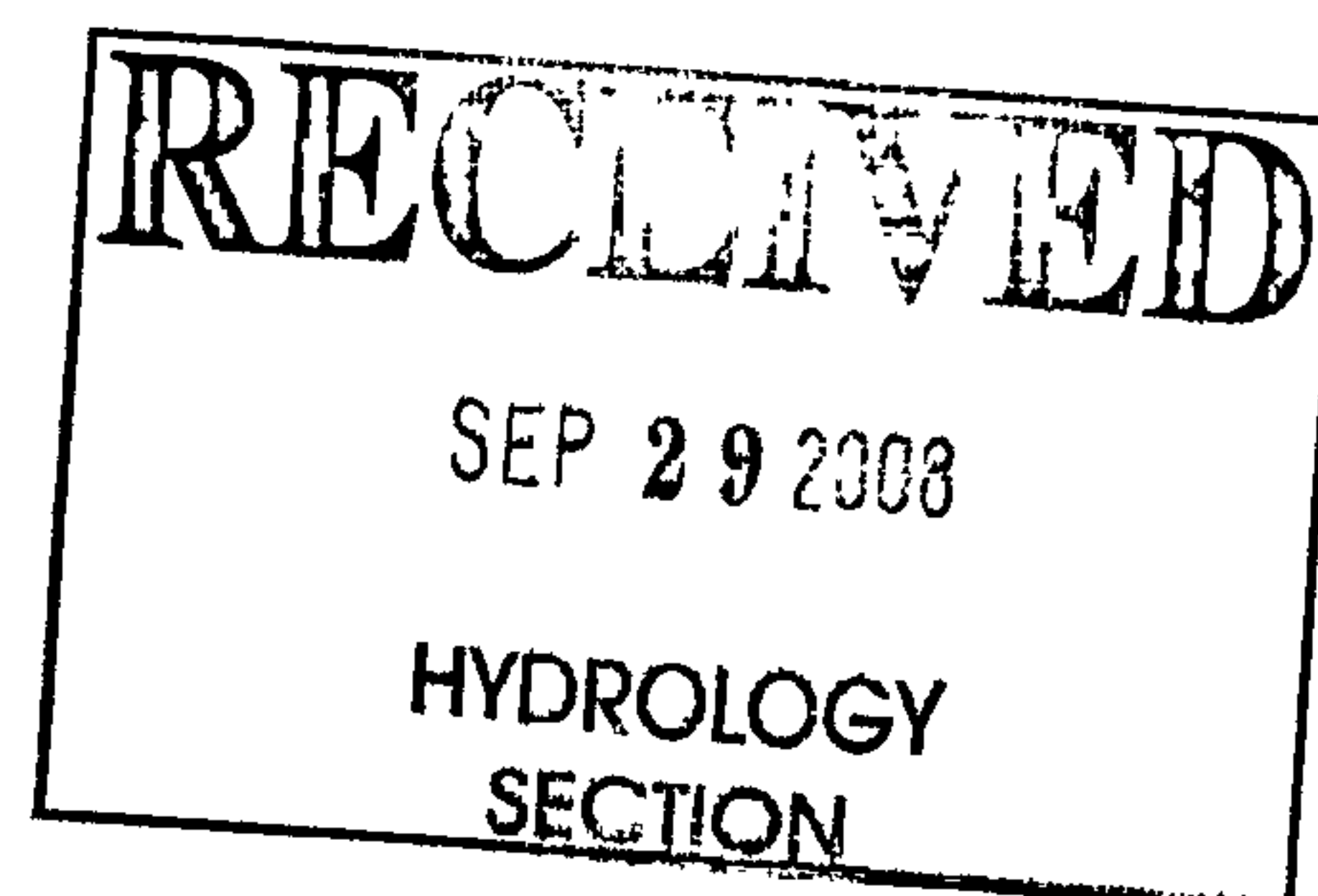
1. SWPPP is required for construction grading on this site and will be provided by contractor prior to receiving grading or building permit.
2. Note added to plan identifying drain inlet to capture runoff from the trash enclosure pad for routing to sanitary sewer after passing through a grease trap.
3. Additional proposed grades provided within private landscaped areas along Elizabeth Street to clearly identify direction of flow to proposed storm drain inlets. Additional inlet provided in the landscaped area NW of the building pad to ensure that roof drain flows are not routed over the sidewalk.
4. Building FF elevations clarified with approximate location of level change.

Please don't hesitate to contact me at 268-8828 or [scottm@iacivil.com](mailto:scottm@iacivil.com) with any questions or comments.

