

## SITE DATA

LEGAL DESCRIPTION: TRACTS "B" AND "C" OF THE LONGFIELD ADDITION  
ADDRESS: 10705 CENTRAL AVENUE, NE  
SITE AREA: 2.2641 ACRES  
PHASE I AREA: 1.2848 ACRES  
ZONING: C-2  
DESIGN REGULATIONS: INTERIM DEVELOPMENT MANAGEMENT AREA DESIGN REGULATIONS (R-08-15),  
COMPREHENSIVE CITY ZONING CODE & DEVELOPMENT PROCESS MANUAL

## PARKING CALCULATIONS

REQUIRED: 1 SPACE / 300 SF OF NET LEASABLE AREA.  
1,148 SF / 300 = 3.8267  
PARKING PROVIDED: 5 SPACES  
ADA PARKING PROVIDED: 1 SPACE

MOTORCYCLE PARKING PROVIDED: 1 SPACE  
BICYCLE PARKING PROVIDED: 2 SPACES

## GENERAL NOTES

- ALL WHEELCHAIR RAMPS IN THE CITY RIGHT OF WAY SHALL HAVE A MAXIMUM SLOPE OF 1:12 AND MUST HAVE A DETECTABLE WARNING SURFACE CONSISTING OF RAISED, TRUNCATED DOMES. LANDING SLOPE CANNOT EXCEED 1:50.
- A SEPARATE PERMIT IS REQUIRED FOR BUILDING & MONUMENT SIGNS.

## KEYED NOTES

- EXISTING CONCRETE CURB & GUTTER TO REMAIN.
- NEW STANDARD CURB & GUTTER PER COA STANDARD DETAIL 2415A.
- FUTURE DEVELOPMENT, NIG.
- NEW PRIVATE ENTRANCE PER COA STANDARD DETAIL 2426.
- NEW WHEELCHAIR RAMP IV MAX. SLOPE OF 1:12 PER COA STANDARD DETAIL 2426. MUST HAVE TRUNCATED DOMES.
- NEW CONCRETE CURB & GUTTER, SEE DETAIL 3 / A5501.
- NEW ASPHALT PAVING, SEE DETAIL 15 / A5501.
- NEW TEMPORARY ASPHALT CURB, SEE DETAIL 14 / A5501.
- NEW 3' HIGH CMU SCREEN WALL, SEE DETAIL 20 / A5501.
- NEW MONUMENT SIGN, SEE DETAIL 2 / A5502.
- NEW SHADE STRUCTURE, SEE ELEV 5 / A5502 & STRUCTURAL.
- NEW 4" WIDE PAVEMENT MARKING.
- NEW CONCRETE CROSSWALK, SEE DETAIL 15 / A5501.
- NEW CONCRETE SIDEWALK, SEE DETAIL 13 / A5501.
- NEW 4" THICK CONCRETE PAVING, SEE DETAIL 14 / A5501.
- NEW DUMPSTER/VACUUM ENCLOSURE, SEE DETAIL 5 / A5501.
- NEW BIKE RACK, SEE DETAIL 1 / A5501.
- NEW CONCRETE FILLED PIPE BOLLARD, SEE DETAIL 2 / A5501.
- NEW STOP SIGN, SEE DETAIL 10 / A5501.
- NEW ACCESSIBLE PARKING SIGN, SEE DETAIL 12 / A5501.
- AUTOMATIC CASHIER KIOSK AND GATE, SEE DETAIL 1 / A5502.
- NEW CARWASH TUNNEL SLAB, SEE STRUCTURAL.
- NEW CARWASH CONVEYOR TRENCH, SEE STRUCTURAL.
- NEW ACCESSIBLE RAMP IV MAX. SLOPE OF 1:12, SEE DETAIL 18 / A5501.
- NEW ACCESSIBLE PARKING SIGN, SEE DETAIL 11 / A5501.
- NEW EXTERIOR LIGHT POLES, SEE DETAIL 9 / A5501.
- NEW PAINTED DIRECTIONAL ARROW, SEE DETAIL 4 / A5502.
- NEW PAINTED "DO NOT ENTER" SIGN (TYPICAL). SEE DETAIL 5 / A5502.
- NEW SQUARE TABLE 48" SQUARE, EXPANDED METAL TABLE TRADITIONAL EDGE SINGLE-PEDESTAL IV SURFACE MOUNT PLATE 100" WIDE SEATS WITH UMBRELLA HOLE FOR STANDARD 1 1/2" DIAMETER POLE. AS MANUFACTURED BY UPEAT SITE FURNISHINGS ITEM# FSC-F1404.
- EXISTING FIRE HYDRANT TO REMAIN.
- NEW FIRE HYDRANT, SEE SHEET CU-101.
- 20' WIDE FIRE ACCESS LANE.
- NEW UNDERGROUND VACUUM SYSTEM PIPING TO BE INSTALLED BY THE PLUMBING SUBCONTRACTOR. REFER TO SHEET Z-104 FOR VACUTECH SHOP DRAWINGS.
- NEW CONCRETE FOOTING FOR ARCH VACUUM STANCHION TO BE INSTALLED BY THE GC. REFER TO SHEET Z-104 FOR VACUTECH SHOP DRAWINGS.
- EXISTING DRIVEWAY, SIDEWALK AND CURB & GUTTER TO BE REMOVED. SEE SHEET AD101 FOR MORE INFORMATION.
- NEW PUBLIC SIDEWALK EASEMENT.
- NEW PRE-MANUFACTURED WHEEL STOP.
- NEW MOTORCYCLE PARKING SPACE & SIGN.
- EXISTING 6' CMU WALL TO REMAIN.
- EXISTING CMU WALL/SELF STORAGE BUILDING TO REMAIN.



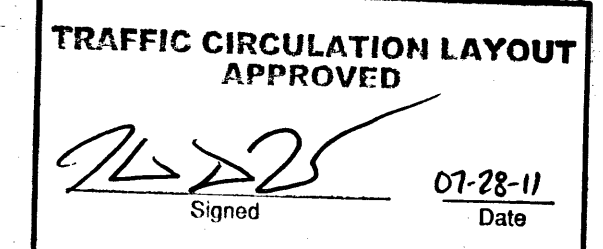
Darren Sowell  
ARCHITECTS

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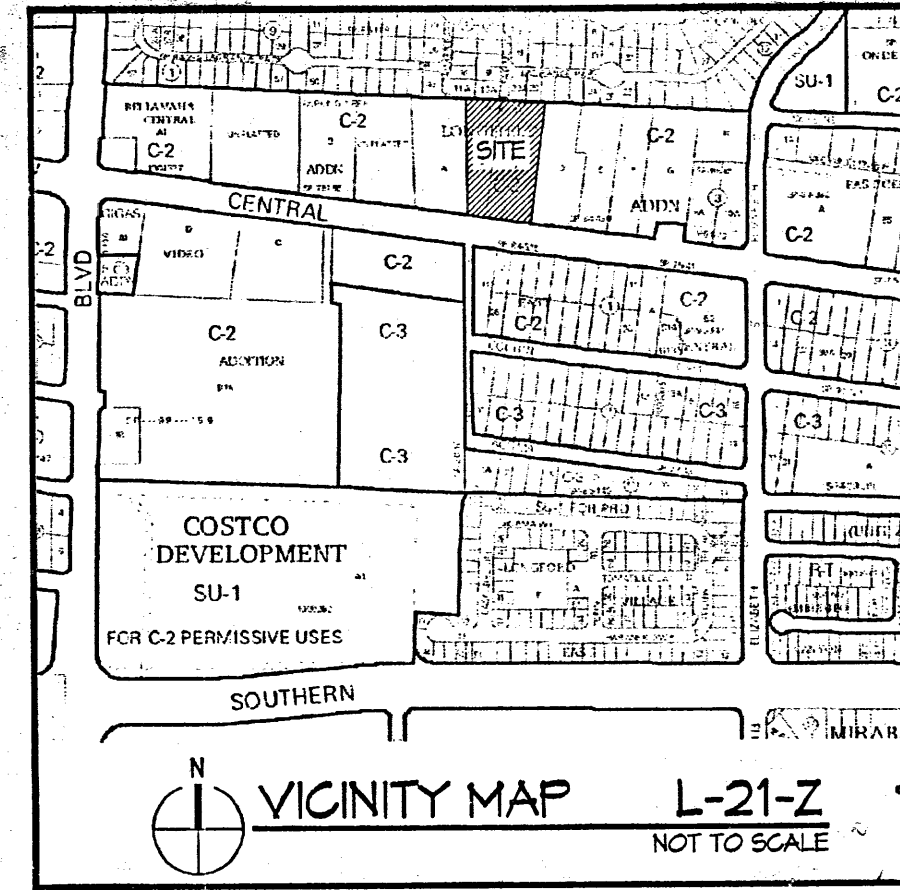
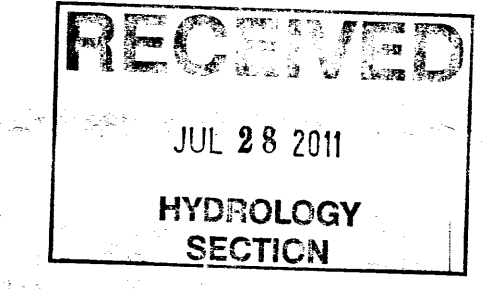
7-28-11

Flex Car Spa & Lube  
Phase I Development  
10705 Central Avenue, NE  
Albuquerque, NM 87123

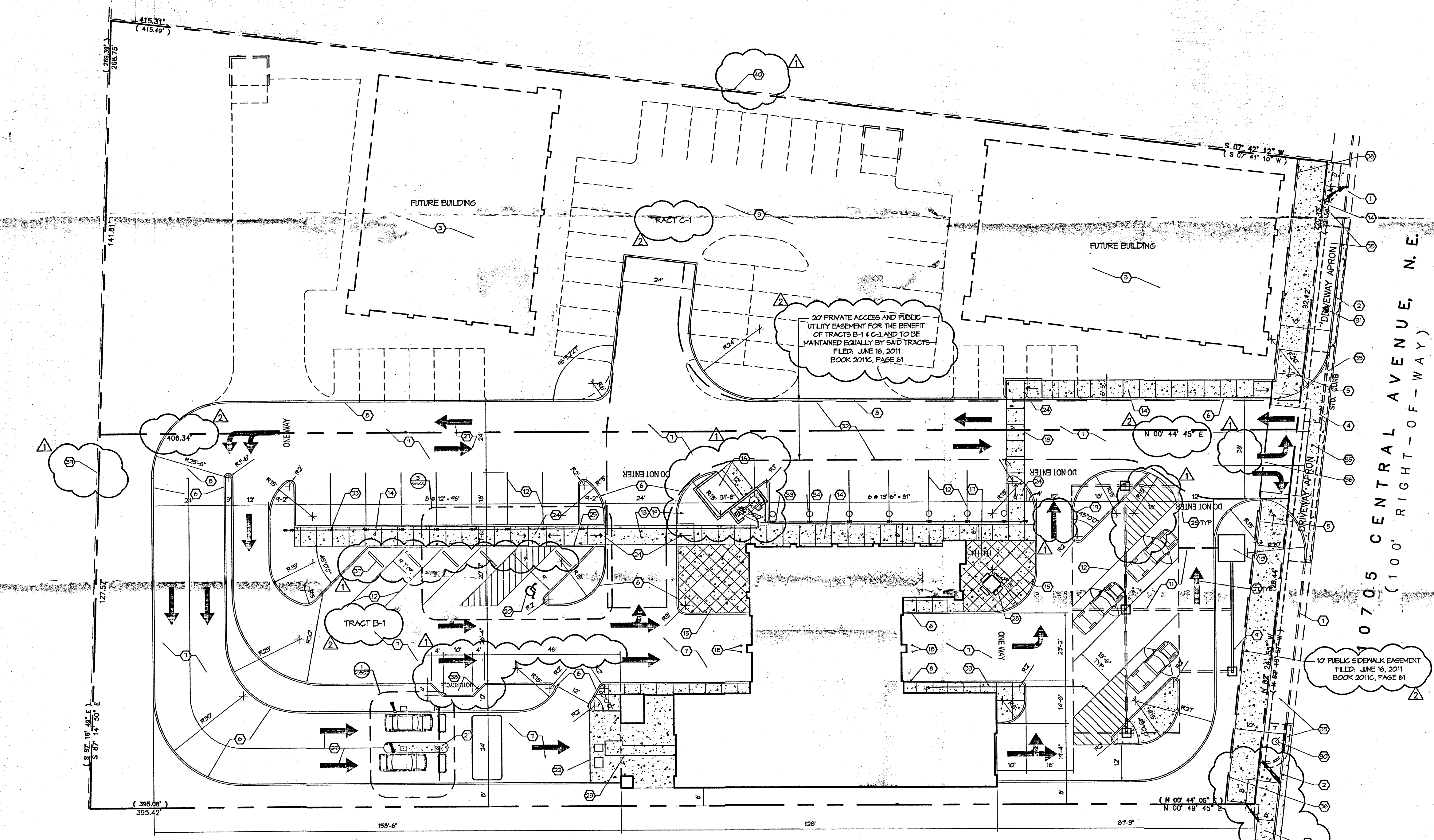


Public Infrastructure shown on these plans for information only and not part of approval. Separate DRC/Permit approval and Work Order required.

