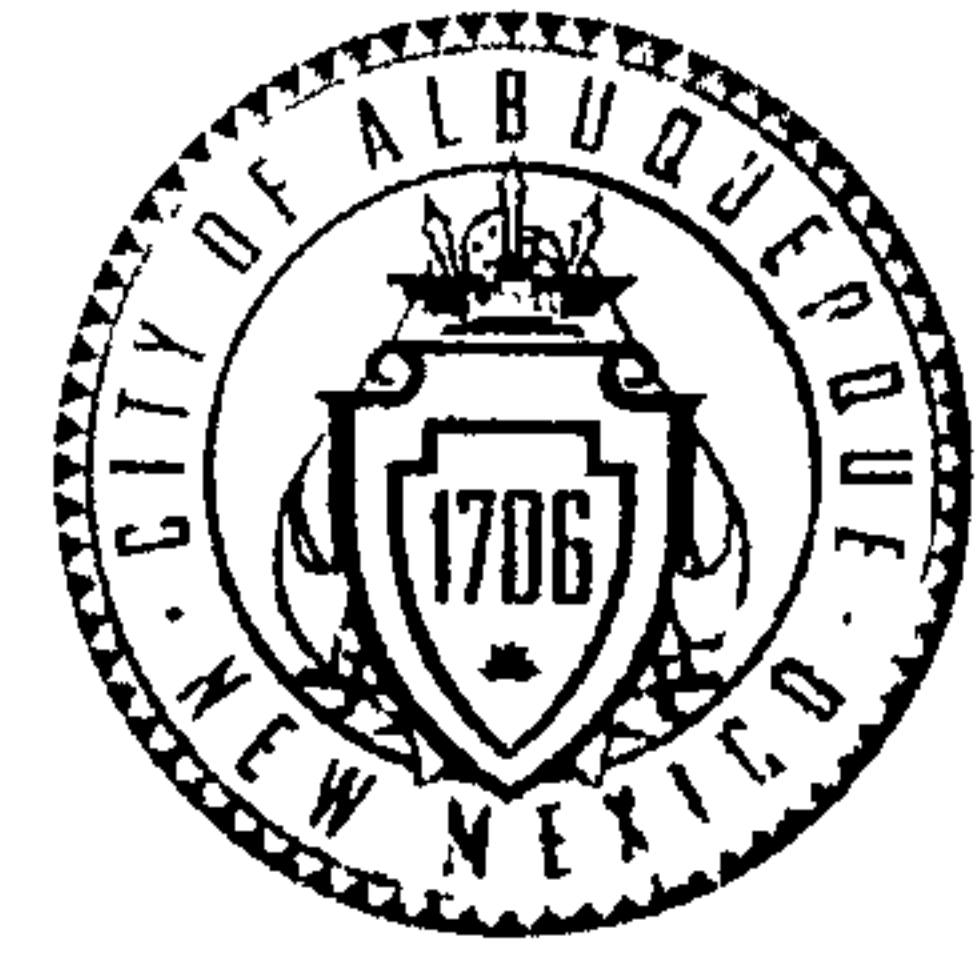


CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

October 10, 2012

Darren Lee Sowell, R.A.
DSA Architects, LLC
4700 Lincoln Road NE, Ste. 111
Albuquerque, NM 87109

Re: **Certification for Permanent Building Certificate of Occupancy (C.O.)**
Flex Car Spa & Lube – Phase 1 [L-21/D071]
10705 Central Ave. NE
Architect's Stamp Dated 10/09/12

Dear Mr. Sowell:

Based upon the information provided in your submittal received 10-09-12, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy.

This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact me at (505)924-3630.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 12/2005)

PROJECT TITLE: Flex Car Spa & Lube - Phase 1 ZONE MAP: L-21/DO71
DRB#: N/A EPC#: N/A WORK ORDER#: _____

LEGAL DESCRIPTION: Tracts B-1 & C-1, Longfield Addition
CITY ADDRESS: 10705 Central Ave NE

ENGINEERING FIRM: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

OWNER: Rain Tunnel Car Spa, LLC CONTACT: Buck Buckner
ADDRESS: 2100 Central Ave SW PHONE: 250-8766
CITY, STATE: Albuquerque, NM ZIP CODE: _____

ARCHITECT: Darren Sowell Architects, LLC CONTACT: Craig Calvert
ADDRESS: 4700 Lincoln Rd NE, Suite 111 PHONE: 342-6200
CITY, STATE: Albuquerque, NM ZIP CODE: 87015

SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: Barnsley Construction CONTACT: Dan Barnsley
ADDRESS: P.O. Box 92072 PHONE: 264-0261
CITY, STATE: Albuquerque, NM ZIP CODE: 87199

TYPE OF SUBMITTAL:

- _____ DRAINAGE REPORT
- _____ DRAINAGE PLAN 1st SUBMITTAL
- _____ DRAINAGE PLAN RESUBMITTAL
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ EROSION CONTROL PLAN
- _____ ENGINEER'S CERT (HYDROLOGY)
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT
- ☒ ENGINEER'S CERT (TCL)
- _____ ENGINEER'S CERT (DRB SITE PLAN)
- _____ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

- _____ SIA/FINANCIAL GUARANTEE RELEASE
- _____ PRELIMINARY PLAT APPROVAL
- _____ S. DEV. PLAN FOR SUB'D APPROVAL
- _____ S. DEV. FOR BLDG. PERMIT APPROVAL
- _____ SECTOR PLAN APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ FOUNDATION PERMIT APPROVAL
- _____ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- _____ CERTIFICATE OF OCCUPANCY (TEMP)
- _____ GRADING PERMIT APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ WORK ORDER APPROVAL
- _____ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☒ YES
_____ NO
_____ COPY PROVIDED

DATE SUBMITTED: 10/9/12 BY: Craig Calvert

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

RECEIVED
OCT - 9 2012



October 9, 2012

Kristal Metro, PE
Traffic Engineer
Transportation Development
City of Albuquerque
Albuquerque, New Mexico

**RE: Flex Car Spa & Lube - Phase 1, 10705 Central Avenue NE, Traffic Circulation
Layout Certification (L21-D071)**

Ms. Metro:

I, Darren Sowell NMRA #3798, hereby certify that this project is in substantial compliance with and in accordance with the design intent of the Traffic Circulation Layout approved on 7-28-11 based on as-built information provided by Barnsley Construction.

I further certify that DSA's project manager for this project, Craig Calvert, personally visited the site on October 9, 2012 and determined by visual inspection that the actual site conditions shown on the approved TCL are true and correct to the best of his knowledge and belief.

This certification is submitted in support of a request for a Permanent Certificate of Occupancy.

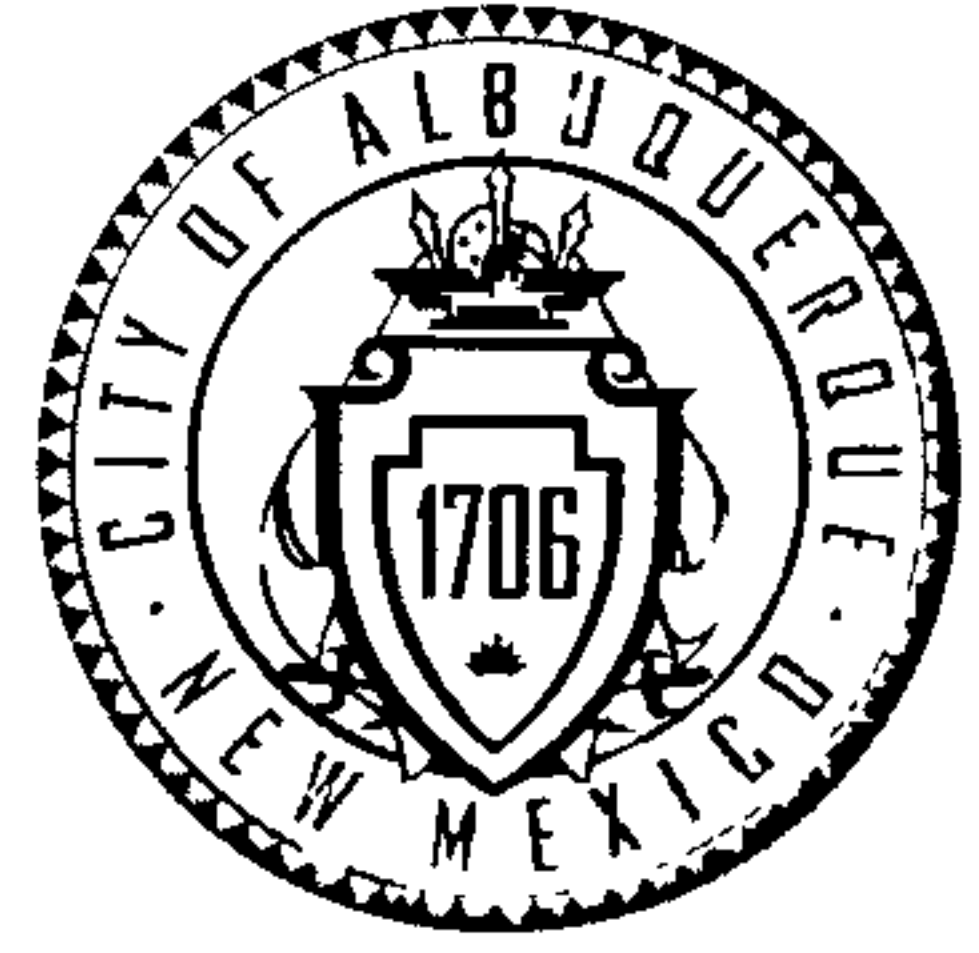
Respectfully submitted,

DSA Architects, LLC

Darren Sowell, AIA
Owner



CITY OF ALBUQUERQUE



July 27, 2012

Fred C. Arfman, P.E. freda@iacivil.com
Isaacson & Arfman, P.A.
128 Monroe Street N.E.
Albuquerque, NM 87108