Sincerely,

**ISAACSON & ARFMAN, P.A.**

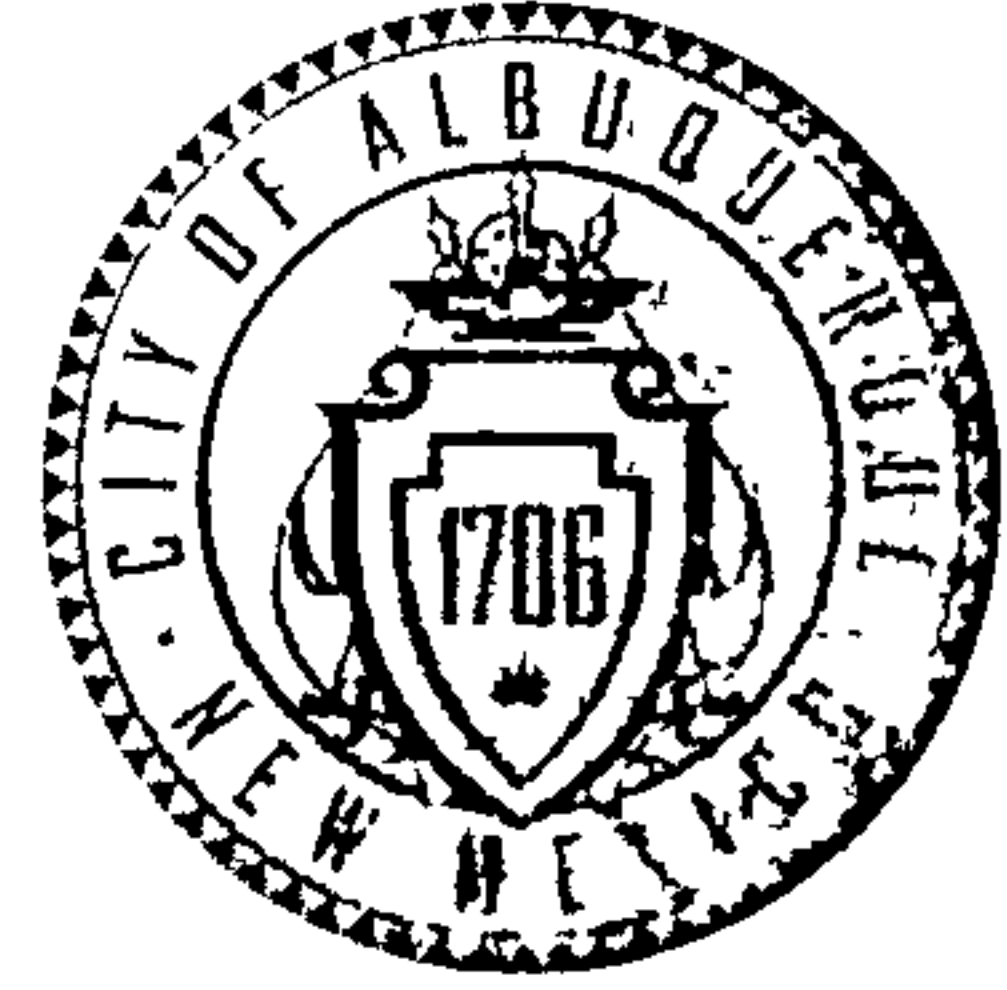
Scott M. McGee, PE  
SMM/bjb





# CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development & Building Services



September 16, 2008

Scott McGee, P.E.  
Isaacson & Arfman, P.A.  
128 Monroe St. NE  
Albuquerque, New Mexico 87108

RE: **DION's at Central and Elizabeth** (11,000 Central SE) (L21 – D045) <sup>P069</sup>  
**Grading & Drainage Plan for Building Permit & SO-19** (PE Stamped 08-25-08)


Dear Mr. McGee:

Based upon the information provided in your submittal received on 08-19-08 and amended 08-25-08, the above referenced plan cannot be approved for Building Permit or SO-19 until the following comments are addressed:

1. A Storm Water Pollution Prevention Plan (SWPPP) is required for construction grading on this site. A SWPPP in MS Word or PDF format on a CD is required to be submitted to Hydrology Section, prior to review of this plan.  
(This policy came into effect July 1st, 2008.)
2. Per the DPM Chapter 22 Sect-9, runoff from the trash enclosure pad at a restaurant is required to drain to the sanitary sewer after passing through a grease trap. Please include details or at least refer to this plumbing which may be shown on another sheet.
3. Provide additional, proposed grades for the private, landscaped areas back of sidewalk along Elizabeth, to ensure that runoff goes into the area inlet. It appears as though the inlet is at the same elevation as the adjacent sidewalk (Elev. =3.0). Also, clarify grading in the landscape area NW of the building pad to ensure that roof drain flows are not routed over the sidewalk or WC Ramp.
4. The building pad shows two different "FF" elevations. If this is correct, show the step where grades change.