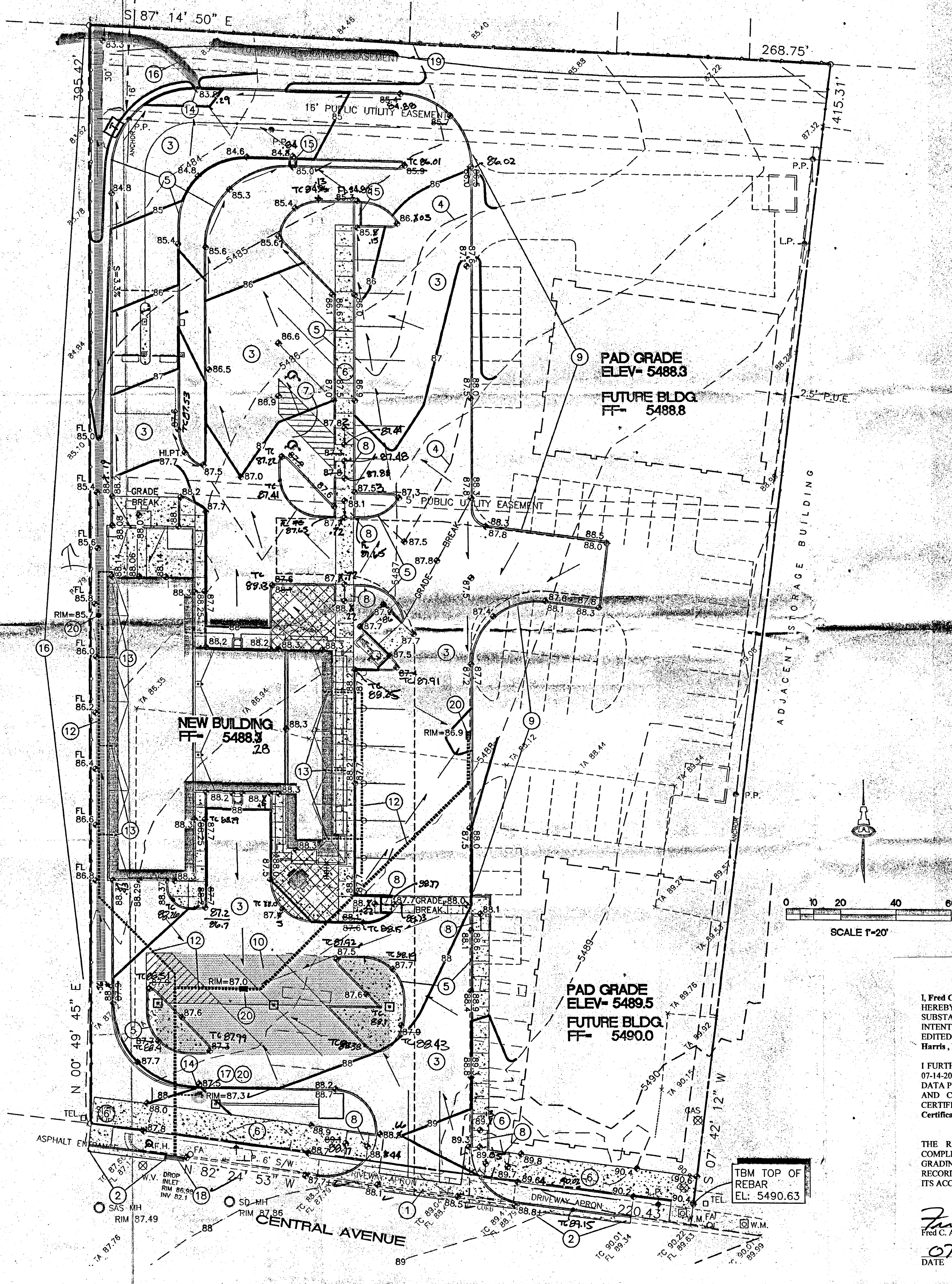
ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.



1	9-2-09	PLAN REVIEW COMMENTS
2	7-28-11	TCL REVIEW COMMENTS
Project Number		
Drawn By		
Checked		
Issue Date June 10, 2009		
ARCHITECTURAL SITE PLAN		
Scale: AS SHOWN		
PROJECT AS101		
OCT - 9 2014		







## GENERAL NOTES

- COORDINATE WORK WITH SITE PLAN, UTILITY PLAN AND LANDSCAPE PLAN.
  - IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION. REPORT ALL DISCREPANCIES TO THE ARCHITECT AND VERIFY THE ARCHITECT'S INTENT BEFORE PROCEEDING.
  - ADJUST RIMS OF EXISTING UTILITY FEATURES AS NECESSARY TO MATCH NEW GRADES. TYPICAL CONTRACTOR TO FIELD VERIFY AND PROTECT ALL EXISTING UTILITIES WITHIN AREA TO BE IMPROVED.
  - ALL NEW PAVEMENT SURFACES SHALL BE CONSTRUCTED WITH POSITIVE SLOPE AWAY FROM BUILDINGS AND POSITIVE SLOPE TOWARD EXISTING / PROPOSED DRAINAGE PATHS. WHERE NEW GRADES ARE SHOWN AS "±", TRANSITION TO EXISTING SHALL BE SMOOTH AND LEVEL.
  - WATER SHALL NOT POND ON PAVED AREAS.
  - FINAL GRADES SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF CONCRETE BUILDING PAD, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRADE, COMPACT SUBGRADE AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS MATERIAL THICKNESSES.
  - ALL COBBLES TO BE 6" AVG. DIA. ANGULAR FACED ROCK PLACED OVER GEOTEX 50 NON-WOVEN GEOTEXTILE (O.E.). NOTE: PERMANENT TURF REINFORCEMENT MATERIAL (LANDLOK TRM 450 O.E.) MAY BE SUBSTITUTED AT ALL AREAS REFERENCING COBBLE EROSION PROTECTION.
  - ALL SIDESLOPES  $\geq 3:1$  MUST HAVE PERMANENT EROSION CONTROL (COBBLES OR LANDLOK TRM 450 O.E.) INSTALLED. TYPICAL.
- OWNER SHALL MAINTAIN EROSION PROTECTION ELEMENTS. OWNER SHALL INSPECT SITE YEARLY AND AFTER EACH RAINFALL TO IDENTIFY NEW AREAS OF EROSION AND INSTALL ADDITIONAL EROSION PROTECTION AS NEEDED BASED ON ACTUAL OCCURRENCES.

## PROPERTY NOTES

LEGAL: TRACTS "B" AND "C" OF THE LONGFIELD ADDITION

ADDRESS: 10705 CENTRAL AVE. N.E.

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE A COMMERCIAL CAR-WASH FACILITY WITH ASSOCIATED ASPHALT PAVED ACCESS, PARKING, AND LANDSCAPING. TWO FUTURE COMMERCIAL BUILDINGS SITES WILL BE ROUGH GRADED AS PART OF THIS PROJECT (SAME OWNER).

BENCHMARK: ACS MONUMENT "6-121" ELEVATION= 5503.28 (NAVD88)

TBM: REBAR AT SOUTH EAST CORNER ELEVATION= 5490.63

OFF-SITE: NO OFF-SITE FLOW ENTERS THE PROPERTY OTHER THAN ALLOWABLE UPSTREAM DISCHARGE PASSING WITHIN AN EXISTING PRIVATE DRAINAGE EASEMENT ALONG THE NORTH PROPERTY LINE. THIS FLOW WILL CONTINUE TO PASS FLOW TO THE PROPERTY TO THE WEST.

FLOOD HAZARD: THIS PROPERTY LIES WITHIN ZONE "X" (NO FLOOD HAZARD) AND IS NOT SUBJECT TO 100-YEAR FLOOD HAZARDS. REFERENCE: FLOOD INSURANCE RATE MAP, ALBUQUERQUE, NEW MEXICO PANEL 350002 0359 F EFFECTIVE DATE: NOVEMBER 19, 2003.

EXISTING CONDITIONS: THE PROPERTY WAS PREVIOUSLY DEVELOPED. ALTHOUGH THERE IS NO BUILDING ON-SITE, APPROXIMATELY 30% OF THE SITE CONSISTS OF OLD ASPHALT PAVEMENT WITH THE REMAINDER COMPACTED GRAVEL AND DIRT. THE SITE DRAINS TO THE NORTHWEST CORNER OF THE PROPERTY TO PASS WITHIN A DRAINAGE EASEMENT TO AN EXISTING DETENTION POND TWO LOTS WEST (SEE VICINITY MAP). FLOW COLLECTED WITHIN THIS DETENTION POND IS PUMPED INTO THE CENTRAL AVENUE STORM DRAIN. A WEIR INCORPORATED INTO THE POND ALLOWS HISTORIC OFF-SITE FLOW TO PASS TO THE ADJACENT LOT TO THE WEST TO CONTINUE ALONG THE HISTORIC FLOWPATH.

DRAINAGE PLAN CONCEPT: THE SITE WILL BE DIVIDED INTO TWO BASINS. PRIVATE STORM DRAIN SYSTEM WILL BE INSTALLED TO COLLECT APPROX. 53% OF THE DEVELOPED RUNOFF (SOUTH BASIN) INCLUDING THE PROPOSED BUILDING AND ROUTE TO THE EXISTING PUBLIC STORM DRAIN INLET WITHIN CENTRAL AVE. THE REMAINING 46% OF THE DEVELOPED RUNOFF (NORTH BASIN) WILL CONTINUE TO PASS THROUGH THE EXISTING DRAINAGE EASEMENT TO ENTER THE EXISTING DETENTION POND LOCATED ON TRACT 8 (TWO LOTS WEST).

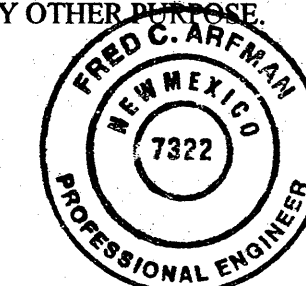
## DRAINAGE CERTIFICATION (SCALE 1/2")

I, Fred C. Arfman, NMPE No. 7322, OF THE FIRM Isaacson & Arfman, P.A., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 06/10/09 THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY Tony Harris, NMPS No. 11463 OF THE FIRM Harris Surveying.

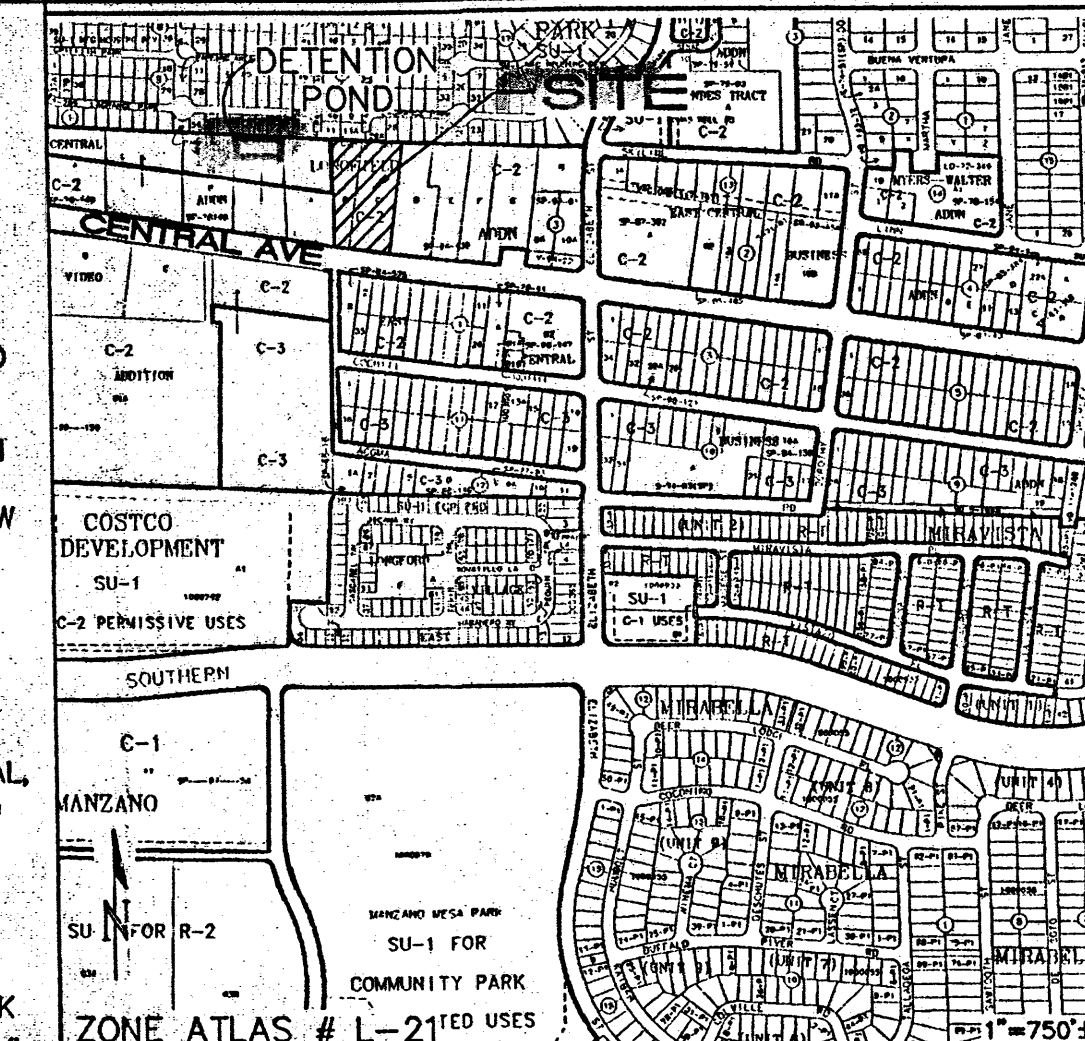
I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 07-14-2012 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR Permanent Certificate of Occupancy.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