**Re: Flex Car Spa, 10705 Central Ave NE,
Request for Permanent C.O. –Accepted
Engineer's Stamp dated: 06-10-09, (L21/D071)
Certification dated: 07-17-12**

Dear Mr. Arfman,

Based upon the information provided in the Certification received 07-17-12, the above referenced Certification is acceptable for a release of a Permanent Certificate of Occupancy by Hydrology.

Hydrology is asking for an electronic copy, in .pdf format, of this certification for our records. This certification can be e-mailed to me at: tsims@cabq.gov.

If you have any questions, you can contact me at 924-3982.

Sincerely,


Timothy E. Sims,
Plan Checker—Hydrology Section
Development and Building Services

C: CO Clerk—Katrina Sigala
File

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 12/05)

PROJECT TITLE: Flex Car Spa & Lube ZONE MAP/DRG. FILE L21 - D071
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: TRACTS 'B' AND 'C' OF THE LONGFIELD ADDITION
CITY ADDRESS: 10705 CENTRAL AVE NE

ENGINEERING FIRM: ISAACSON & ARFMAN, PA CONTACT: Fred C. Arfman
ADDRESS: 128 MONROE NE PHONE: 268-8828
CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87108

OWNER: Flex Car Spa & Lube. CONTACT: Buck Buckner
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: Darren Sowell Architects CONTACT: Craig Calvert
ADDRESS: 4700 Lincoln Rd. NE, Suite 111 PHONE: 342.6200
CITY, STATE: Albuquerque, NM ZIP CODE: 87109

SURVEYING FIRM: Wayjohn Surveying/Harris Surveying LICENSED SURVEYOR: Thomas Johnston
ADDRESS: 330 Louisiana Blvd. NE PHONE: 255-2887
CITY, STATE: Albuquerque, NM ZIP CODE: 87108

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

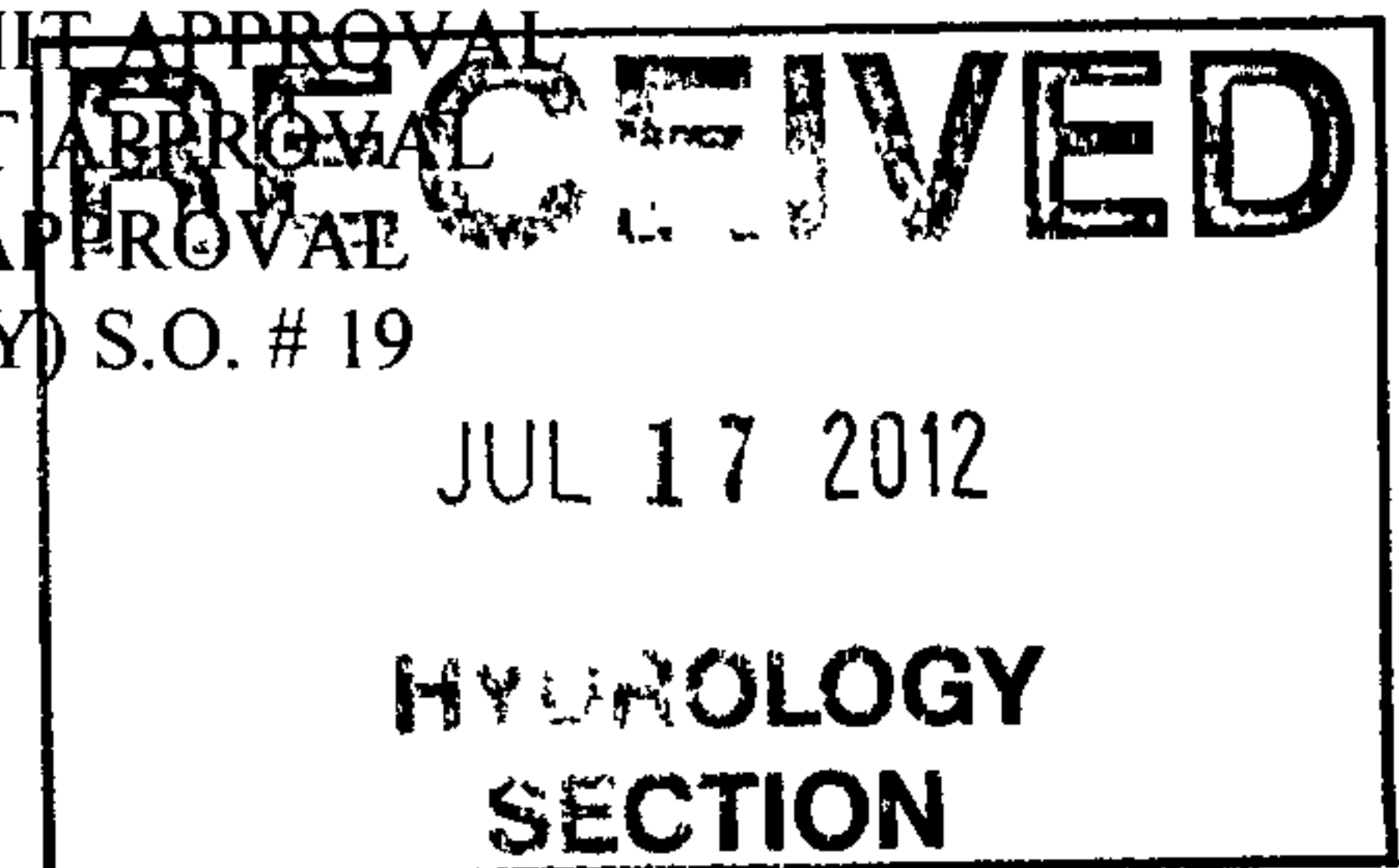
☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER/ARCHITECT CERT (TCL)
☐ ENGINEER/ARCHITECT CERT (DRB S.P.)
☐ ENGINEER/ARCHITECT CERT (AA)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) S.O. # 19

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES
☐ NO
☐ COPY PROVIDED



SUBMITTED BY: ISAACSON & ARFMAN: Fred C. Arfman DATE: July 17, 2012

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



July 17, 2012

Fred C. Arfman, P.E. freda@iacivil.com
Isaacson & Arfman, P.A.
128 Monroe Street N.E.
Albuquerque, NM 87108

**Re: Flex Car Spa & Lube, 10705 Central Ave NE,
Request for Permanent C.O. – Not Accepted
Engineer's Stamp dated: 05-28-09, (L21/D071)
Certification dated: 07-13-12**

Dear Mr. Arfman,

Based upon the information provided in the Certification received 07-16-12, the above referenced Certification is unacceptable for release of a Permanent Certificate of Occupancy by Hydrology.

PO Box 1293

1. The approved plan which needs certification is dated 06-10-09 in lieu of the 05-28-09 plan.
2. Hydrology has not received acceptance from Jason Rodriguez, 235-8016, for the SO-19.