If you have any questions or would like to schedule a meeting to discuss this, you may contact me at 924-3981.

Sincerely,

  
Gregory R. Olson, P.E.  
Hydrology Section

XC: Bradley Bingham, COA-PLN/Hydrology  
Drainage file: L21-D045 <sup>69</sup>



**DRAINAGE AND TRANSPORTATION INFORMATION SHEET**  
(Rev. 12/05)

PROJECT TITLE: Dion's Elizabeth & Central SE ZONE MAP/DRG. FILE # L-21 10045  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: Tract 1-A, Block 3, East Central Business Addition  
CITY ADDRESS: 11000 Central SE

ENGINEERING FIRM: Isaacson & Arfman, P.A. CONTACT: Scott McGee  
ADDRESS: 128 Monroe Street NE PHONE: 268-8828  
CITY, STATE: Albuquerque, NM ZIP CODE: 87108

OWNER: Dion's CONTACT: Alex Harrison  
ADDRESS: 8525 Jefferson Street NE PHONE: 858-1010  
CITY, STATE: Albuquerque, NM ZIP CODE: 87113

ARCHITECT: Alex Harrison CONTACT: Alex Harrison  
ADDRESS: 8525 Jefferson Street NE PHONE: 228-0439  
CITY, STATE: Albuquerque, NM ZIP CODE: 87113

SURVEYOR: Wayjohn Surveying CONTACT: Tom Johnston #14269  
ADDRESS: 330 Louisiana Blvd. NE PHONE: 255-2052  
CITY, STATE: Albuquerque, NM ZIP CODE: 87108

CONTRACTOR: Gerald Martin CONTACT: \_\_\_\_\_  
ADDRESS: 8501 Jefferson Street NE PHONE: 828-1144  
CITY, STATE: Albuquerque, NM ZIP CODE: 87113

TYPE OF SUBMITTAL:  
☐ DRAINAGE REPORT  
☒ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL G & D PLAN  
☒ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERT (HYDROLOGY)  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT  
☐ ENGINEER/ARCHITECT CERT (TCL)  
☐ ENGINEER/ARCHITECT CERT (DRB S.P.)  
☐ ENGINEER/ARCHITECT CERT (AA)  
☐ OTHER (SPECIFY) \_\_\_\_\_