*Fred C. Arfman*  
Fred C. Arfman, NMPE No. 7322  
DATE 07.17.2012



## VICINITY MAP



## KEYED NOTES

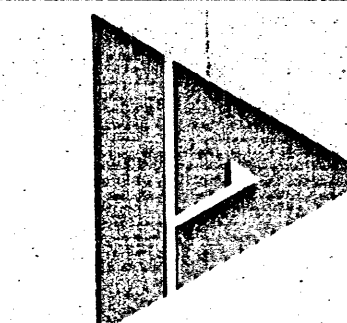
- CONSTRUCT NEW PRIVATE ENTRANCE DRIVE WITH CONCRETE VALLEY GUTTER AND HANDICAP RAMPS EACH SIDE PER C.O.A. STD. DWG. 2526. MATCH EXISTING FOR SMOOTH TRANSITION.
- NEW C.O.A. STANDARD CURB AND GUTTER / PUBLIC WALK PER C.O.A. STD. DWGS. 2415A, 2430 AND 2431. BE CONSTRUCTED THIS AREA TO REPLACE EXISTING CONCRETE DRIVECUT. MATCH EXISTING FOR SMOOTH TRANSITION.
- CONSTRUCT ASPHALT PAVING AT ELEVATIONS SHOWN. SEE ARCHITECTURAL FOR PARKING LAYOUT.
- DASHED PROPOSED CONTOURS REPRESENT 0.5' INCREMENTS TO ASSIST WITH IDENTIFICATION OF PROPOSED DRAINAGE PATHS.
- CONSTRUCT MEDIAN CURB AND GUTTER AT ALL ON-SITE CURB LOCATIONS UNLESS NOTED OTHERWISE.
- CONSTRUCT CONCRETE WALK AT ELEVATIONS SHOWN.
- SLOPES WITHIN HANDICAP PARKING AREA TO MEET ADA REQUIREMENTS. MAX. SLOPE = 2% IN ANY DIRECTION.
- CONSTRUCT HANDICAP ACCESS RAMP TO ADA STANDARDS.
- CONSTRUCT TEMPORARY ASPHALT CURB ALONG EAST EDGE OF ASPHALT. COORDINATE WITH ARCHITECTURAL SITE PLAN.
- HATCHED AREA IDENTIFIES OVERHEAD CANOPIES.
- NOT USED
- INSTALL PRIVATE STORM DRAIN SYSTEM THIS AREA. SEE SHEET CG-102 FOR SIZES / SLOPES / INLET INFORMATION.
- ALL ROOF DISCHARGE TO BE PIPED DIRECTLY INTO PRIVATE STORM SEWER SYSTEM. SEE ARCHITECTURAL AND PLUMBING PLANS FOR SPECIFIC ROOF DISCHARGE INFORMATION WITHIN 5' OF BUILDING.
- PROVIDE 2.0' WIDE OPENING IN CURB TO PASS FLOW.
- CONSTRUCT 2.0' WIDE (BOTTOM WIDTH) 'U' SHAPED CONCRETE CHANNEL THROUGH LANDSCAPED ISLAND TO PASS FLOW. SEE DETAIL SHEET CG-102.
- CONSTRUCT 3' WIDE (MIN.) FRACTURED FACE ROCK SWALE (SHOWN HATCHED) AT 1% MIN. SLOPE TO DIRECT FLOW TO NORTH DRAINAGE EASEMENT.
- CONSTRUCT 2.0' WIDE FRACTURED FACE ROCK SWALE TO DIRECT CONCENTRATED DISCHARGE TO PROPOSED STORM DRAIN INLET.
- CONNECT PRIVATE 12" STORM DRAIN SYSTEM TO EXISTING CATCH BASIN PER COA STD DWG #2237.
- CONTRACTOR TO REMOVE ALL TRASH FROM EASEMENT AREA TO RE-ESTABLISH CLEAR DRAINAGE PATH.
- BUILD STORM DRAIN INLET. SEE DETAIL SHEET CG-102.

## LEGEND

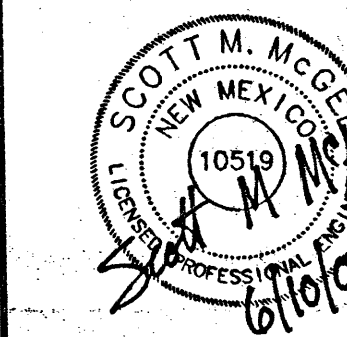
- EXISTING CONTOUR
- PROPOSED CONTOUR
- ◆ 78.3 PROPOSED SPOT ELEVATION
- ◆ 78.5 FUTURE SPOT ELEVATION
- FLOW ARROW
- FF = 5488.3 FINISH FLOOR ELEVATION
- TC TOP OF CURB
- FL FLOWLINE
- INV INVERT
- TW TOP OF WALL



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1703 CG-101.dwg Jun 10, 2009

**Flex Car Spa & Lube**  
Phase I Development  
10705 Central Avenue, NE  
Albuquerque, NM 87123

Project Number  
Drawn By  
Checked  
Issue Date June 10, 2009

**GRADING AND DRAINAGE PLAN**

Scale:

**RECEIVED**

JUN 10 2009

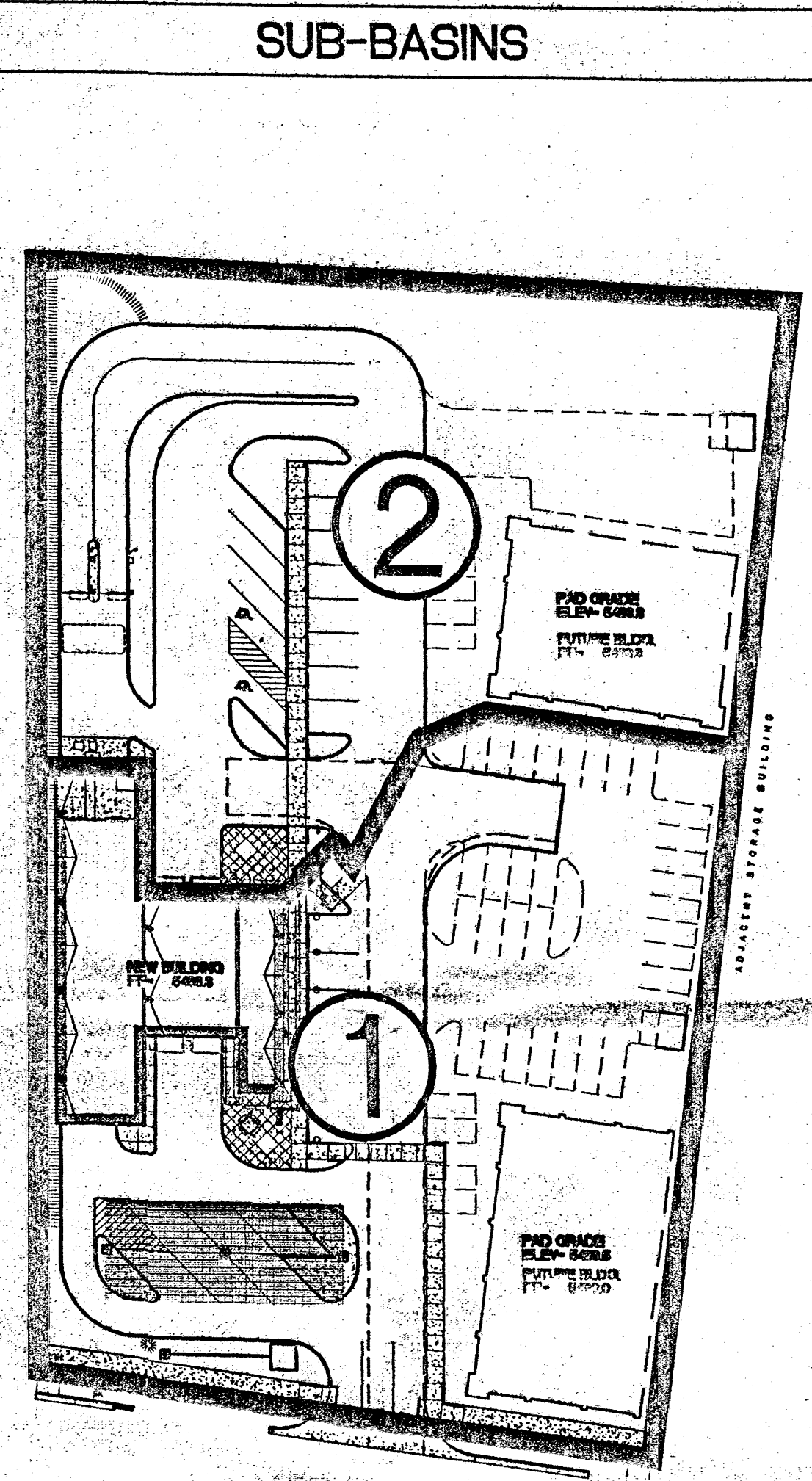
HYDROLOGY SECTION

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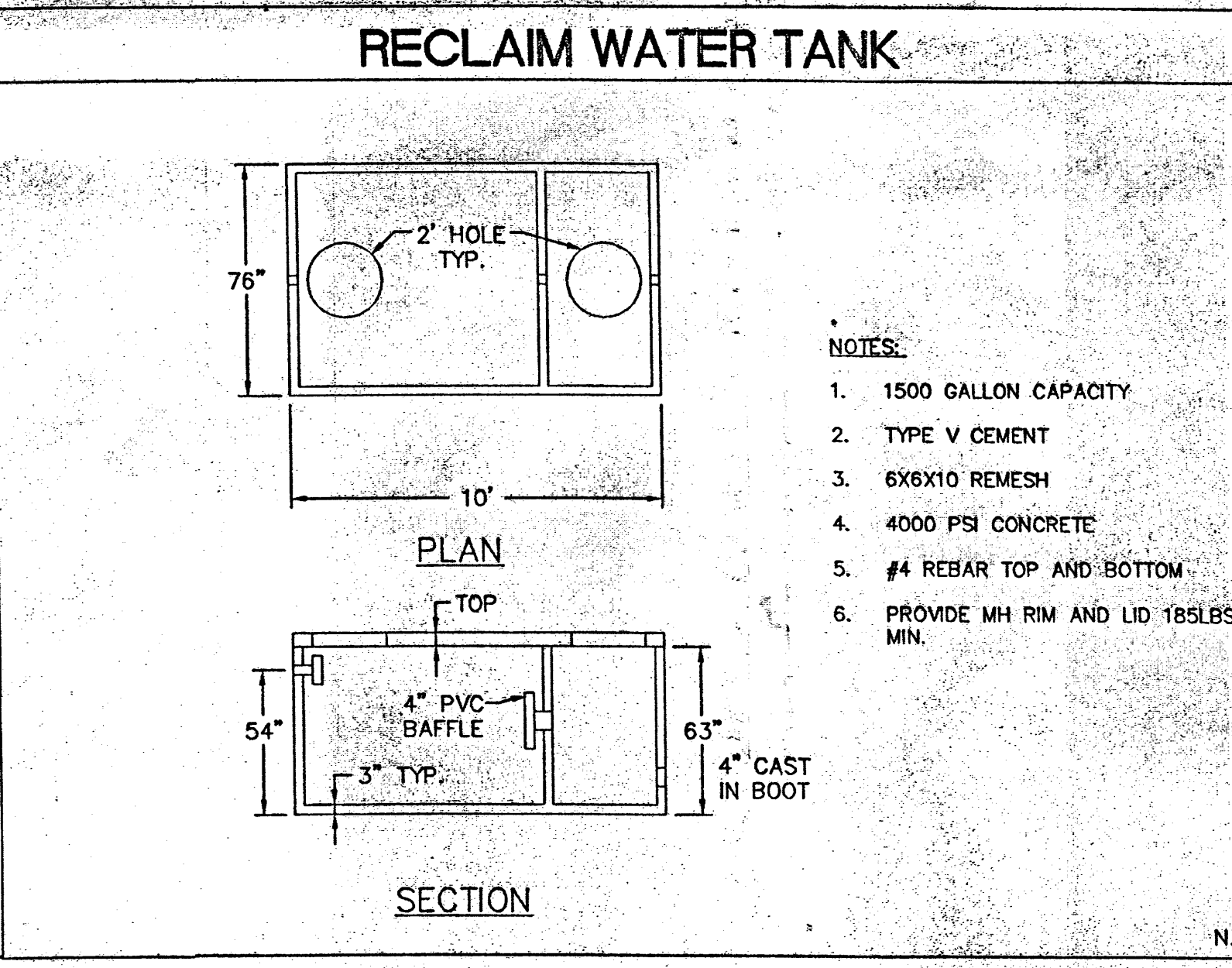
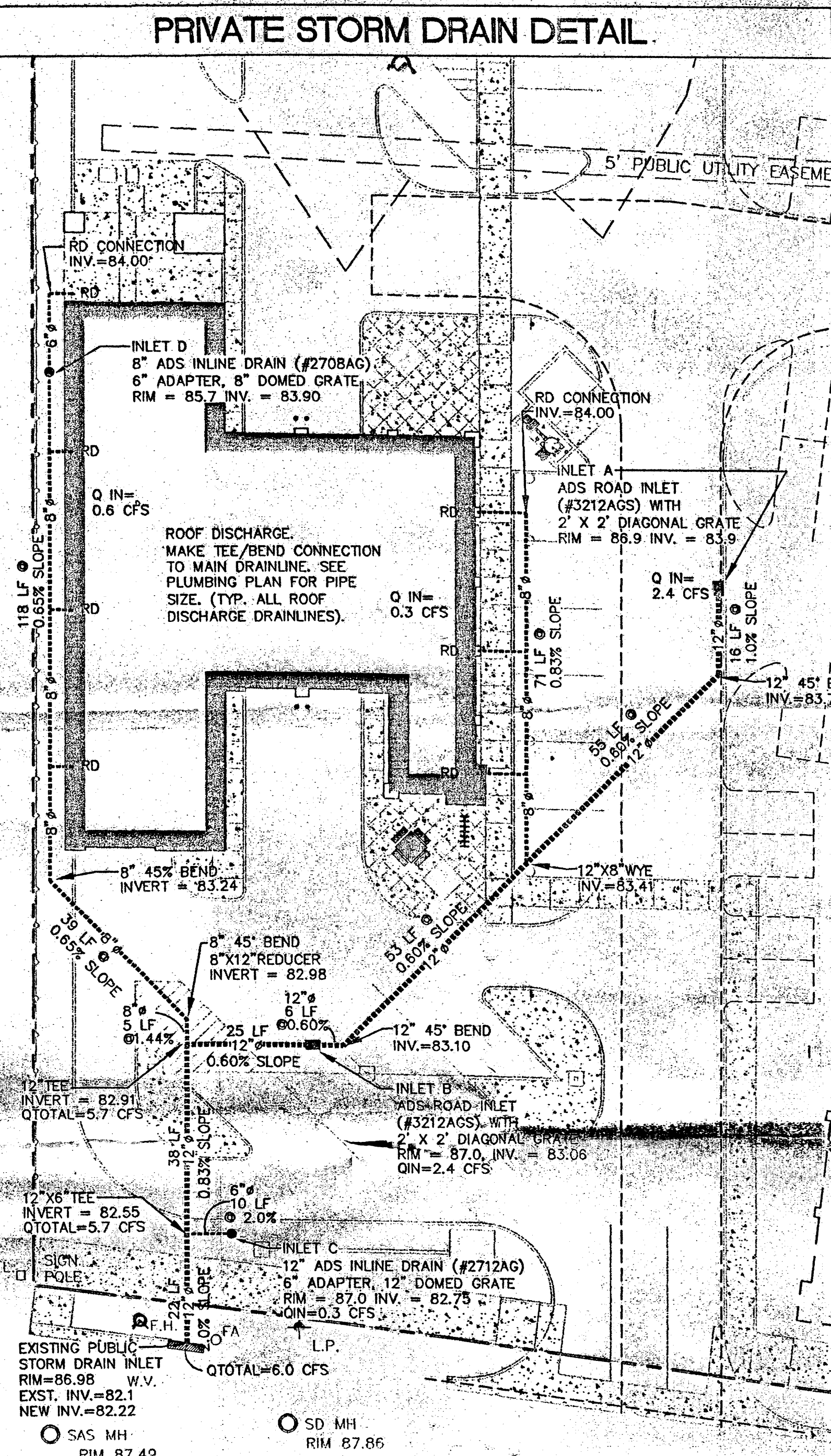
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HYDROLOGY SECTION