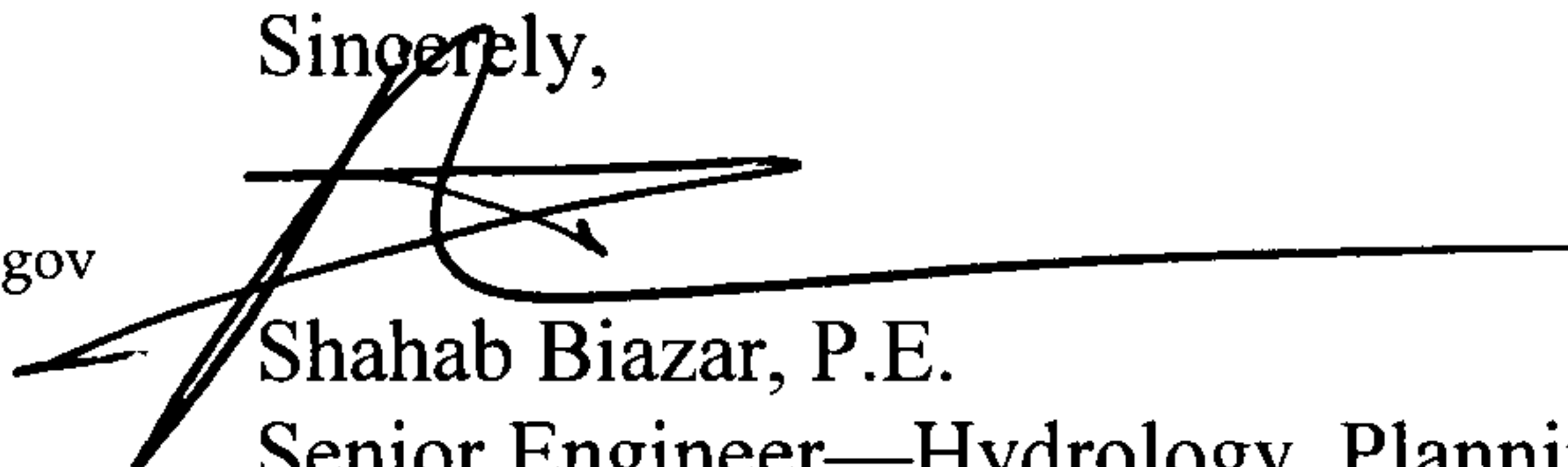
Albuquerque

If you have any questions, you can contact me at 924-3695.

NM 87103

Sincerely,

www.cabq.gov


Shahab Biazar, P.E.
Senior Engineer—Hydrology, Planning Dept.
Development and Building Services

C: File
 enclosure

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 12/05)

PROJECT TITLE: Flex Car Spa & Lube ZONE MAP/DRG. FILE L21 - D071
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: TRACTS 'B' AND 'C' OF THE LONGFIELD ADDITION
CITY ADDRESS: 10705 CENTRAL AVE NE

ENGINEERING FIRM: ISAACSON & ARFMAN, PA CONTACT: Fred C. Arfman
ADDRESS: 128 MONROE NE PHONE: 268-8828
CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87108

OWNER: Flex Car Spa & Lube. CONTACT: Buck Buckner
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: Darren Sowell Architects CONTACT: Craig Calvert
ADDRESS: 4700 Lincoln Rd. NE, Suite 111 PHONE: 342.6200
CITY, STATE: Albuquerque, NM ZIP CODE: 87109

SURVEYING FIRM: Wayjohn Surveying/Harris Surveying LICENSED SURVEYOR: Thomas Johnston
ADDRESS: 330 Louisiana Blvd. NE PHONE: 255-2887
CITY, STATE: Albuquerque, NM ZIP CODE: 87108

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER/ARCHITECT CERT (TCL)
☐ ENGINEER/ARCHITECT CERT (DRB S.P.)
☐ ENGINEER/ARCHITECT CERT (AA)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
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☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
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☒ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) S.O. # 19 _____

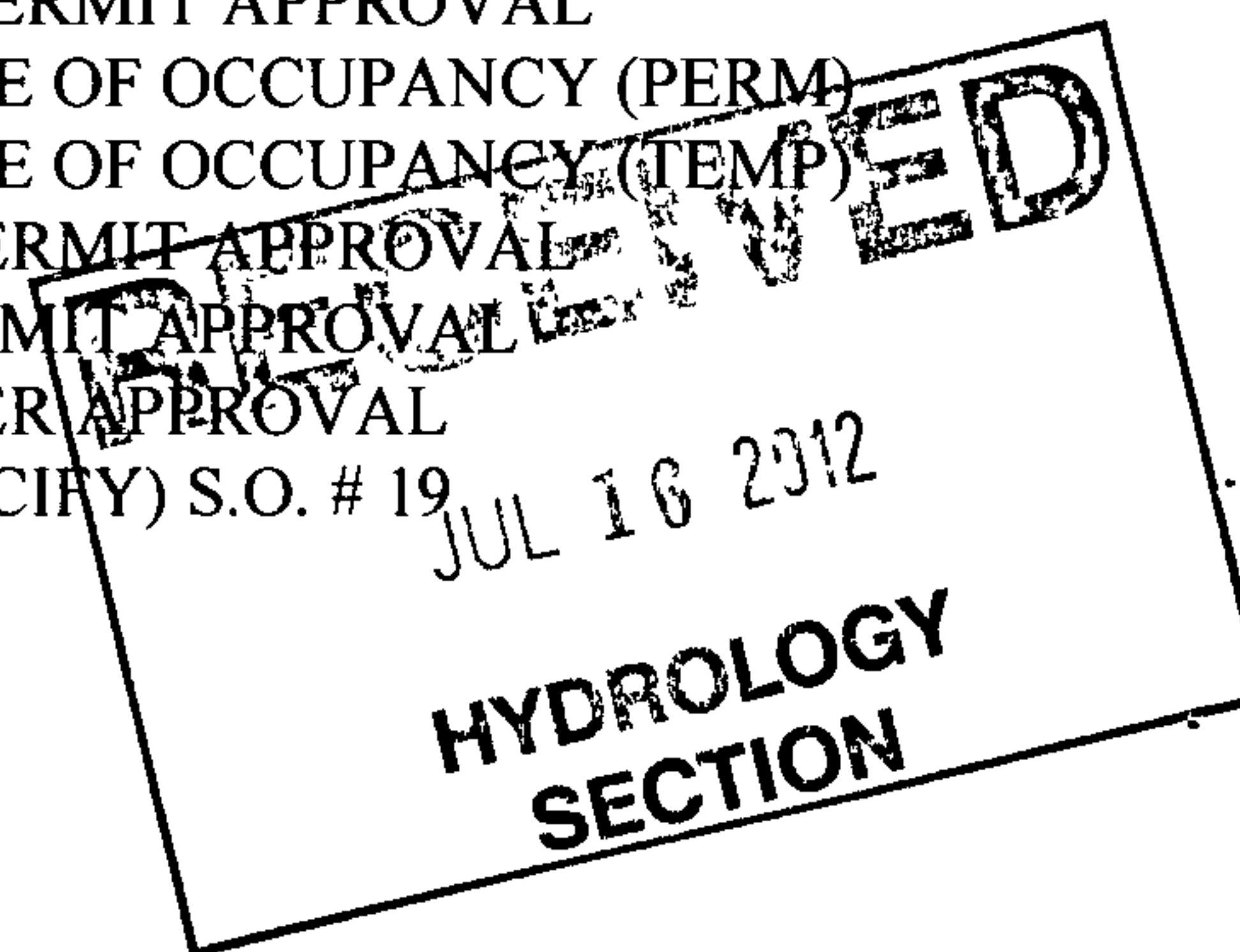
WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES
☐ NO
☐ COPY PROVIDED

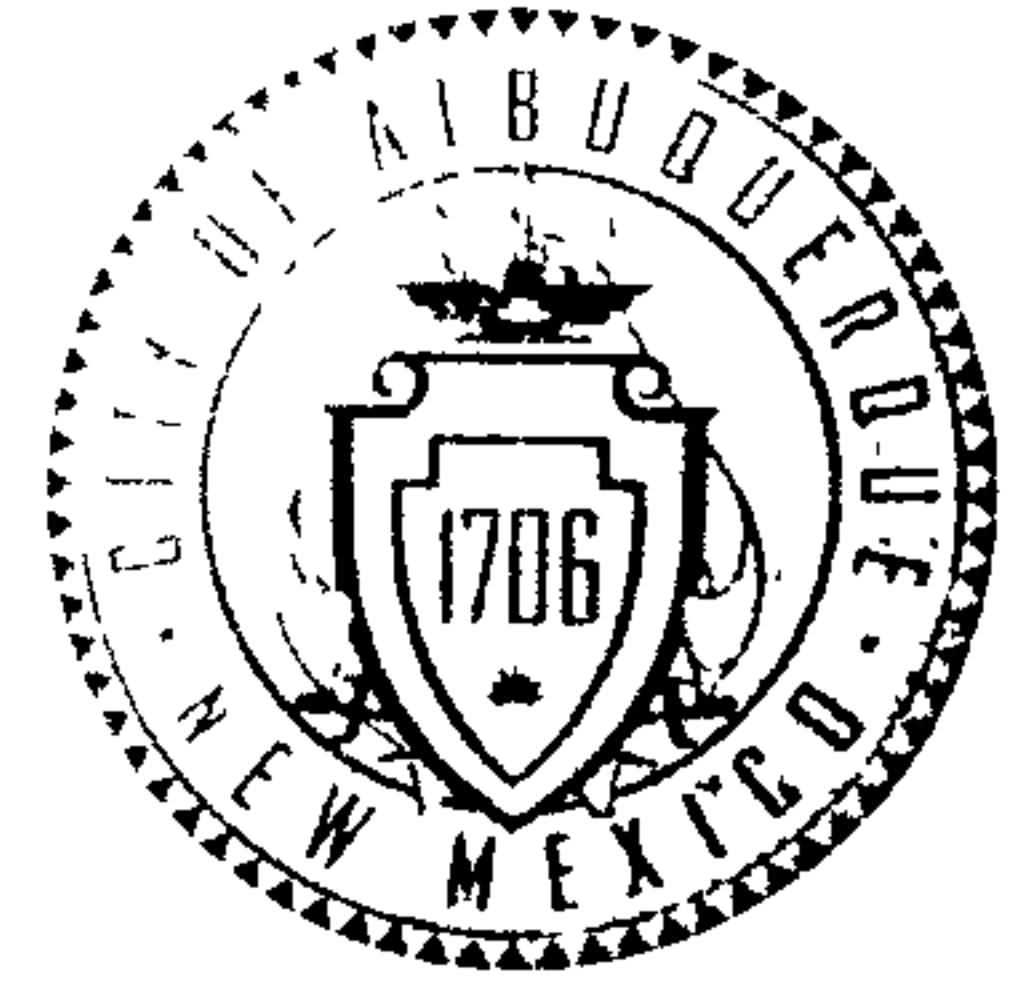
SUBMITTED BY: ISAACSON & ARFMAN: Fred C. Arfman DATE: July 16, 2012