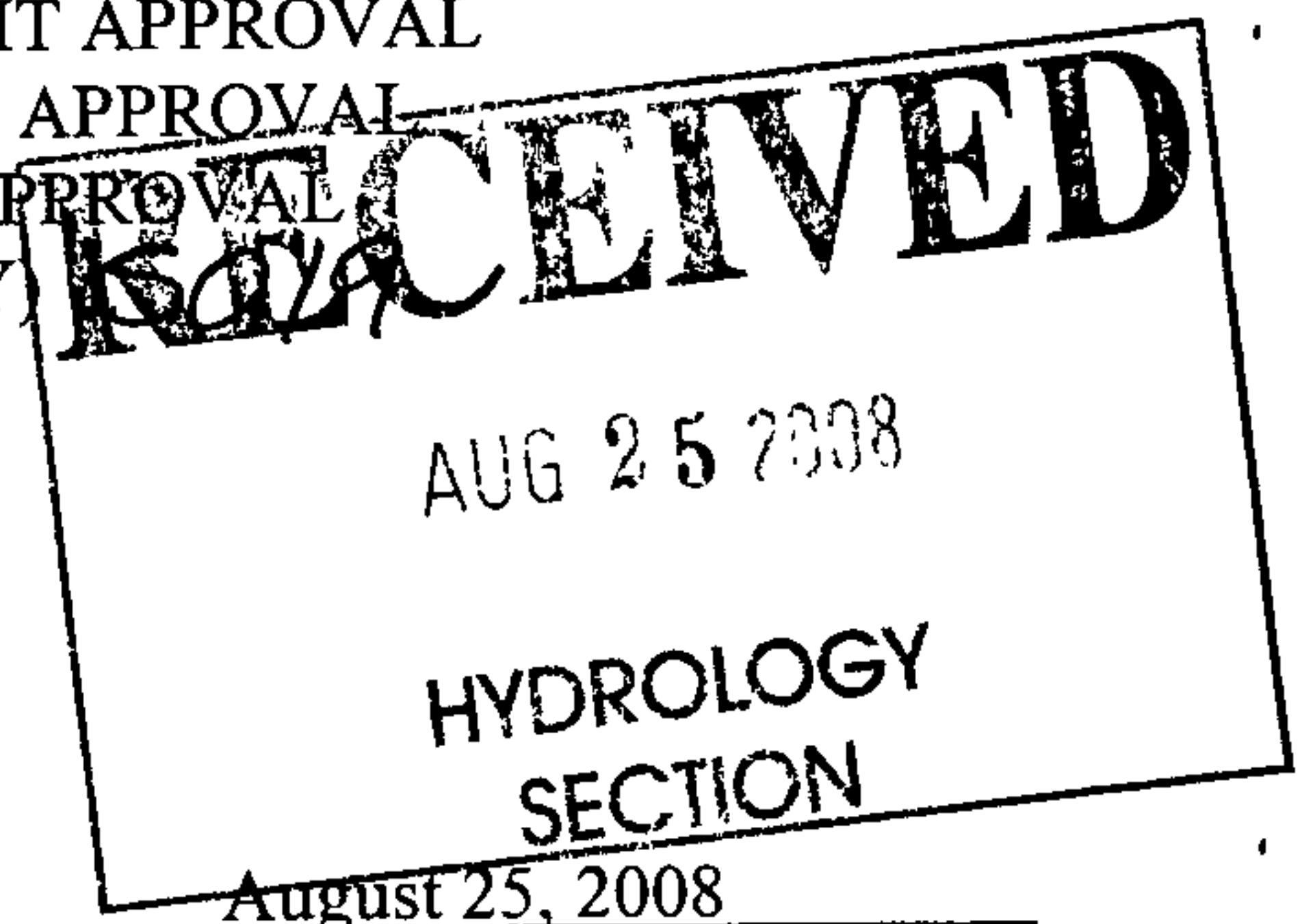
CHECK TYPE OF APPROVAL SOUGHT:  
☐ SIA/FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY (PERM)  
☐ CERTIFICATE OF OCCUPANCY (TEMP)  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☒ OTHER (SPECIFY) 1507

WAS A PRE-DESIGN CONFERENCE ATTENDED:  
☐ YES  
☐ NO  
☐ COPY PROVIDED

SUBMITTED BY: Scott M. McGee, PE DATE: August 25, 2008  
Isaacson & Arfman, P.A.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



**DRAINAGE AND TRANSPORTATION INFORMATION SHEET**  
(Rev. 12/05)

PROJECT TITLE: Dion's Elizabeth & Central SE ZONE MAP/DRG. FILE # L-21/0045  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: Tract 1-A, Block 3, East Central Business Addition  
CITY ADDRESS: 11000 Central SE

ENGINEERING FIRM: Isaacson & Arfman, P.A. CONTACT: Scott McGee  
ADDRESS: 128 Monroe Street NE PHONE: 268-8828  
CITY, STATE: Albuquerque, NM ZIP CODE: 87108

OWNER: Dion's CONTACT: Alex Harrison  
ADDRESS: 8525 Jefferson Street NE PHONE: 858-1010  
CITY, STATE: Albuquerque, NM ZIP CODE: 87113

ARCHITECT: Alex Harrison CONTACT: Alex Harrison  
ADDRESS: 8525 Jefferson Street NE PHONE: 228-0439  
CITY, STATE: Albuquerque, NM ZIP CODE: 87113

SURVEYOR: Wayjohn Surveying CONTACT: Tom Johnston #14269  
ADDRESS: 330 Louisiana Blvd. NE PHONE: 255-2052  
CITY, STATE: Albuquerque, NM ZIP CODE: 87108

CONTRACTOR: Gerald Martin CONTACT: \_\_\_\_\_  
ADDRESS: 8501 Jefferson Street NE PHONE: 828-1144  
CITY, STATE: Albuquerque, NM ZIP CODE: 87113

**TYPE OF SUBMITTAL:**

☐ DRAINAGE REPORT  
☒ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL G & D PLAN  
☒ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERT (HYDROLOGY)  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT  
☐ ENGINEER/ARCHITECT CERT (TCL)  
☐ ENGINEER/ARCHITECT CERT (DRB S.P.)  
☐ ENGINEER/ARCHITECT CERT (AA)  
☐ OTHER (SPECIFY) \_\_\_\_\_