CALCULATIONS			
CALCULATIONS: Flex Car Spa & Lube - 10-Mar-09			
Based on Drainage Design Criteria for City of Albuquerque, Section 22.2, DPM, Vol 2, dated Jan., 1993			
ON-SITE			
AREA OF SITE:	98877 SF	=	2.3 Ac.
HISTORIC FLOWS:			
On-Site Historic Land Condition	On-Site Developed Land Condition	EXCESS PRECIP:	Precip. Zone 4
Area A = 0 SF	Area A = 0 SF	E <sub>A</sub> = 0.80	
Area B = 10000 SF	Area B = 2335 SF	E <sub>B</sub> = 1.08	
Area C = 55952 SF	Area C = 12497 SF	E <sub>C</sub> = 1.46	
Area D = 32925 SF	Area D = 84046 SF	E <sub>D</sub> = 2.64	
Total Area = 98877 SF	Total Area = 98877 SF		
On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)			
Weighted E =	$E_A A_A + E_B A_B + E_C A_C + E_D A_D$		
Historic E =	1.81 in.	Developed E =	2.45 in.
On-Site Volume of Runoff: V <sub>360</sub> = E * A / 12			
Historic V <sub>360</sub> =	14951 CF	Developed V <sub>360</sub> =	20221 CF
On-Site Peak Discharge Rate: Q <sub>p</sub> = Q <sub>0A</sub> A <sub>A</sub> + Q <sub>0B</sub> A <sub>B</sub> + Q <sub>0C</sub> A <sub>C</sub> + Q <sub>0D</sub> A <sub>D</sub> / 43.560			
For Precipitation Zone 4			
Q <sub>0A</sub> = 2.20	Q <sub>0C</sub> = 3.73		
Q <sub>0B</sub> = 2.92	Q <sub>0D</sub> = 5.25		
Historic Q <sub>0</sub> =	9.4 CFS	Developed Q <sub>0</sub> =	11.4 CFS
BASIN NO. 1 DESCRIPTION			
Area of basin flows =	52183 SF	=	1.2 Ac.
The following calculations are based on Treatment areas as shown in table to the right			
Sub-basin Weighted Excess Precipitation (see formula above)	Weighted E =	2.46 in.	TREATMENT
Sub-basin Volume of Runoff (see formula above)	V <sub>360</sub> =	10711 CF	A = 0%
Sub-basin Peak Discharge Rate (see formula above)	Q <sub>p</sub> =	6.0 cfs	B = 0%
			C = 15%
			D = 85%
BASIN NO. 2 DESCRIPTION			
Area of basin flows =	46694 SF	=	1.1 Ac.
The following calculations are based on Treatment areas as shown in table to the right			
Sub-basin Weighted Excess Precipitation (see formula above)	Weighted E =	2.44 in.	TREATMENT
Sub-basin Volume of Runoff (see formula above)	V <sub>360</sub> =	9510 CF	A = 0%
Sub-basin Peak Discharge Rate (see formula above)	Q <sub>p</sub> =	5.3 cfs	B = 5%
			C = 10%
			D = 85%



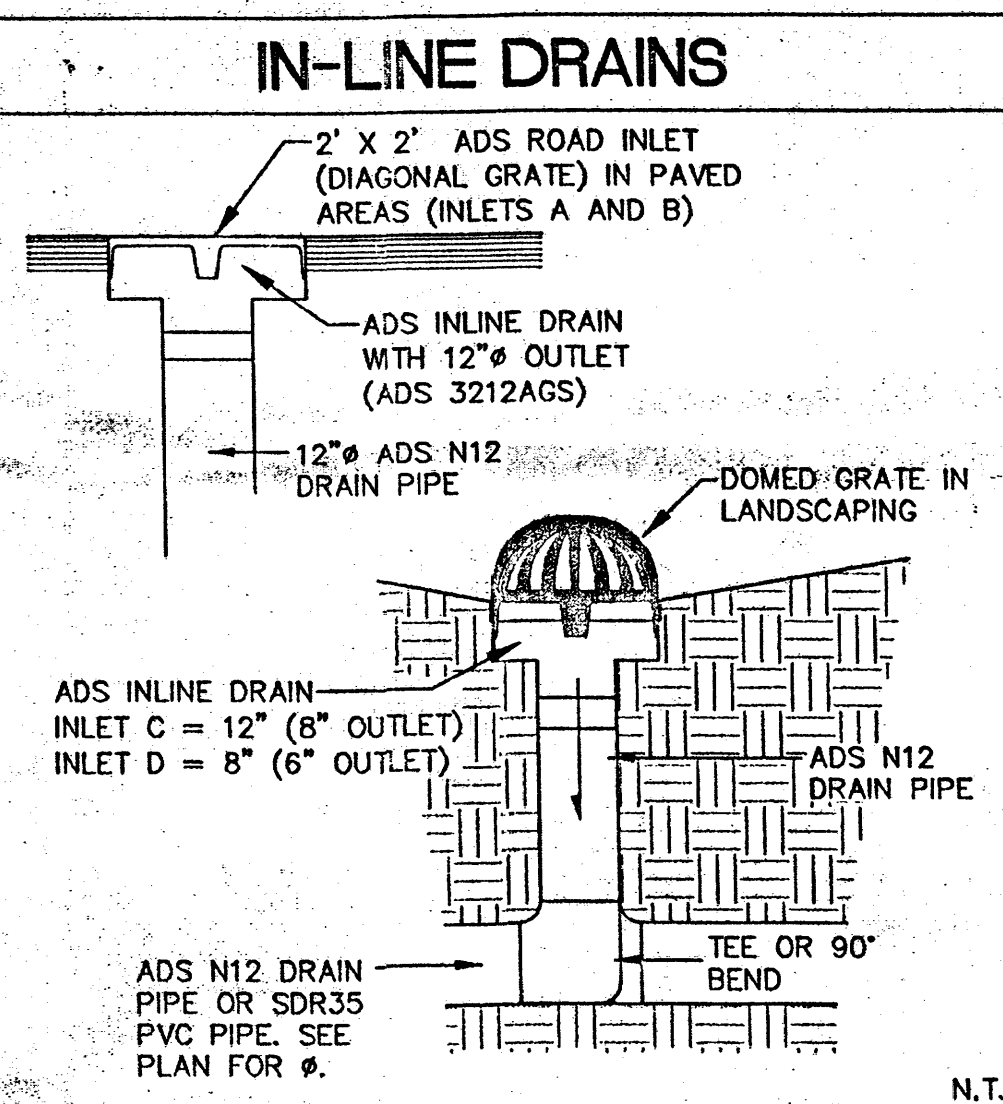
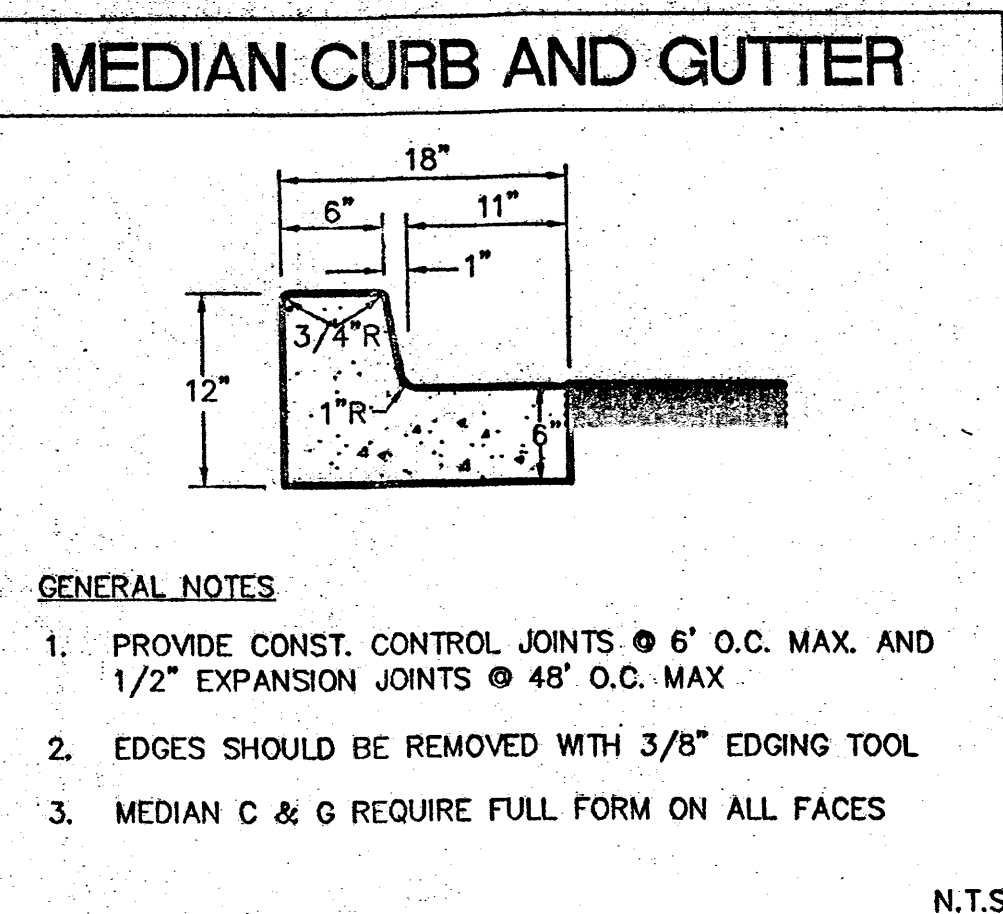
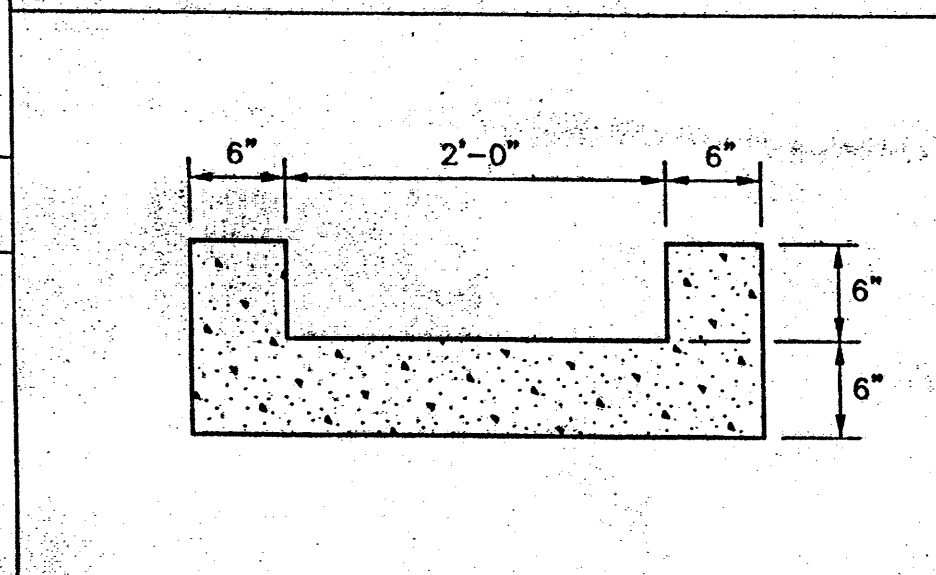
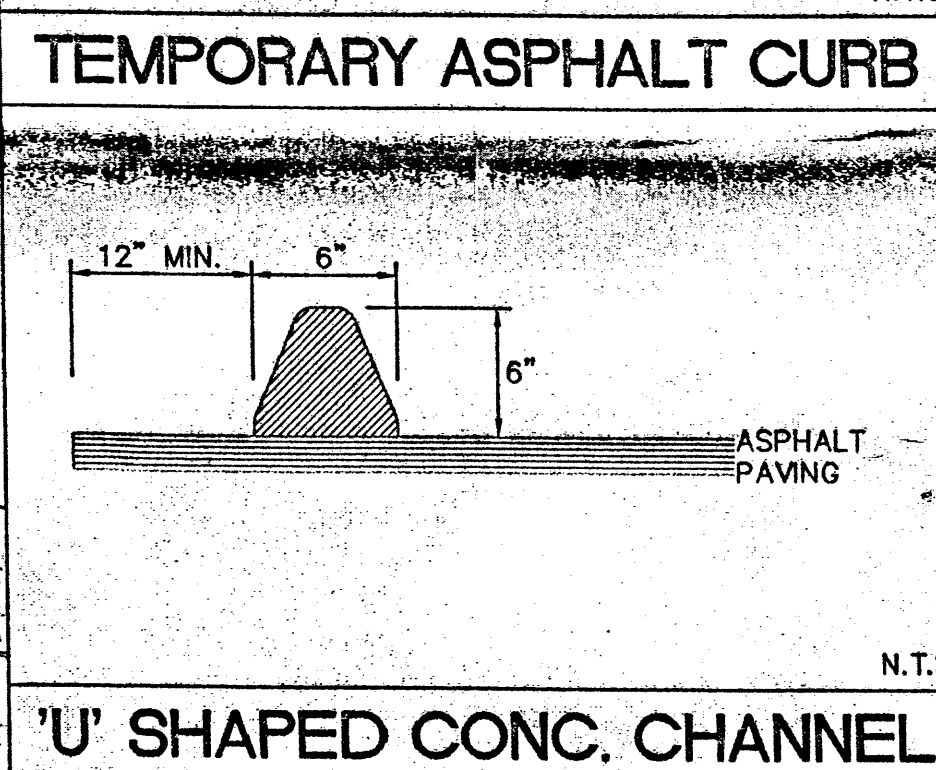
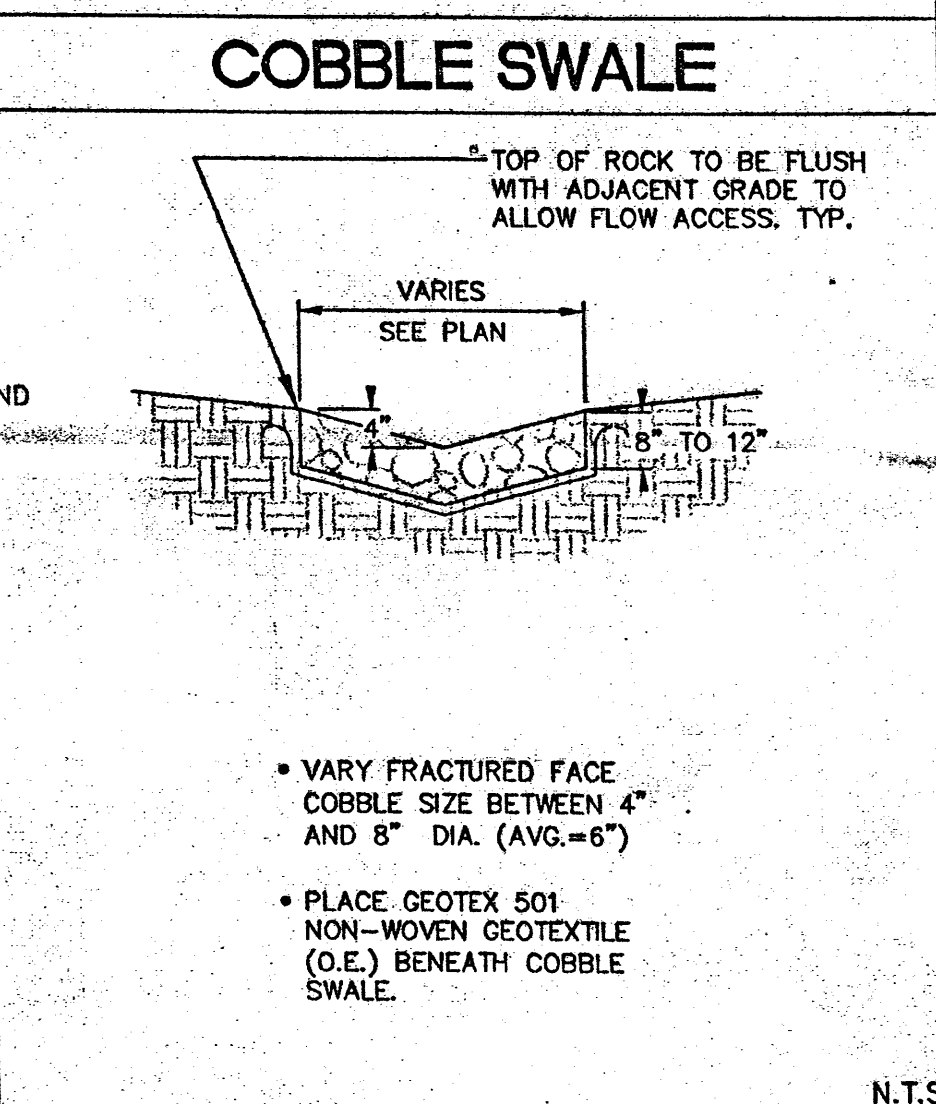
**GENERAL NOTES**