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



CITY OF ALBUQUERQUE



June 11, 2009

Scott M. McGee, P.E.
Isaacson & Arfman, P.A.
128 Monroe Street NE
Albuquerque, NM 87108

Re: Flex Car Spa & Lube
10705 Central Ave. NE, Building Permit and SO-19
Engineer's Stamp dated 06-10-09 (L21-D071)

Dear Mr. McGee,

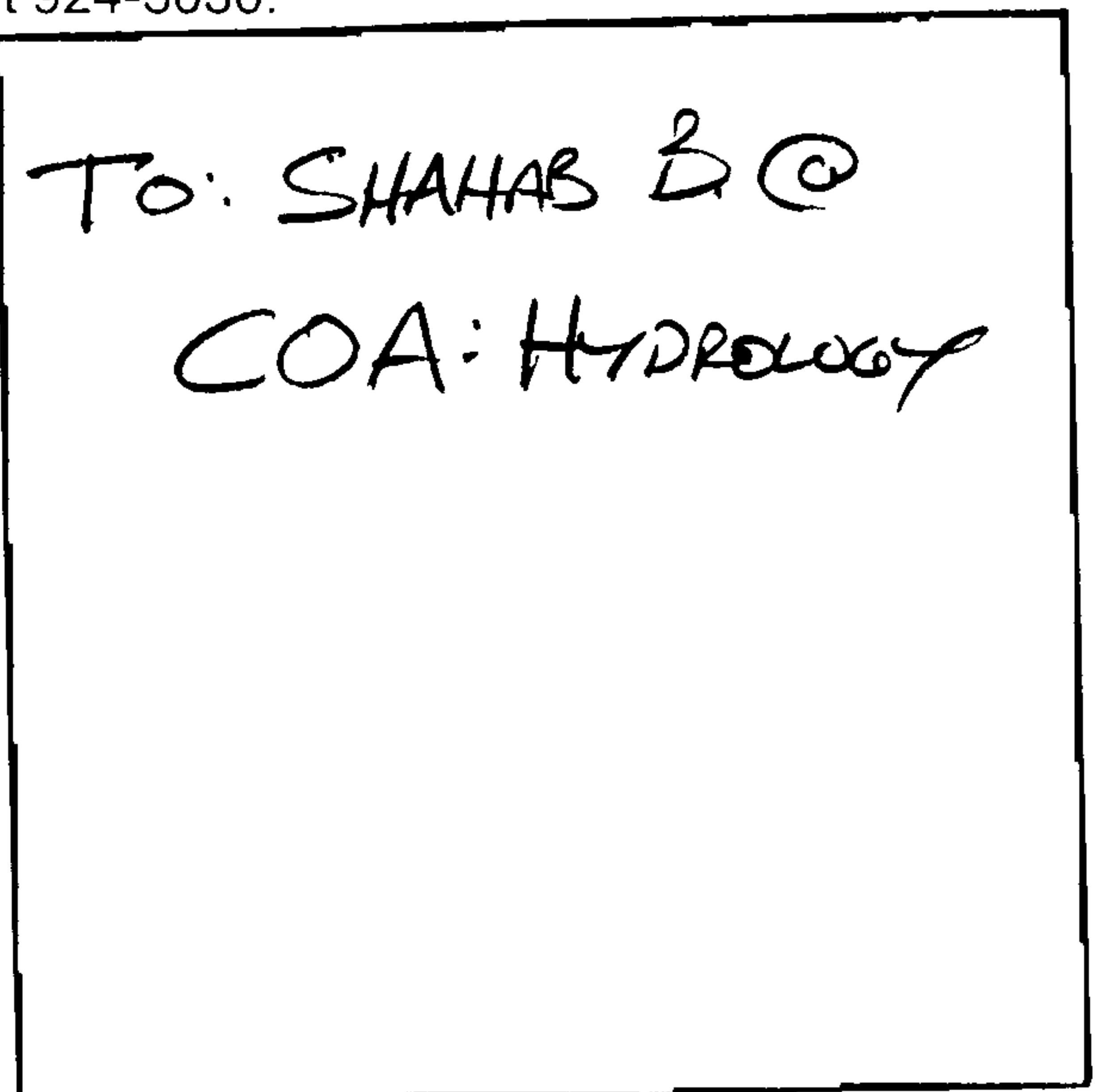
Based upon the information provided in your **RE-SUBMITTAL** received 06-10-09, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. **Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.**

The above referenced plan is also approved for an SO-19 permit. A copy of this approval letter must be on hand when applying for the excavation permit. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required. Be advised that no Certificate of Occupancy, temporary or permanent, will be released prior to inspection and approval of the storm drain connection / sidewalk culvert by the Storm Drain Maintenance department. Contact Duane Schmitz at 235-8016 to schedule an inspection.

If you have any questions, you can contact me at 924-3630.

Sincerely,

Milo Salgado-Fernandez, P.E.
Senior Engineer, Planning Dept.
Development and Building Services



C: Antoinette Baldonado, Construction Services
Duane Schmitz, DMD Street/Storm Maintenance (Pino Yards)
File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 12/05)

PROJECT TITLE: Flex Car Spa & Lube ZONE MAP/DRG. FILE L21 - D071
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: TRACTS 'B' AND 'C' OF THE LONGFIELD ADDITION
CITY ADDRESS: 10705 CENTRAL AVE NE

ENGINEERING FIRM: ISAACSON & ARFMAN, PA CONTACT: Scott M. McGee
ADDRESS: 128 MONROE NE PHONE: 268-8828
CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87108

OWNER: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: Darren Sowell Architects CONTACT: Craig Calvert
ADDRESS: 4700 Lincoln Rd. NE, Suite 111 PHONE: 342.6200
CITY, STATE: Albuquerque, NM ZIP CODE: 87109

SURVEYING FIRM: Wayjohn Surveying LICENSED SURVEYOR: Thomas Johnston
ADDRESS: 330 Louisiana Blvd. NE PHONE: 255-2887
CITY, STATE: Albuquerque, NM ZIP CODE: 87108

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:
☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☒ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER/ARCHITECT CERT (TCL)
☐ ENGINEER/ARCHITECT CERT (DRB S.P.)
☐ ENGINEER/ARCHITECT CERT (AA)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:
☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☒ OTHER (SPECIFY) S.D. # 19

WAS A PRE-DESIGN CONFERENCE ATTENDED:

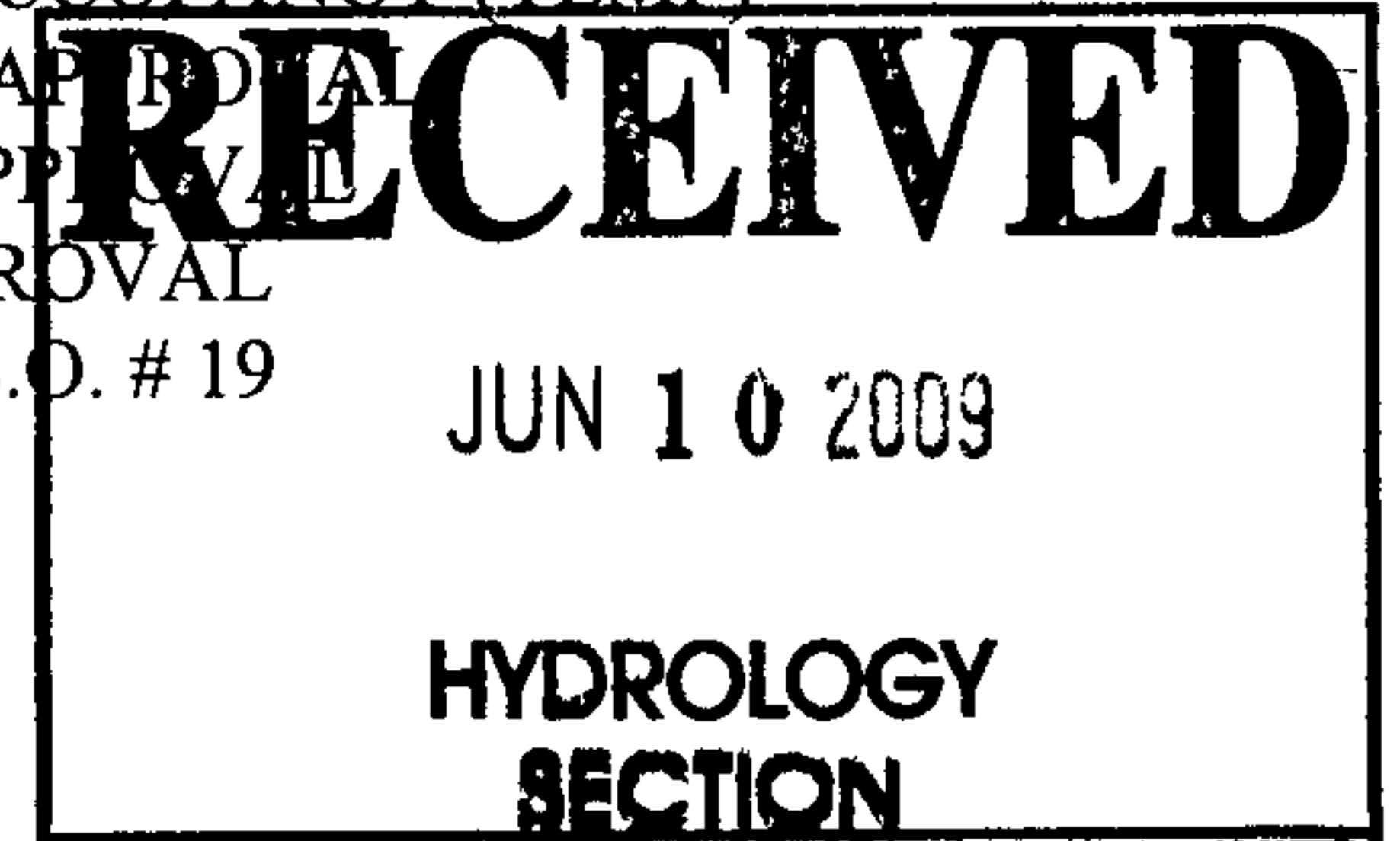
☐ YES
☐ NO
☐ COPY PROVIDED

RESUBMITTAL

SUBMITTED BY: ISAACSON & ARFMAN: Scott McGee DATE: June 28, 2009

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



CITY OF ALBUQUERQUE



July 28, 2011

Darren Sowell, R.A.
Darren Sowell Architects
4700 Lincoln Rd. NE, Suite 111
Albuquerque, NM 87109

Re: Flex Car Spa and Lube Phase 1, 10705 Central Avenue NE,
Traffic Circulation Layout
Architect's Stamp dated 07-28-11 (L21-D071)

Dear Mr. Sowell,

The TCL-submittal received 07-28-11 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

A handwritten signature in black ink, appearing to read "Kristal D. Metro".

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C: File

Metro, Kristal D.

From: Dourte, Richard H.
Sent: Thursday, July 28, 2011 9:07 AM
To: 'Buck Buckner'
Cc: Conrad, Matt A.; Pullen, Joyce M.; Metro, Kristal D.
Subject: RE: Rain Tunnel Car Spa

Mr. Buckner,

Attached are two excerpts from the sidewalk ordinance applicable to your case:

§ 6-5-5-1 SHORT TITLE.

Sections 6-5-5-1 et seq. may be known and cited as the "Sidewalk, Drive Pad, Curb and Gutter Ordinance." ('74 Code, § 8-6-1) (Ord. 219-1972; Am. Ord. 39-1981; Am. Ord. 77-1989)

§ 6-5-5-2 INTENT.

Sections 6-5-5-1 et seq. are hereby declared to be remedial and is intended to secure the following objectives:

- (A) Provision for safe, convenient, and unobstructed paths for pedestrians;
- (B) Provision for the necessary separation between pedestrians, vehicles, utilities, and street furniture;
- (C) Provision for safe and efficient driveways and street drainage;
- (D) Clear delineation and protection of the public right-of-way;
- (E) Provision for the use of suitable materials in the construction of sidewalks, curb ramps, drive pads and curb and gutter.
- (F) Authorization to permit property owners to engage their own contractor or install sidewalks themselves so long as the requirements of §§ 6-5-5-1 et seq. and other applicable provisions of this code and any other ordinances of the city are met.

6-5-5-22 ABANDONED DRIVE PAD.

All drive pads abandoned or no longer being used shall have the curb and gutter replaced and the sidewalk installed at the grade of the adjacent sidewalk as provided in §§ 6-5-4-1 et seq., Curb Cuts. ('74 Code, § 8-6-22) (Ord. 219-1972; Am. Ord. 39-1981)

As indicated above, 6-5-5-22 states that abandoned drives need to be replaced with curb and sidewalk.

Your request for building permit does give the City the right to require that the City's Ordinances are complied with. Per our GIS, the drivepad that needs to be replaced does show that about 17ft is in front of your neighbor's and 13ft is in front of your site. The entire drivepad does need to be replaced in whole, Section 6-5-5-2(A) would not be complied with if only a portion was removed and replaced with sidewalk. Although most situations that require the removal of an abandoned driveway do have most or all the driveway in front of their site, it is not unusual that a situation like this does arise from time to time.

I would be glad to expedite your project as soon as this minor change is done to your TCL. Please have your architect contact me at 924-3999 directly so that the TCL can be signed off and so that I can sign off on the building permit for Transportation.

Thank you

Richard Dourte, PE
City Engineer

From: Buck Buckner [mailto:buckner4@qwestoffice.net]

7/28/2011

Sent: Wednesday, July 27, 2011 5:07 PM
To: Dourte, Richard H.
Subject: RE: Rain Tunnel Car Spa

Dear Mr. Dourte,

Might I ask for further clarification as it relates to "curb and sidewalk requiring replacement in its entirety per City Ordinance(plz provide copy of ordinance)." Just who does ordinance state must replace curb and sidewalk under such circumstances, where majority of property frontage is that of adjacent unmotivated property owner. Does ordinance state that Car Spa by redlining on TCL and showing removal of entire curb on drawing set is now responsible for the removal of the entire curb and replacement of sidewalk. Thus, adjacent and negligent property owner gets away with ignoring same?

Please clarify, at who's expense is 75% of the adjacent "abandoned" curb and sidewalk to be corrected and restored by. In redlining and making minor correction on my drawing set for approval, am I also agreeing, inadvertently to picking up cost for third party in abandoning curb? How do we leverage adjacent land owner to participate and why should he care? He and previous owners were initially reckless in abandoning same without the permission of others and absent of any city involvement.

Thank you for your timely response. We will determine way-forward on your final response.

Buck Buckner, PE, MBA
Managing Partner
Rain Tunnel Car Spa
Two Locations:
2100 Central Ave SW and 5101 Lomas Blvd
New location coming soon: 10705 Central in East Gate
Albuquerque, NM 87104
www.Raintunnelcarspa.com
505-242-5562
505-250-8766 cell

From: Dourte, Richard H. [mailto:RDourte@cabq.gov]
Sent: Wednesday, July 27, 2011 11:49 AM
To: buckner4@qwestoffice.net
Cc: Pullen, Joyce M.; Conrad, Matt A.; Medley, Anthony L.; Metro, Kristal D.
Subject: RE: Rain Tunnel Car Spa

Mr. Buckner,

Thank you for your email dated July 25, 2011. With respect to Ms. Kristal Metro's comments all that is needed is a copy of your replat to address her first two concerns and the third concern you have basically answered, the driveway to the west of your site is abandoned, thus it needs to be removed and replaced with sidewalk and curbing per City Ordinance, it needs to be replaced in its entirety (this can be redlined on a copy of the TCL). Please have your architect Mr. Sowell contact Kristal or myself to make this minor driveway correction so that the TCL can be approved and thus Transportation may be able to approve the building permit.

A copy of the plat can be provided to us anytime prior to CO request.