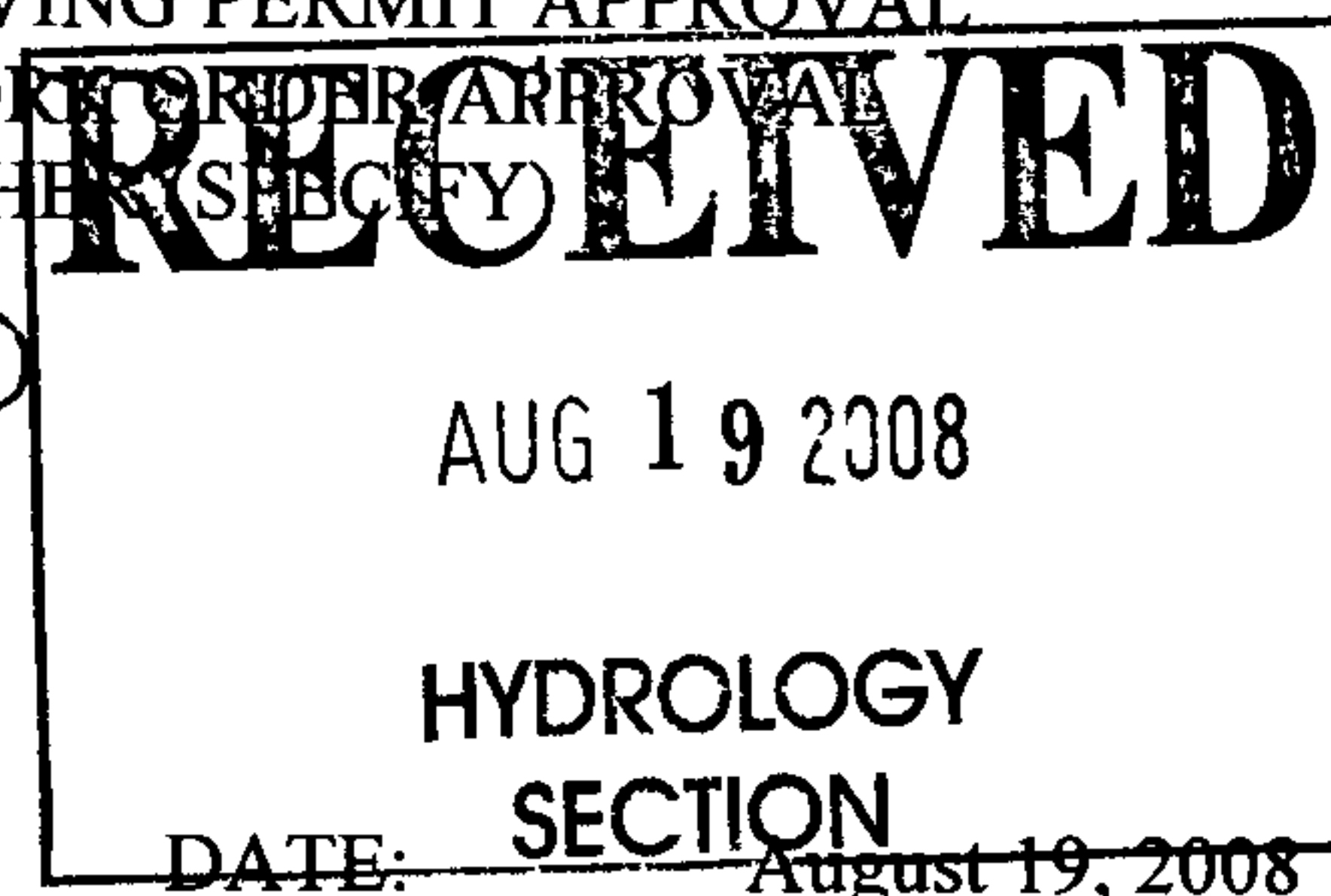
**CHECK TYPE OF APPROVAL SOUGHT:**

☐ SIA/FINANCIAL GUARANTEE RELEASE  
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☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY (PERM)  
☐ CERTIFICATE OF OCCUPANCY (TEMP)  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ OTHER (SPECIFY) \_\_\_\_\_

WAS A PRE-DESIGN CONFERENCE ATTENDED: \_\_\_\_\_

☐ YES  
☐ NO  
☐ COPY PROVIDED

SUBMITTED BY: Scott M. McGee, PE  
Isaacson & Arfman, P.A.



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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