A. EACH PROPOSED INLET TO CONSIST OF AN ADS NYLOPLAST INLINE DRAIN WITH 8" OUTLET (SEE PLAN FOR GRATE SIZE) WITH DOME GRATE INSTALLED IN LANDSCAPED AREAS AND PEDESTRIAN GRATE IN PAVEMENT. EXTEND 6" ADS PIPE AND CONNECT TO PROPOSED STORM DRAIN MAIN LINE USING ADS N12WT (WT=WATERTIGHT) TEES AND BENDS.

B. ALL STORM DRAIN LINES AND FITTINGS TO BE ADS N-12WT WATERTIGHT O.A.E.

C. MINIMUM SLOPE = 1.0% UNLESS NOTED.

D. STORM DRAIN SYSTEM WILL REQUIRE REGULAR MAINTENANCE TO ENSURE PROPER FUNCTIONING DURING STORM EVENTS. PROPERTY OWNER SHALL PUT IN PLACE INSPECTION AND MAINTENANCE CRITERIA SCHEDULED TO OCCUR MONTHLY AND AFTER EACH STORM EVENT.



**NOTICE TO CONTRACTORS**

1. AN EXCAVATION CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY.

2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #7 AMENDMENT 1.

3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (280-1990) FOR LOCATION OF EXISTING UTILITIES.

4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.

5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC / STREET USE.

6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.

7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL	NAME	DATE
INSPECTOR		

**DISIA**

Darren Sowell  
ARCHITECTS

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SCOTT M. MCGEE  
NEW MEXICO  
10519  
6/10/09  
1703 CG-101.dwg Jun 10, 2009

**Flex Car Spa & Lube**  
Phase I Development  
10705 Central Avenue, NE  
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HYDROLOGY SECTION

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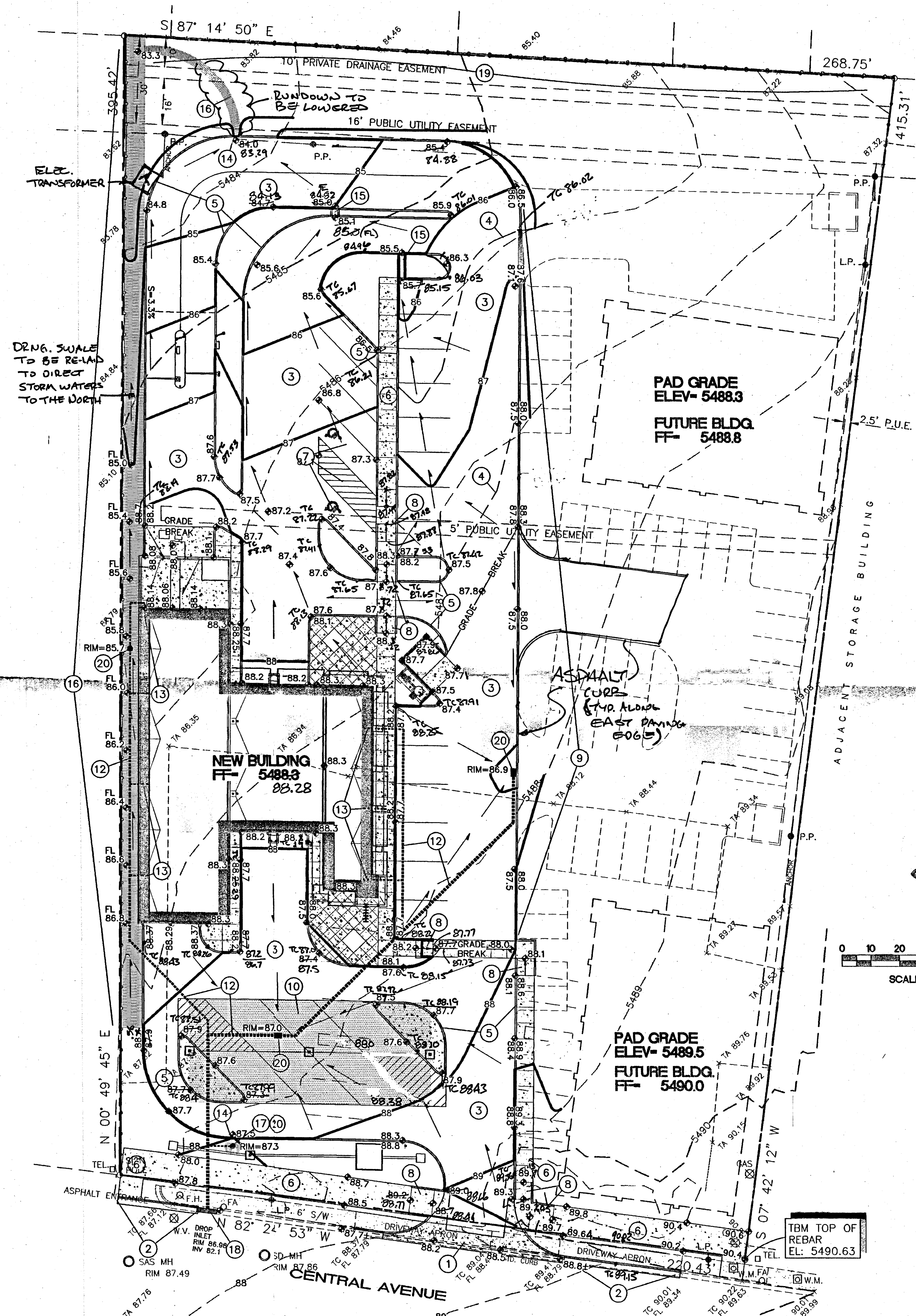
JUL 17 2012

CG-102

SECTION

OF XX





### GENERAL NOTES

- COORDINATE WORK WITH SITE PLAN, UTILITY PLAN AND LANDSCAPE PLAN.
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- WATER SHALL NOT POND ON PAVED AREAS.
- FINAL GRADES SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF CONCRETE BUILDING PAD, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRADE, COMPACT SUBGRADE AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS MATERIAL THICKNESSES.
- ALL COBBLES TO BE 6" AVG. DIA. ANGULAR FACED ROCK PLACED OVER GEOTEX 50 NON-WOVEN GEOTEXTILE (O.E.). NOTE: PERMANENT TURF REINFORCEMENT MATERIAL (LANDLOK TRM 450 O.E.) MAY BE SUBSTITUTED AT ALL AREAS REFERENCING COBBLE EROSION PROTECTION.
- ALL SIDESLOPES  $\geq 3:1$  MUST HAVE PERMANENT EROSION CONTROL (COBBLES OR LANDLOK TRM 450 O.E.) INSTALLED, TYPICAL.
- OWNER SHALL MAINTAIN EROSION PROTECTION ELEMENTS. OWNER SHALL INSPECT SITE YEARLY AND AFTER EACH RAINFALL TO IDENTIFY NEW AREAS OF EROSION AND INSTALL ADDITIONAL EROSION PROTECTION AS NEEDED BASED ON ACTUAL OCCURRENCES.

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**LEGAL:** TRACTS "B" AND "C" OF THE LONGFIELD ADDITION

**ADDRESS:** 10705 CENTRAL AVE. N.E.

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**DRAINAGE PLAN CONCEPT:** THE SITE WILL BE DIVIDED INTO TWO BASINS. A PRIVATE STORM DRAIN SYSTEM WILL BE INSTALLED TO COLLECT APPROX. 60% OF THE DEVELOPED RUNOFF (SOUTH BASIN) INCLUDING THE PROPOSED BUILDING AND ROUTE TO THE EXISTING PUBLIC STORM DRAIN INLET WITHIN CENTRAL AVE. THE REMAINING 40% OF THE DEVELOPED RUNOFF (NORTH BASIN) WILL CONTINUE TO PASS THROUGH THE EXISTING DRAINAGE EASEMENT TO ENTER THE EXISTING DETENTION POND LOCATED ON TRACT 8 (TWO LOTS WEST).

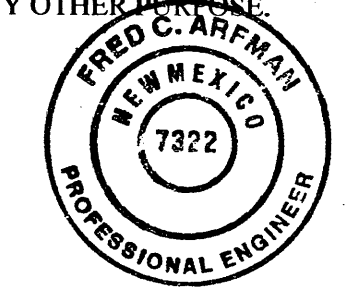
### DRAINAGE CERTIFICATION (SUTS.192/2)

I, Fred C. Arfman, NMPE No. 7322, OF THE FIRM Isaacson & Arfman, P.A., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 05/27/2012. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY Tony Harris, NMPS No. 11463 OF THE FIRM Harris Surveying.