7/28/2011

Thank you

Richard Dourte, PE
City Engineer

From: Conrad, Matt A.
Sent: Tuesday, July 26, 2011 3:55 PM
To: Medley, Anthony L.; Dourte, Richard H.
Cc: Pullen, Joyce M.
Subject: FW: Rain Tunnel Car Spa

FYI.
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Can we get John to move this to the top of the pile?
Richard,
Is there a way to help Mr. Buckner?
Thanks.
Matthew

From: Pullen, Joyce M.
Sent: Tuesday, July 26, 2011 3:44 PM
To: Conrad, Matt A.
Subject: Rain Tunnel Car Spa

Hi Matthew,

Would you please take a look at this and advise.....Thanks, Joyce

From: webmaster@cabq.gov [mailto:webmaster@cabq.gov]
Sent: Monday, July 25, 2011 5:58 PM
To: Mayor Berry
Subject: Citizen Suggestion

Your Name
Buck
Your Organization
Rain Tunnel Car Spa
Your E-Mail Address
buckner4@qwestoffice.net
Mailing Address
2100 Central Avenue SW
City
Albuquerque
State
New Mexico
Zip Code
87104
Telephone Number
505-242-5562
Fax Number
505-224-9720
Subject of your comments

7/28/2011

Red Tape to pulling Construction Permit and obtaining construction loan
Comments

Hello Mayor Berry,

I need your help on this endeavor – Project Red Tape is growing. Car Spa resubmitted a construction project that was previously approved by city plan check group, for fastrac approval. the majority of agencies responded quickly in sign off to get economy moving with planned \$3MM injection into the ABQ economy, not to mention jobs and sales taxes to follow. However, However two final project review entities MEP and TCL appear to have their own constraints that are bigger than the need to improve ABQ's immediate economic picture.

Read about the internal ranglings that are taking place in back office to get something done in our fine town. Please help.

In the area of M/E/P (John Sheets - contact), they are claiming that they cannot get to our project, because they are under staffed due to terminations made in department. As many are aware, our plan check review and sign-off expired as a result of bank of West construction loan default during financial crisis of 2008-2009. After three years we have finally found a financial partner willing to go forward with our growth plan. Therefore, we were asked by the city to ante up additional fees for re-review, signoff and Fastrax. Most departments responded to the fastrax project assignment requested. Most review groups followed thru by noting previous signatures, reviewed code changes, if any, addressed and signed-off. However, M/E/P does not appear to recognize fastrax for our project. Base on M/E/P response No.1 to DSA, someone internally is setting a different priority than what was expressed regarding Car Spa plans during re-submittal and fee assessment. We are going on week 3 and they are still identifying projects as fastrax and moving them before ours. Can you get this project permanently in que for quick review and signoff. We just spent \$8m added cost to have drawing updated for new energy code that simply increase our building cost in some very questionable areas(ie, lube area –open garage doors – need added insulation for operating in ambient conditions).

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1. Show the property lines on the plan; a cross access easement is required.
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While questions 1&2 can be resolved with a copy of the newly approved land plat, questions 3 becomes somewhat daunting with suggestions made and imply by Ms. Metro.

For the past 20 years there has been a shared driveway between Car Spa recently purchase property(8/2008) and property to the south. Majority of curb cut fronts south land owners property (15-17 feet). Car Spa plans, presented to Ms. Metro, show partial removal and redress of this curb cut to the property line. This portion of the curb is not needed in the Car Spa development. On the southward adjacent car lot, the land owner, more than ten years ago, elected to fence off his portion of curbcut with a permanent 7 foot wrought iron fence. However, Ms. Metro both implied and suggested to get TCL approval that Car Spa approach an unmotivated land owner to sign a letter agreeing that curb-cut is no longer needed (apparent by permanent fence off) and to join Car Spa in possible shared cost of complete removal of shared curb fronting both properties. Firstly, we are appalled that city would suggest we attend to the

business requirements of another land owner and frontage property of which we have no leverage or influence and adjacent landowner has zero motivation to be compliant. In the Car Spa development endeavor we have demonstrated a willingness to do our part and more as it relates to our development(meeting all redevelopment interim building guidelines that were eventually removed from the final city approved guidelines). Additionally, we addressed the curb related to our own property. In working with our financing bank, it has been made quite clear that we do not have a limitless budget to achieve our expansion goals. We believe what is being ask is both undue and without legal basis or tenant. Essentially the city of ABQ is indirectly asking Car Spa to absorb the cost of removal of curb cut of adjacent owner who has fail to act responsibly in past years to remove same when deemed no longer necessary. Car Spa should only be held accountable for development property own and developed by them and not others. This same kind of rangling is holding up \$3mm investment into our economy, because if we cannot get permit, we cannot close construction loan, ..we cannot build,... we cannot charge or collect sales tax for city, we cannot hire unemployed We must decide what is of the utmost importance to our citizenry and not try to shift responsibility of others on new developers.

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Project Submitted July 8, 2011

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Buck,

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Craig Calvert, DSA

I'll keep you posted.

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Once we have Kristal's (Transportation) approval on comment #3, we will only be waiting on M/E/P.

Craig Calvert, DSA

Dourte, Richard H.

From: Dourte, Richard H.
Sent: Wednesday, July 27, 2011 11:49 AM
To: 'buckner4@qwestoffice.net'
Cc: Pullen, Joyce M.; Conrad, Matt A.; Medley, Anthony L.; Metro, Kristal D.
Subject: RE: Rain Tunnel Car Spa

Mr. Buckner,

Thank you for your email dated July 25, 2011. With respect to Ms. Kristal Metro's comments all that is needed is a copy of your replat to address her first two concerns and the third concern you have basically answered, the driveway to the west of your site is abandoned, thus it needs to be removed and replaced with sidewalk and curbing per City Ordinance, it needs to be replaced in its entirety (this can be redlined on a copy of the TCL). Please have your architect Mr. Sowell contact Kristal or myself to make this minor driveway correction so that the TCL can be approved and thus Transportation may be able to approve the building permit.

A copy of the plat can be provided to us anytime prior to CO request.

Thank you

Richard Dourte, PE
City Engineer

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Craig Calvert, DSA

7/27/2011

CITY OF ALBUQUERQUE



DRB# 1008005

July 21, 2011

Darren Sowell, R.A.
Darren Sowell Architects
4700 Lincoln Rd. NE, Suite 111
Albuquerque, NM 87109

Re: Flex Car Spa and Lube Phase 1, 10705 Central Avenue NE, 7
Traffic Circulation Layout
Architect's Stamp dated 06-29-11 (L21-D071)

Dear Mr. Sowell,

Based upon the information provided in your submittal received 07-11-11, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Show the property lines on the plan; a cross access easement is required.
2. All public sidewalk located outside City right of way must have a public sidewalk easement.
3. The plan appears to indicate a portion of an existing curb cut is to be removed (southwest corner of site). Is the curb cut in use? What width will remain after this reduction?

If you have any questions, you can contact me at 924-3991.

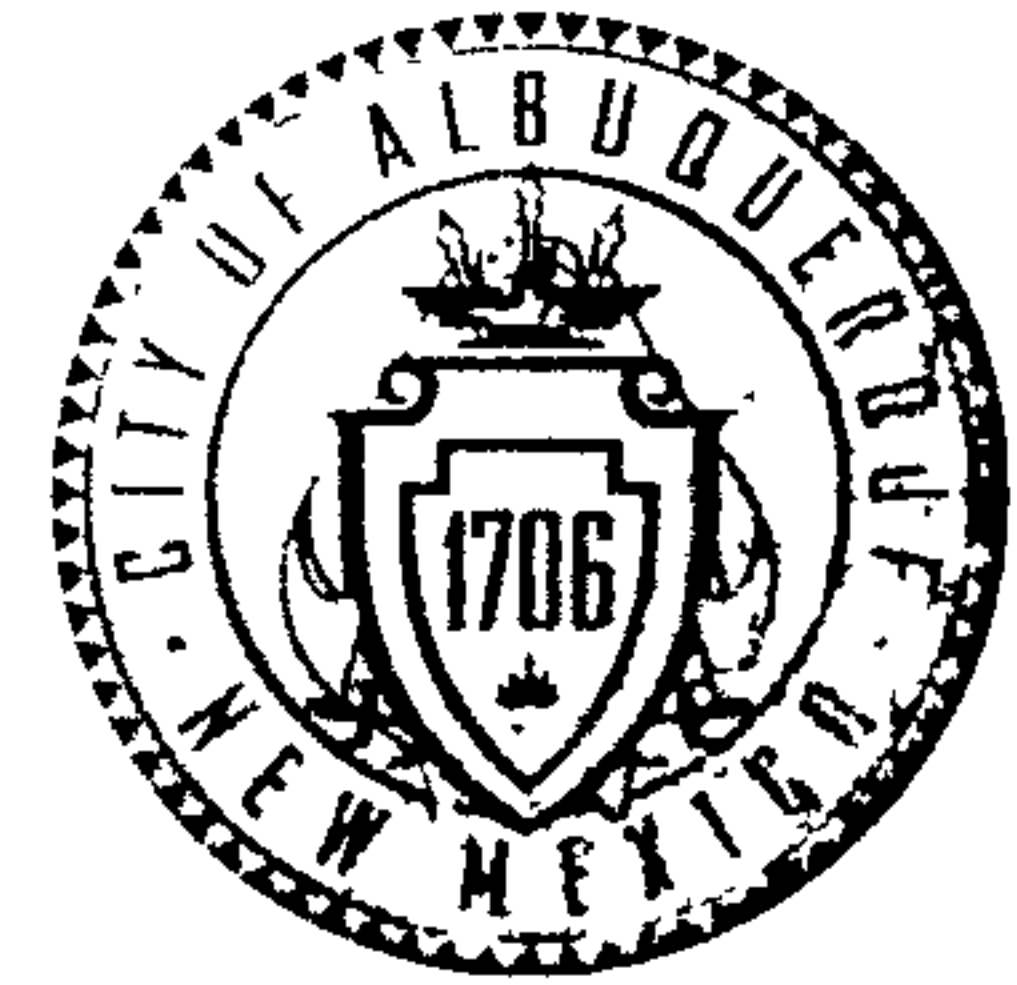
Sincerely,

A handwritten signature in black ink, appearing to read "Kristal D. Metro".