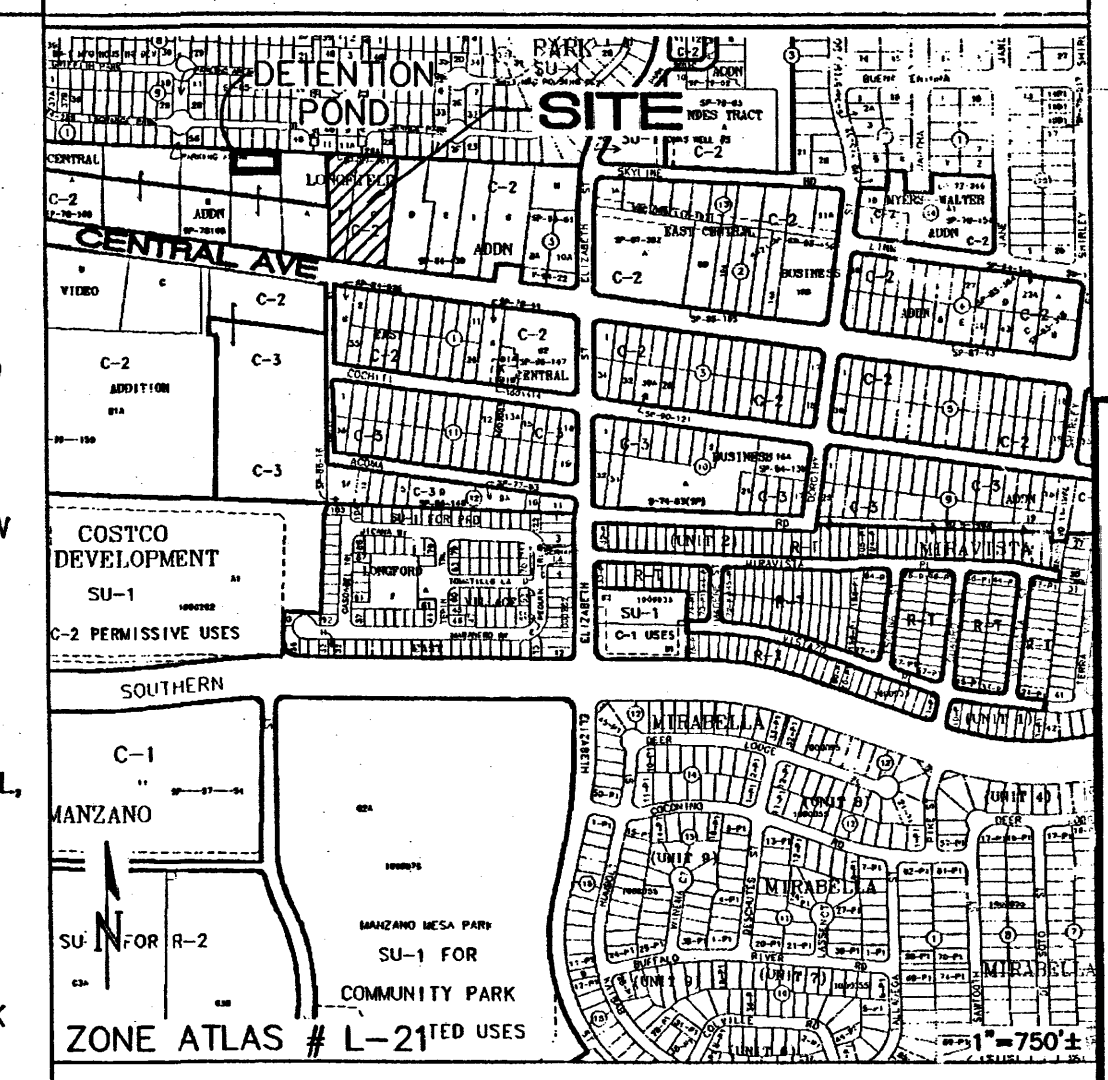
I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 07-14-2012 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR Permanent Certificate of Occupancy.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

*Fred C. Arfman*  
Fred C. Arfman, NMPE No. 7322  
07/13/2012  
DATE



### VICINITY MAP



**ISAACSON & ARFMAN, P.A.**  
Consulting Engineering Associates  
128 Monroe Street N.E.  
Albuquerque, New Mexico 87108  
Ph: 505-268-8828 Fax: 505-268-2632



**Flex Car Spa & Lube**  
Phase I Development  
10705 Central Avenue, NE  
Albuquerque, NM 87123

**RECEIVED**  
JUL 16 2012  
HYDROLOGY SECTION

### LEGEND

- EXISTING CONTOUR
- - - PROPOSED CONTOUR
- ◆ 78.3 PROPOSED SPOT ELEVATION
- ◆ 78.3 FUTURE SPOT ELEVATION
- FLOW ARROW
- FF = 5488.3 FINISH FLOOR ELEVATION
- TC TOP OF CURB
- FL FLOWLINE
- INV INVERT
- TW TOP OF WALL

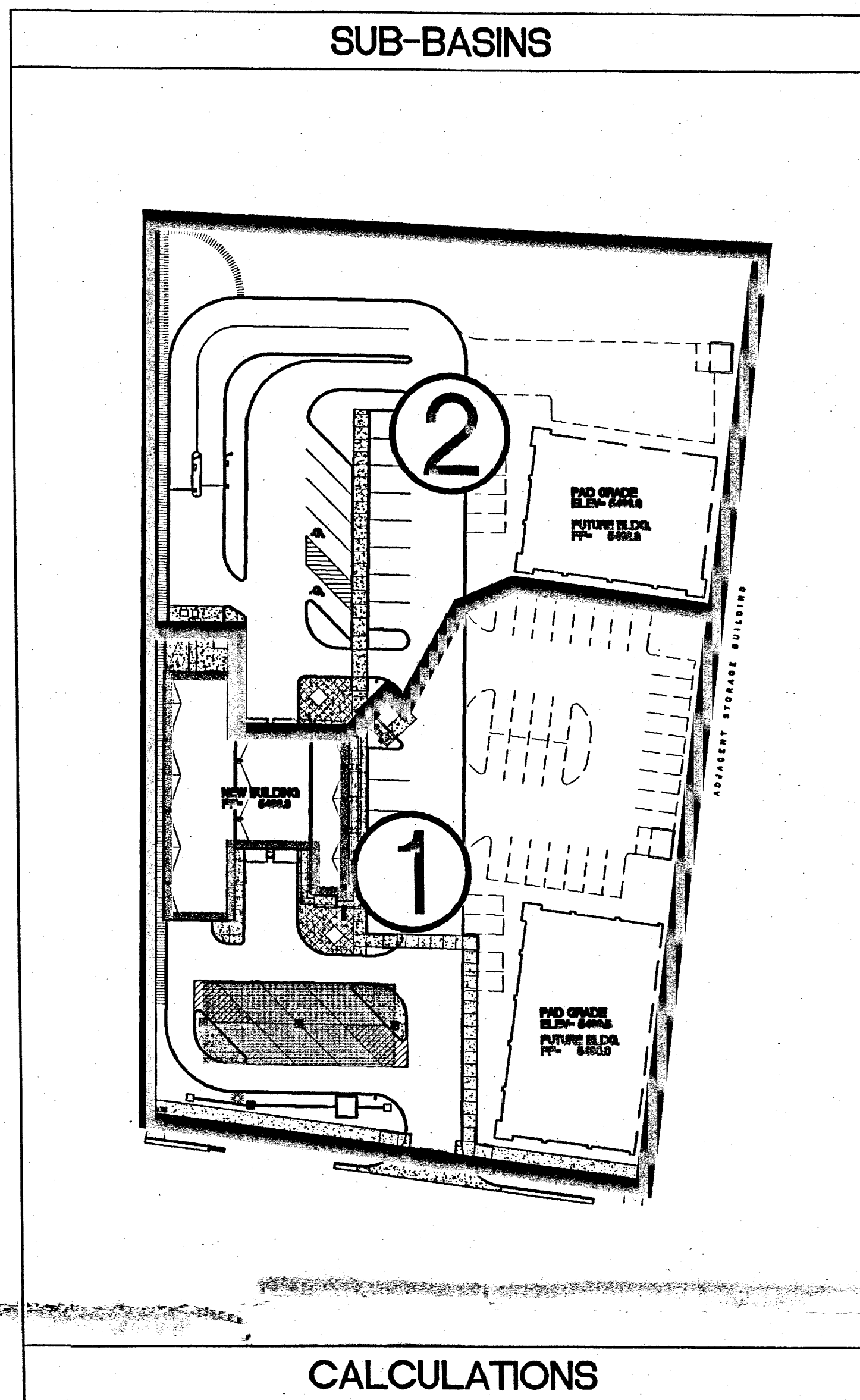
Project Number  
Drawn By  
Checked  
Issue Date April 17, 2004

**GRADING AND DRAINAGE PLAN**

Scale:

**CG-101**

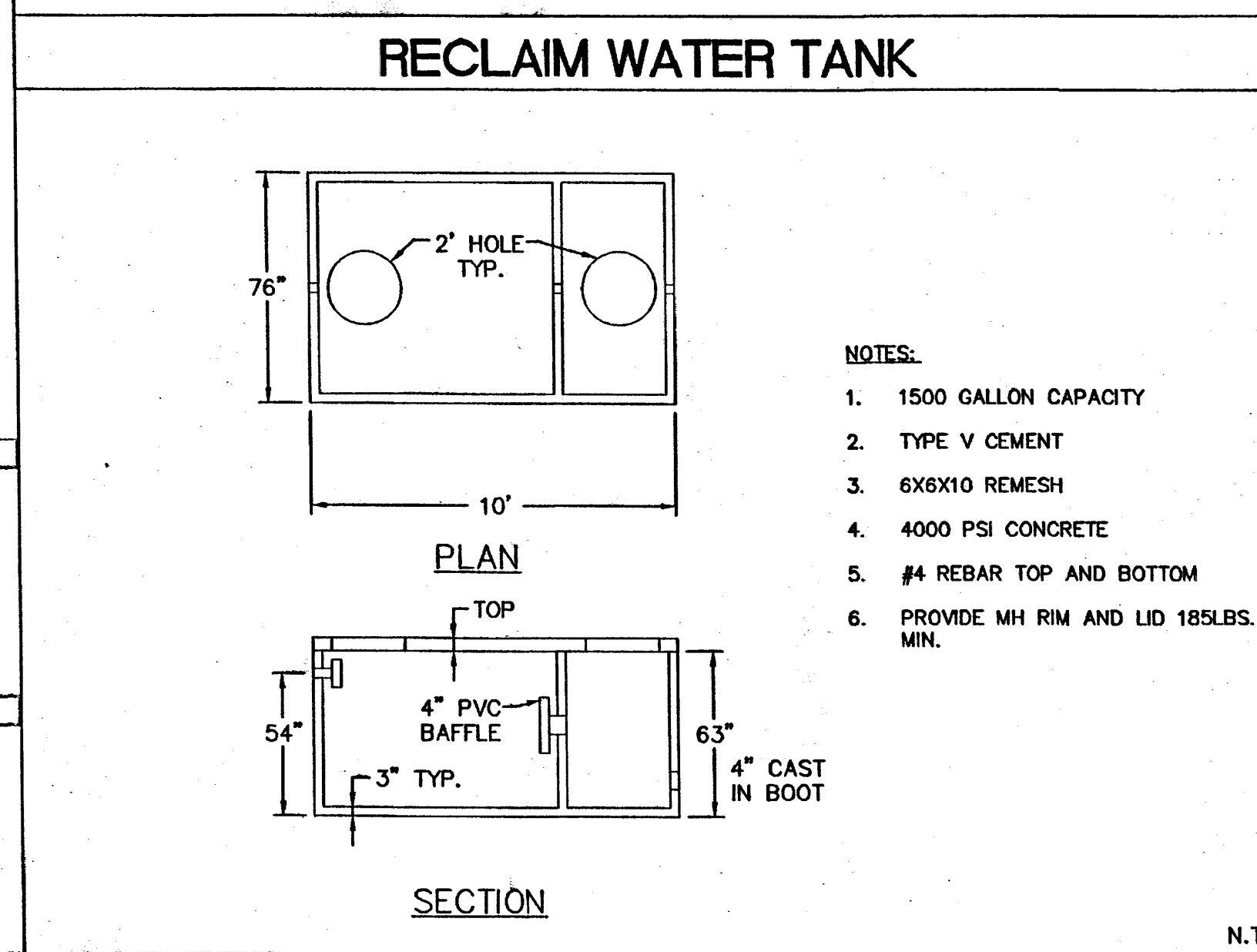
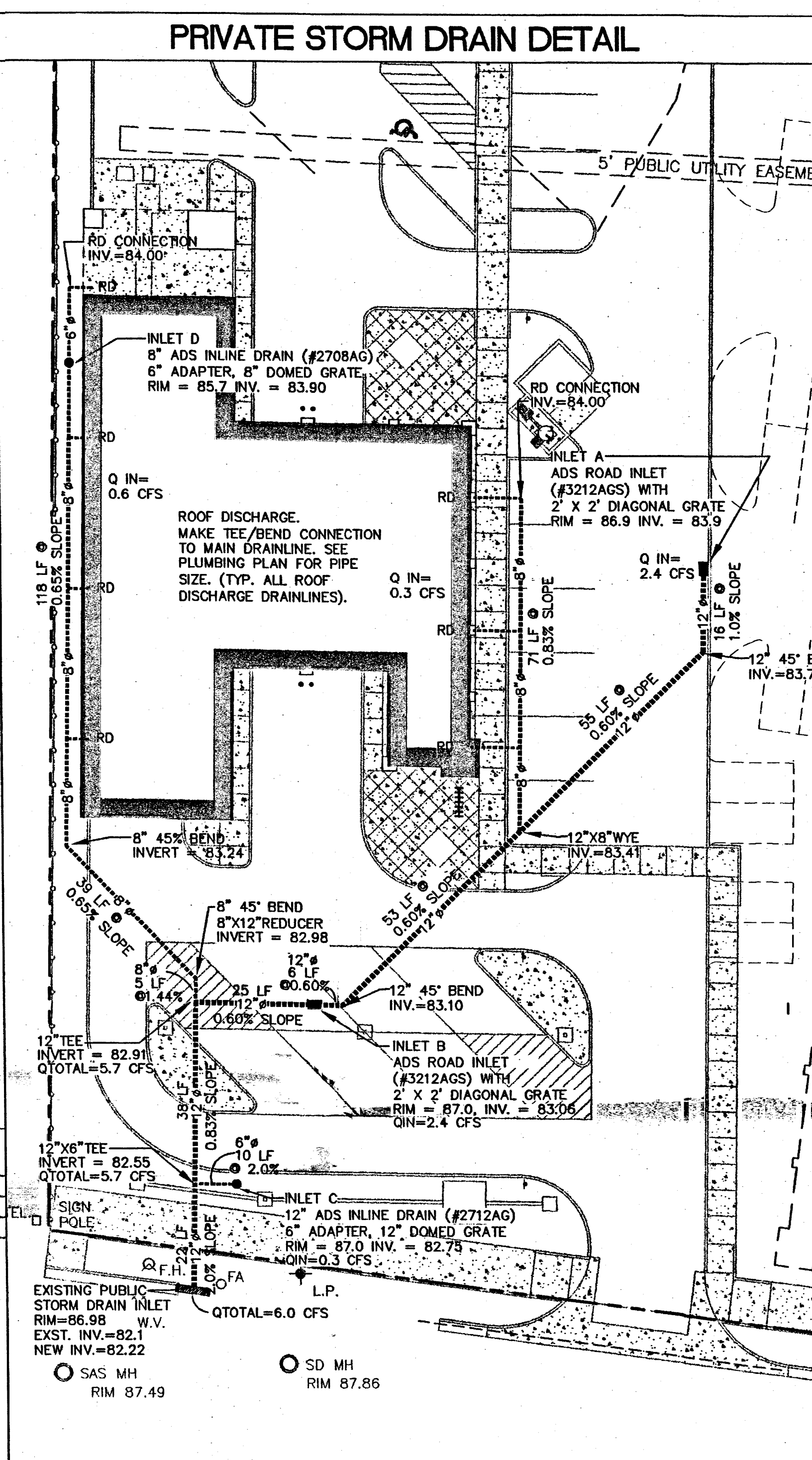