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C: File

CITY OF ALBUQUERQUE



July 22, 2009

Darren Lee Sowell, R.A.
Daren Sowell Architects
4700 Lincoln NE Ste 111
Albuquerque, NM 87109

**Re: Flex Car Spa & Lube—Ph 1, 10705 Central Ave. NE, Traffic Circulation
Layout**

Architect's Stamp dated 6-29-09 (L-21/D071)

Dear Mr. Sowell,

Based upon the information provided in your submittal received 7-21-09, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. All wheelchair ramps within the City Right-of-Way are required to have truncated domes. Keyed note 5 can be amended to reflect the truncated domes requirement.
2. The TCL plan will need to be designed with an engineering scale.
3. This site has left turn access; the drivepad must be 36-foot minimum width.
4. Please include the details specified on the plan.
5. The pedestrian access pathway and sidewalk along Central will need a 5' clear landing at a of 1:50 slope.

6. Provide executed SW easement (note 36)

If you have any questions, you can contact me at 924-3630.

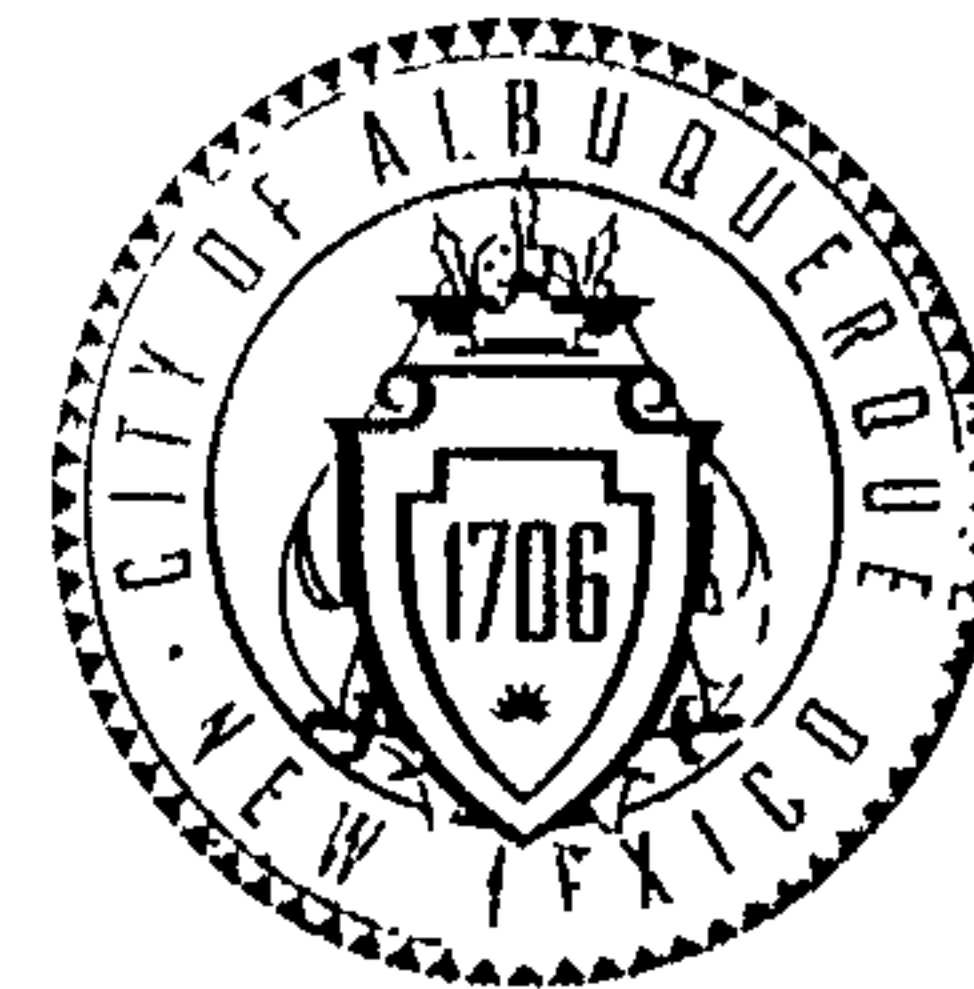
Sincerely,

Nilo Salgado-Fernandez, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

paper easement
09/08/09 NSF

C: File

CITY OF ALBUQUERQUE



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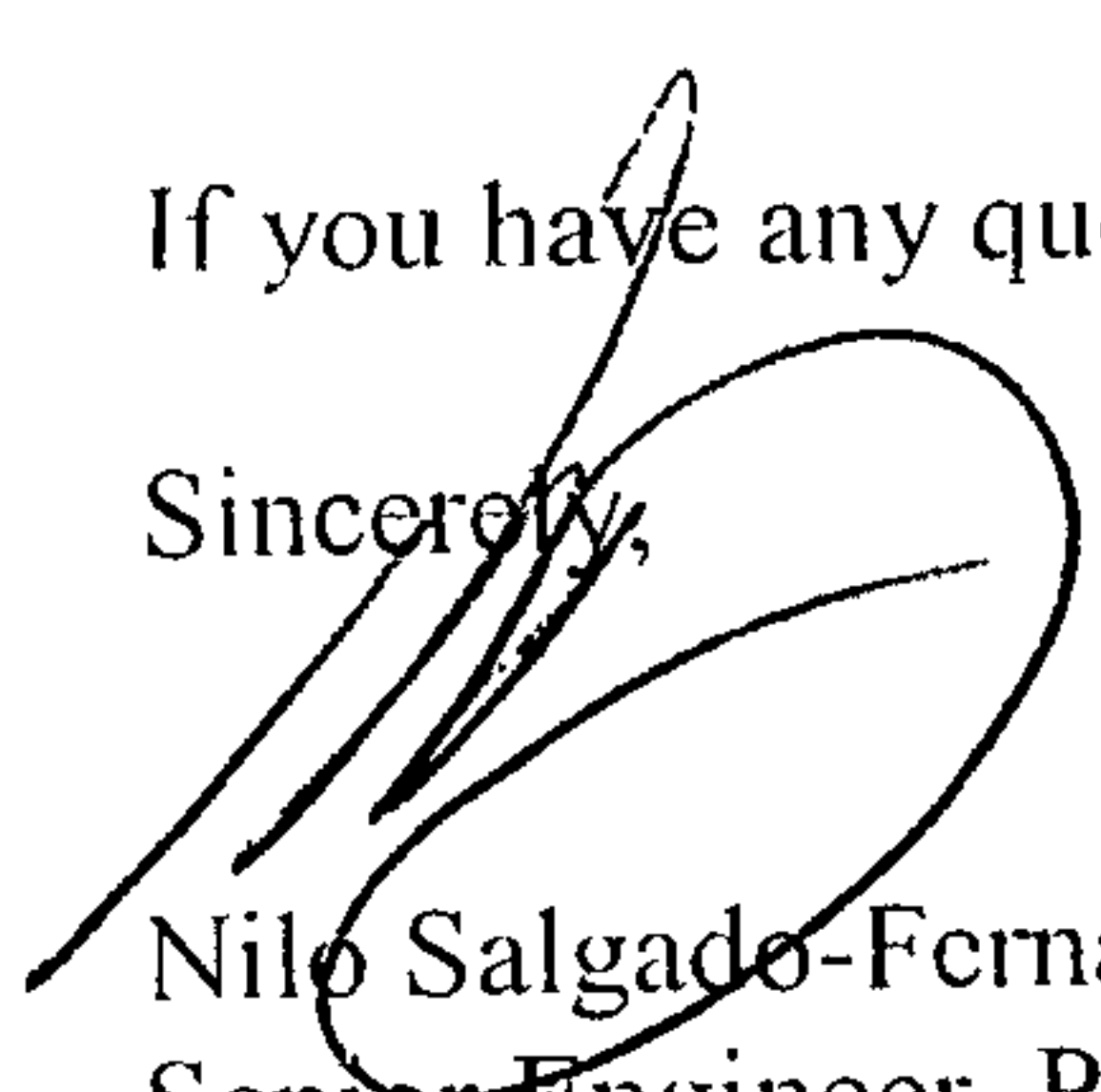
Dear Mr. Sowell,

Based upon the information provided in your submittal received 7-21-09, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

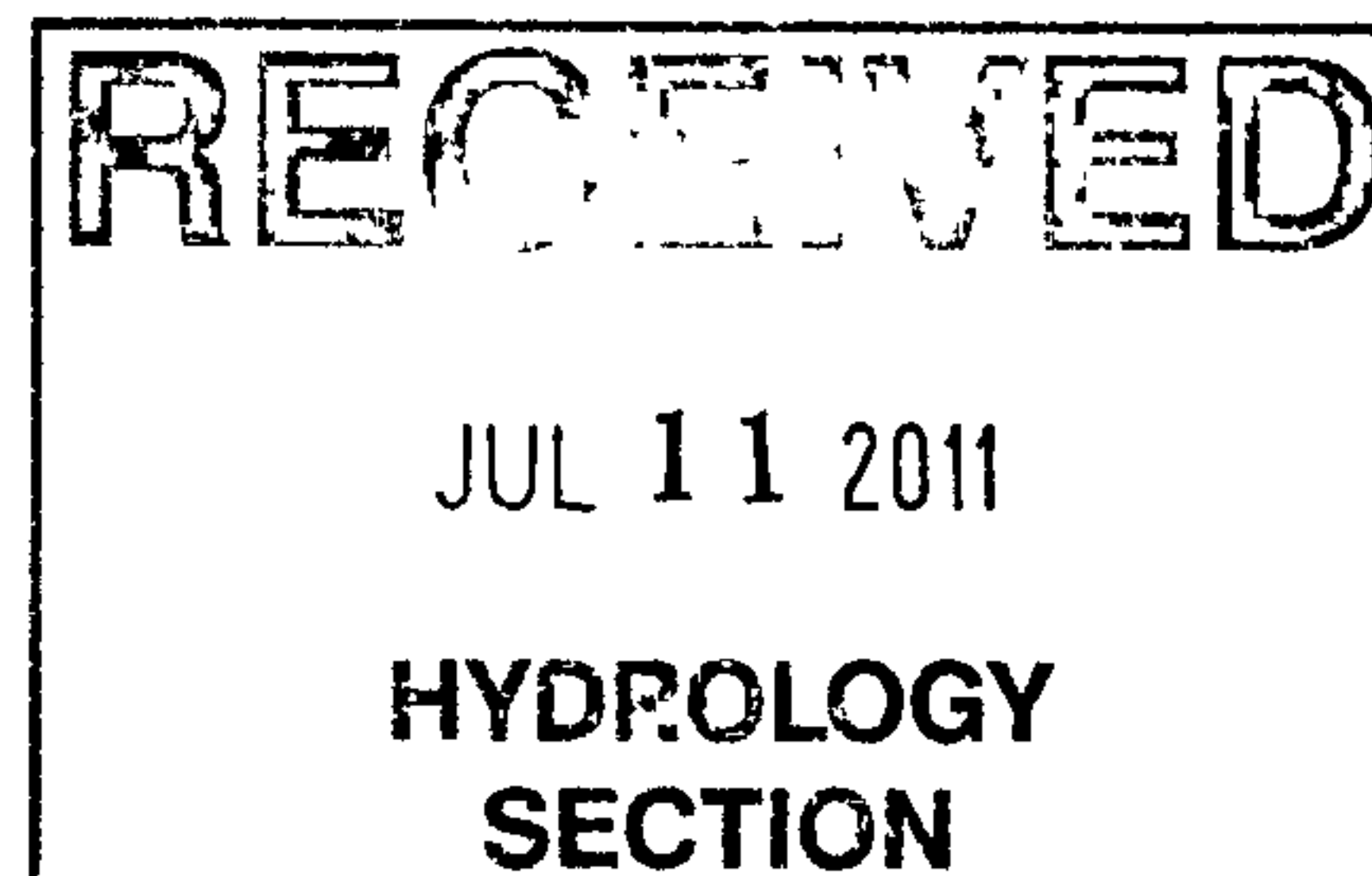
1. All wheelchair ramps within the City Right-of-Way are required to have truncated domes. Keyed note 5 can be amended to reflect the truncated domes requirement. *See Gen. Note A & Revised Keyed note 5*
2. The TCL plan will need to be designed with an engineering scale. *Changed to 1:20*
3. This site has left turn access; the drivepad must be 36-foot minimum width.
4. Please include the details specified on the plan. *Sheets ASE01 & ASE02 Included*
5. The pedestrian access pathway and sidewalk along Central will need a 5' clear landing at a of 1:50 slope. *Revised, See Plan*

If you have any questions, you can contact me at 924-3630.

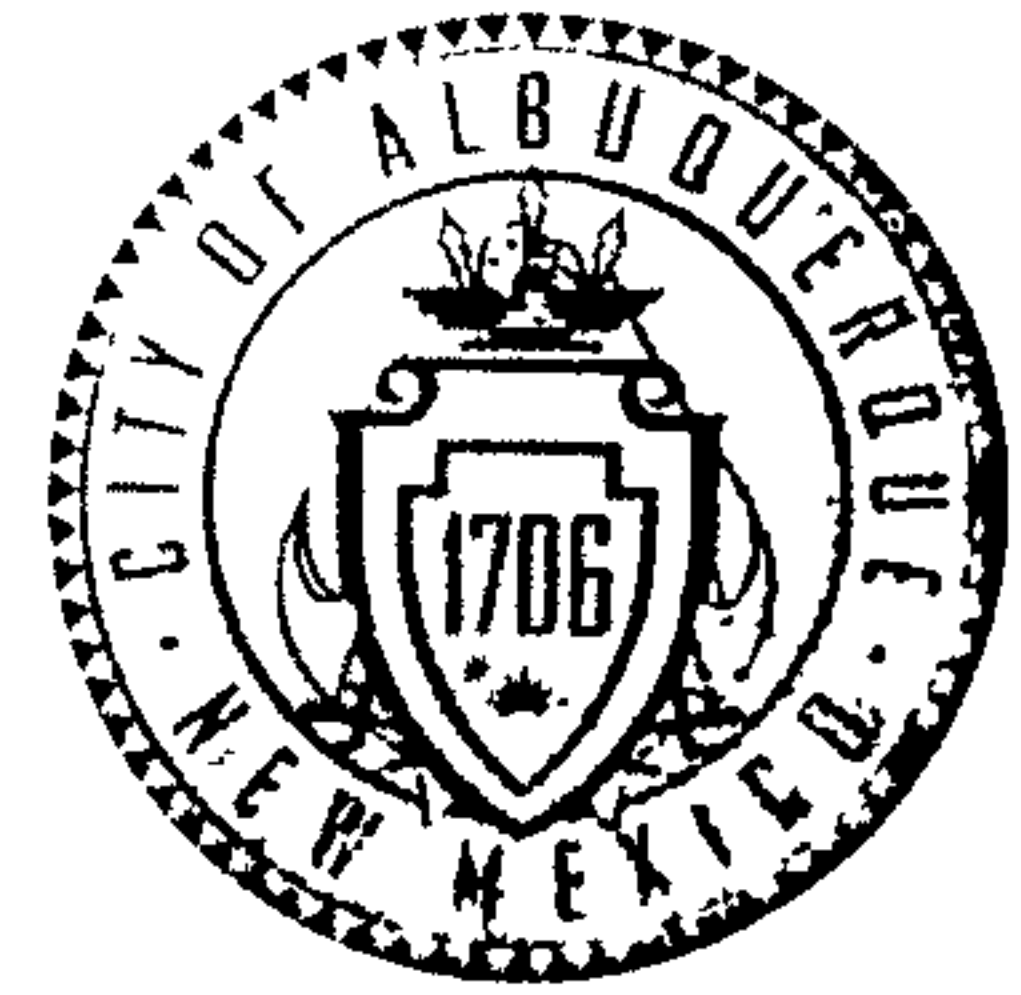
Sincerely,


Nilo Salgado-Fernandez, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: File



CITY OF ALBUQUERQUE



June 4, 2009

Scott M. McGee, P.E.
Isaacson & Arfman, P.A.
128 Monroe Street NE
Albuquerque, NM 87108

Re: Flex Car Spa & Lube
10705 Central Ave. NE, Building Permit and SO-19
Engineer's Stamp dated 05-28-09 (L21-D071)

Dear Mr. McGee,

Based upon the information provided in your submittal received 05-28-09, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. **Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.**

The above referenced plan is also approved for an SO-19 permit. A copy of this approval letter must be on hand when applying for the excavation permit. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required. Be advised that no Certificate of Occupancy, temporary or permanent, will be released prior to inspection and approval of the storm drain connection / sidewalk culvert by the Storm Drain Maintenance department. Contact Duane Schmitz at 235-8016 to schedule an inspection.

If you have any questions, you can contact me at 924-3630.

Sincerely,


Nilo Salgado-Fernandez, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: Antoinette Baldonado, Construction Services
Duane Schmitz, DMD Street/Storm Maintenance (Pino Yards)
[File]