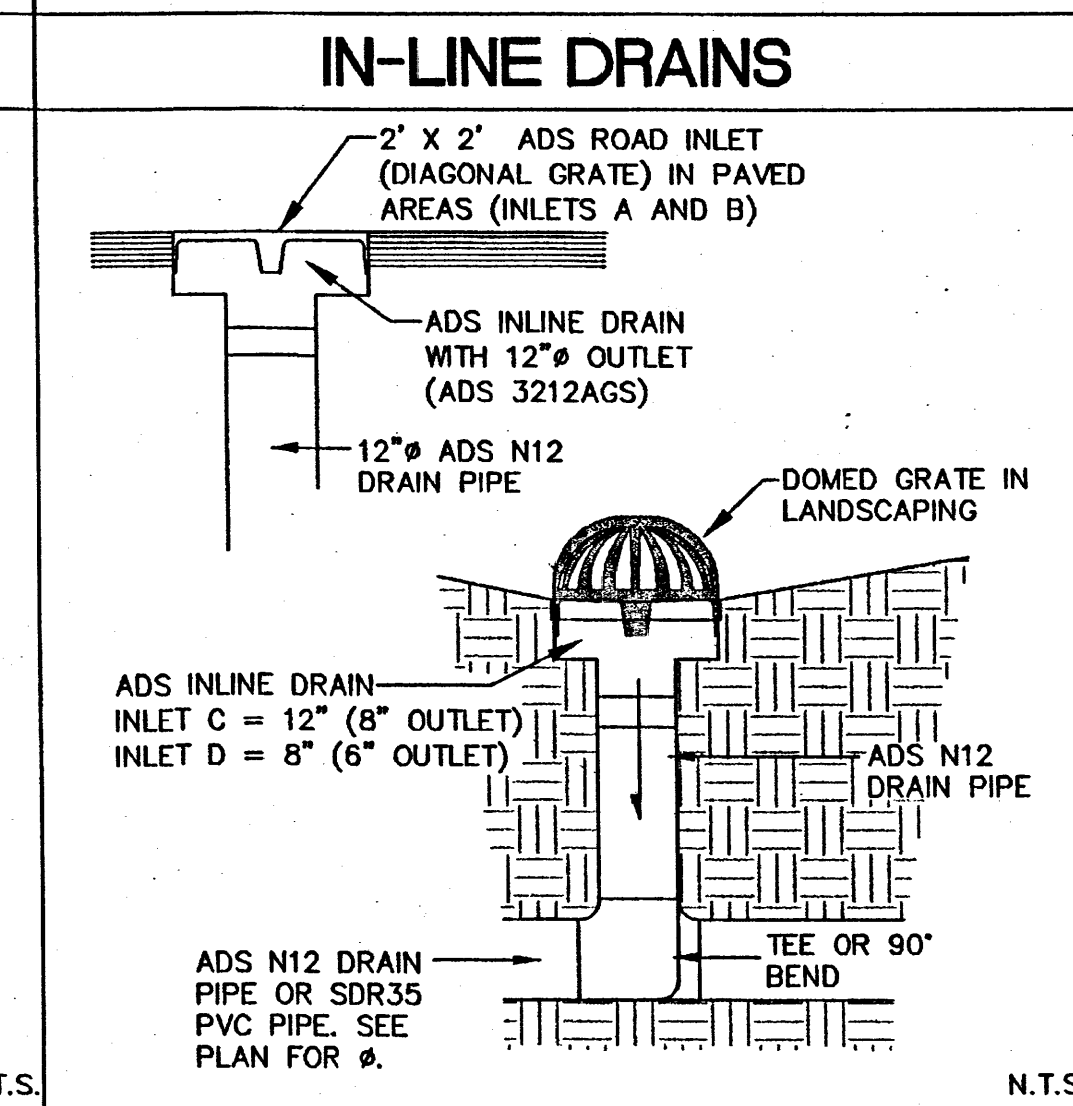
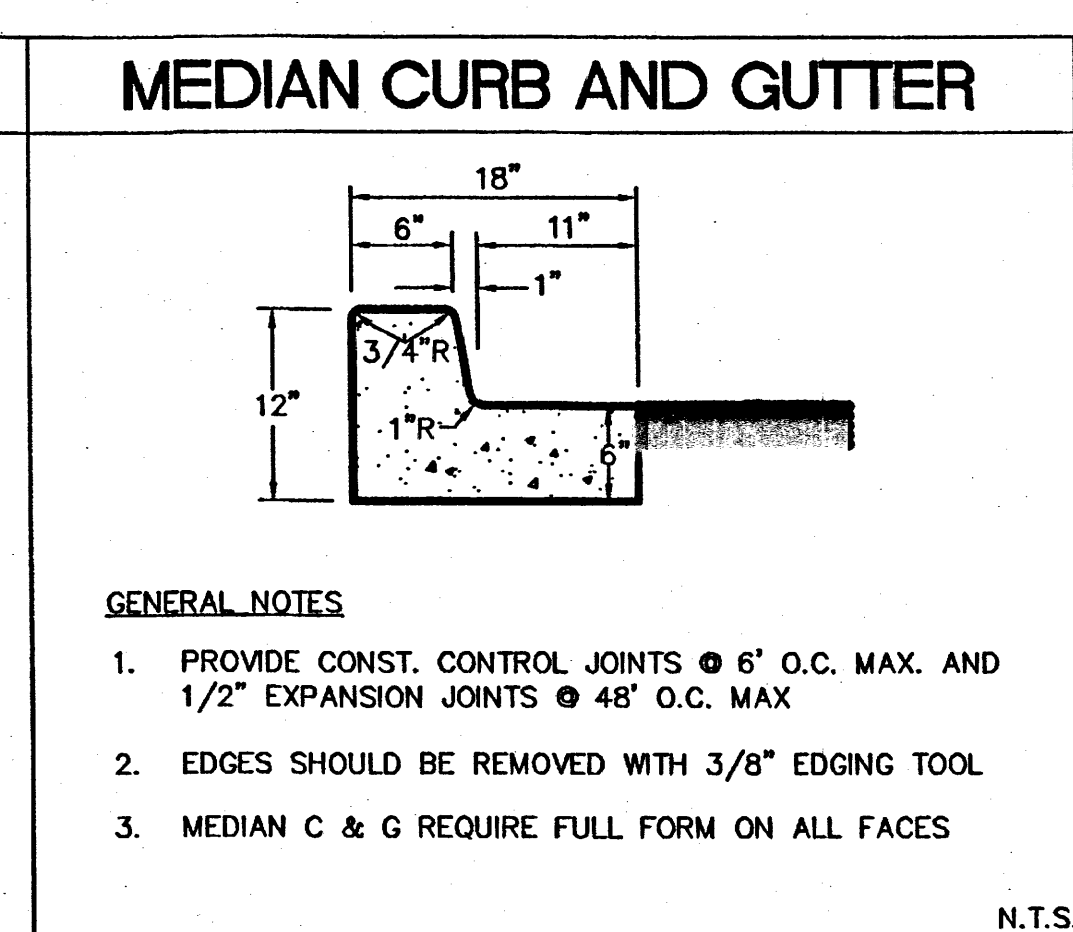
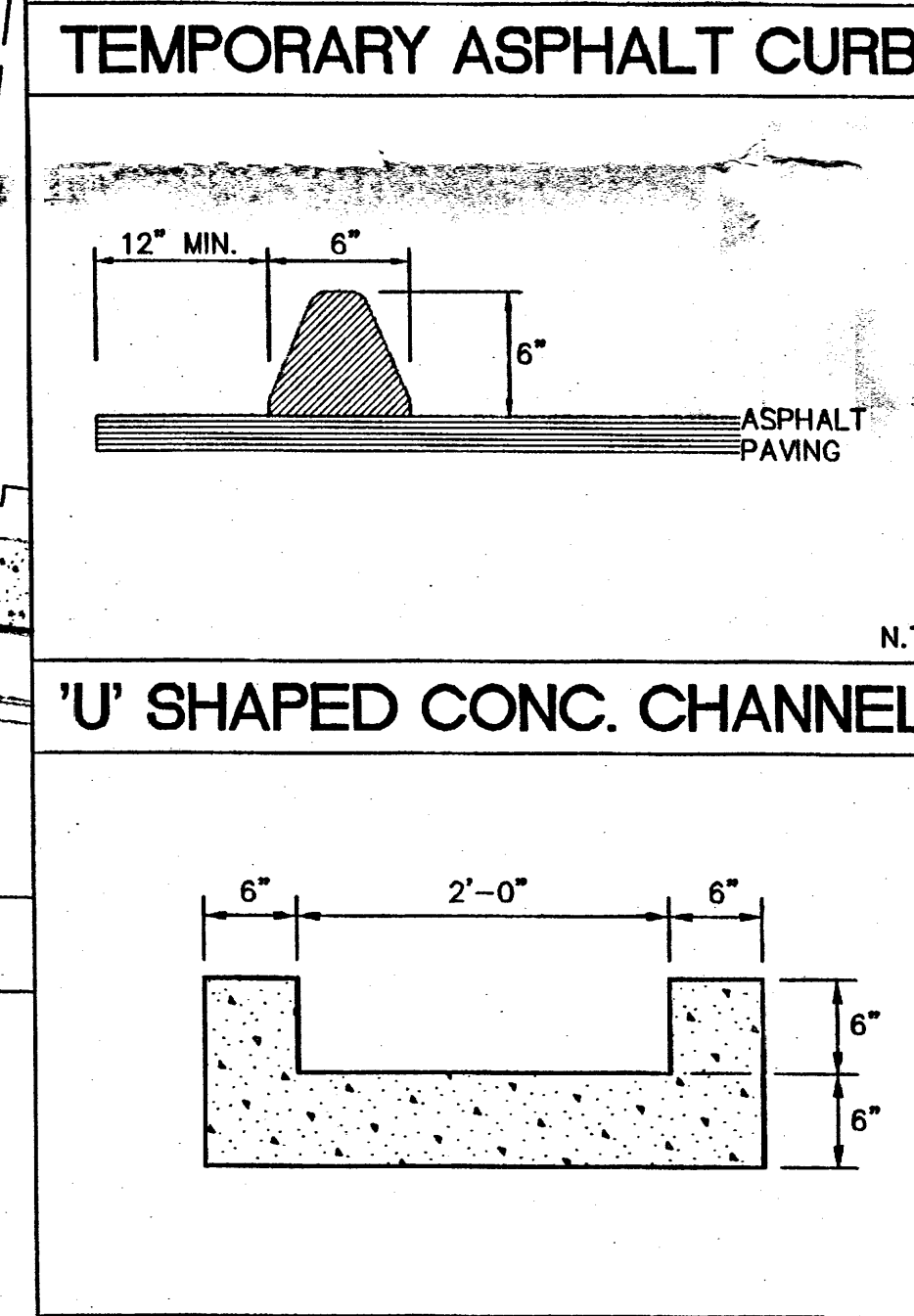
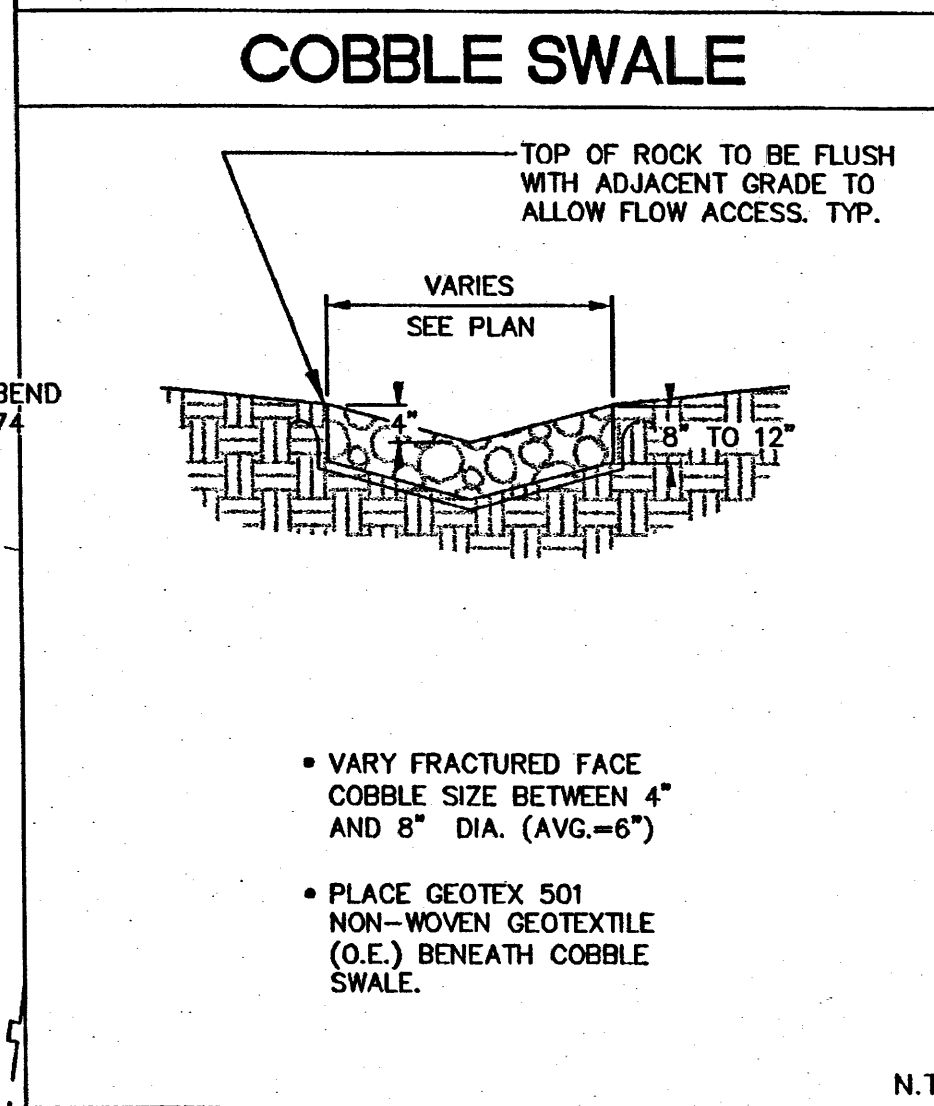
### CALCULATIONS

CALCULATIONS: Flex Car Spa & Lube : 10-Mar-09  
Based on Drainage Design Criteria for City of Albuquerque Section 22.2, DPM, Vol 2, dated Jan., 1993

ON-SITE		ON-SITE	
AREA OF SITE:	96877 SF		2.3 Ac.
<b>HISTORIC FLOWS:</b>			
On-Site Historic Land Condition	Area A = 0 SF	On-Site Developed Land Condition	Area A = 0 SF
Area B = 10000 SF	Area B = 9000 SF	Area C = 55952 SF	Area C = 11877 SF
Area D = 32925 SF	Area D = 78000 SF	Total Area = 96877 SF	Total Area = 96877 SF
<b>DEVELOPED FLOWS:</b>			
On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)	Weighted E = $\frac{E_A A_A + E_B A_B + E_C A_C + E_D A_D}{A_A + A_B + A_C + A_D}$		
Historic E = 1.81 in.	Developed E = 2.36 in.		
On-Site Volume of Runoff: $V_{360} = E \cdot A / 12$	Historic $V_{360} = 14951$ CF		
On-Site Peak Discharge Rate: $Q_p = Q_{pA} + Q_{pB} + Q_{pC} + Q_{pD} / 43,560$	For Precipitation Zone 4		
$Q_{pA} = 2.20$	$Q_{pC} = 3.73$	$Q_{pB} = 2.92$	$Q_{pD} = 5.25$
Historic $Q_p = 9.4$ CFS	Developed $Q_p = 11.0$ CFS		
<b>BASIN NO. 1</b>	<b>DESCRIPTION</b>		
Area of basin flows = 52183 SF	Area of basin flows = 1.2 Ac.		
The following calculations are based on Treatment areas as shown in table to the right			
Sub-basin Weighted Excess Precipitation (see formula above)		TREATMENT	
Weighted E = 2.46 in.	A = 0%		
Sub-basin Volume of Runoff (see formula above)	B = 0%		
$V_{360} = 10711$ CF	C = 15%		
Sub-basin Peak Discharge Rate (see formula above)	D = 85%		
$Q_p = 6.0$ cfs			
<b>BASIN NO. 2</b>	<b>DESCRIPTION</b>		
Area of basin flows = 46694 SF	Area of basin flows = 1.1 Ac.		
The following calculations are based on Treatment areas as shown in table to the right			
Sub-basin Weighted Excess Precipitation (see formula above)		TREATMENT	
Weighted E = 2.21 in.	A = 0%		
Sub-basin Volume of Runoff (see formula above)	B = 20%		
$V_{360} = 8600$ CF	C = 10%		
Sub-basin Peak Discharge Rate (see formula above)	D = 70%		
$Q_p = 5.0$ cfs			



- ### GENERAL NOTES
- EACH PROPOSED INLET TO CONSIST OF AN ADS NYLOPLAST INLINE DRAIN WITH 8" OUTLET (SEE PLAN FOR GRATE SIZE) WITH DOME GRATE INSTALLED IN LANDSCAPED AREAS AND PEDESTRIAN GRATE IN PAVEMENT. EXTEND 6" ADS PIPE AND CONNECT TO PROPOSED STORM DRAIN MAIN LINE USING ADS N12WT (WT=WATERTIGHT) TEES AND BENDS.
  - ALL STORM DRAIN LINES AND FITTINGS TO BE ADS N-12WT WATERTIGHT O.A.E.
  - MINIMUM SLOPE = 1.0% UNLESS NOTED.
  - STORM DRAIN SYSTEM WILL REQUIRE REGULAR MAINTENANCE TO ENSURE PROPER FUNCTIONING DURING STORM EVENTS. PROPERTY OWNER SHALL PUT IN PLACE INSPECTION AND MAINTENANCE CRITERIA SCHEDULED TO OCCUR MONTHLY AND AFTER EACH STORM EVENT.



### S.O.19 : NOTICE TO CONTRACTORS

- AN EXCAVATION / CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #7 AMENDMENT 1.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (280-1990) FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC / STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL	NAME	DATE
INSPECTOR		

**ISAACSON & ARFMAN, P.A.**  
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**Flex Car Spa & Lube**  
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**RECEIVED**  
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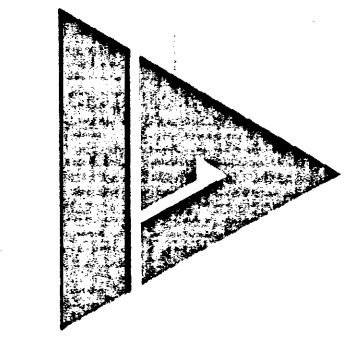
**GRADING AND DRAINAGE DETAILS**

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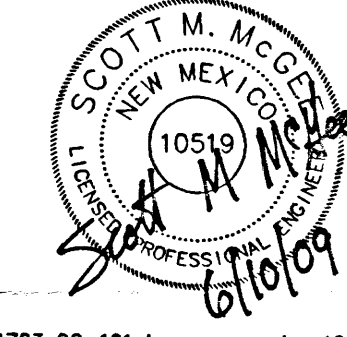




**Darren Sowell**  
ARCHITECTS  
4700 Lincoln N.E., Suite 111  
Albuquerque, N.M. 87109  
Phone: (505) 342-6200  
Fax: (505) 342-6201



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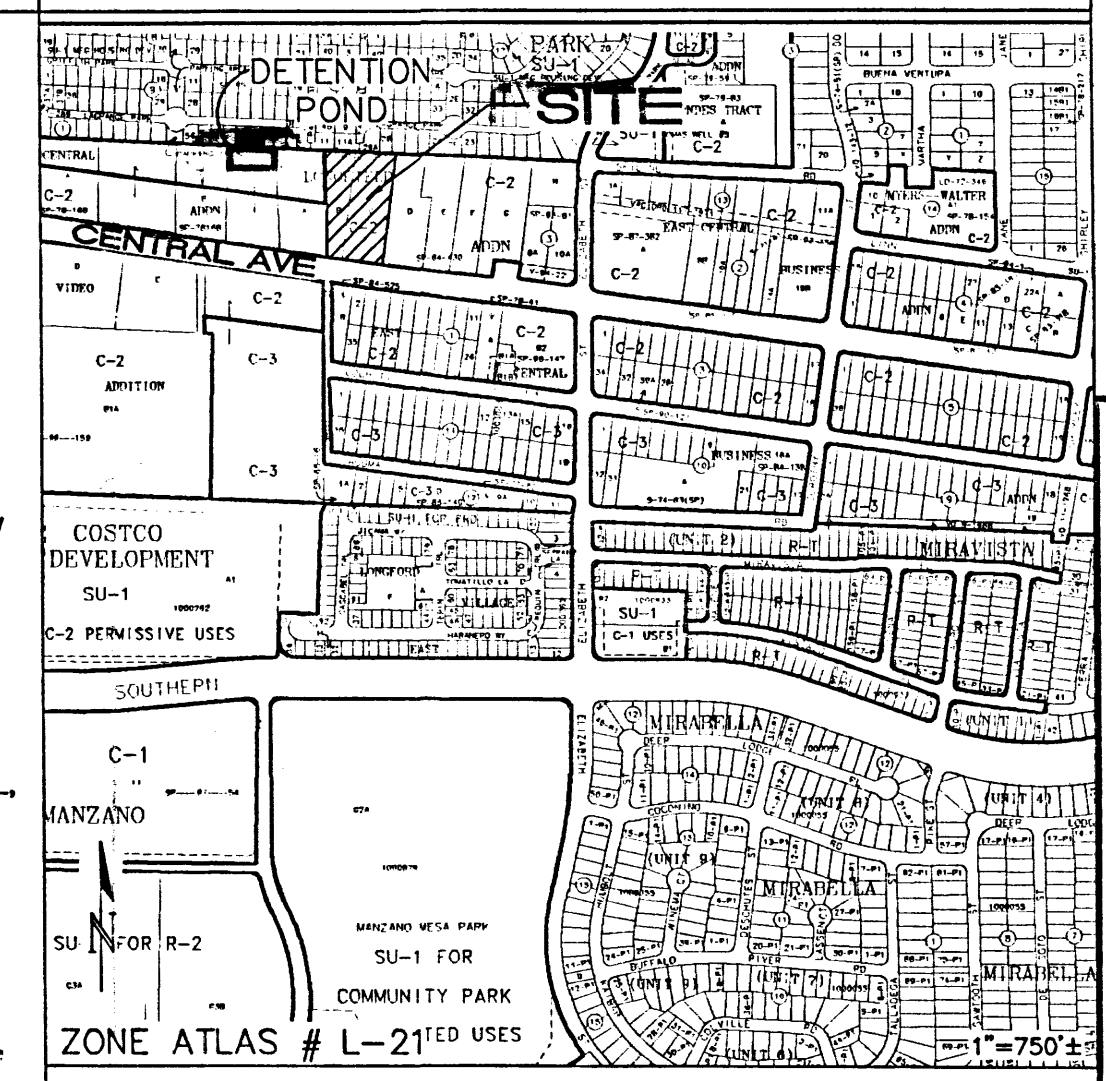
**Flex Car Spa & Lube**  
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**10705 Central Avenue, NE**  
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Checked  
Issue Date June 10, 2009

**GRADING AND DRAINAGE PLAN**

Scale:  
**CG-101**  
CP XX

## VICINITY MAP



## KEYED NOTES

1. CONSTRUCT NEW PRIVATE ENTRANCE DRIVE WITH CONCRETE VALLEY GUTTER AND HANDICAP RAMPS EACH SIDE PER C.O.A. STD. DWG. 2526. MATCH EXISTING FOR SMOOTH TRANSITION.
2. NEW C.O.A. STANDARD CURB AND GUTTER / PUBLIC WALK PER C.O.A. STD. DWGS. 2415A, 2430 AND 2431 TO BE CONSTRUCTED THIS AREA TO REPLACE EXISTING CONCRETE DRIVECUT. MATCH EXISTING FOR SMOOTH TRANSITION.
3. CONSTRUCT ASPHALT PAVING AT ELEVATIONS SHOWN. SEE ARCHITECTURAL FOR PARKING LAYOUT.
4. DASHED PROPOSED CONTOURS REPRESENT 0.5' INCREMENTS TO ASSIST WITH IDENTIFICATION OF PROPOSED DRAINAGE PATHS.
5. CONSTRUCT MEDIAN CURB AND GUTTER AT ALL ON-SITE CURB LOCATIONS UNLESS NOTED OTHERWISE.
6. CONSTRUCT CONCRETE WALK AT ELEVATIONS SHOWN.
7. SLOPES WITHIN HANDICAP PARKING AREA TO MEET ADA REQUIREMENTS. MAX. SLOPE = 2% IN ANY DIRECTION.
8. CONSTRUCT HANDICAP ACCESS RAMP TO ADA STANDARDS.
9. CONSTRUCT TEMPORARY ASPHALT CURB ALONG EAST EDGE OF ASPHALT. COORDINATE WITH ARCHITECTURAL SITE PLAN.
10. HATCHED AREA IDENTIFIES OVERHEAD CANOPIES.
11. NOT USED
12. INSTALL PRIVATE STORM DRAIN SYSTEM THIS AREA. SEE SHEET CG-102 FOR SIZES / SLOPES / INLET INFORMATION.
13. ALL ROOF DISCHARGE TO BE PIPED DIRECTLY INTO PRIVATE STORM SEWER SYSTEM. SEE ARCHITECTURAL AND PLUMBING PLANS FOR SPECIFIC ROOF DISCHARGE INFORMATION WITHIN 5' OF BUILDING.
14. PROVIDE 2.0' WIDE OPENING IN CURB TO PASS FLOW.
15. CONSTRUCT 2.0' WIDE (BOTTOM WIDTH) 'U' SHAPED CONCRETE CHANNEL THROUGH LANDSCAPED ISLAND TO PASS FLOW. SEE DETAIL SHEET CG-102.
16. CONSTRUCT 3' WIDE (MIN.) FRACTURED FACE ROCK SWALE (SHOWN HATCHED) AT 1% MIN. SLOPE TO DIRECT FLOW TO NORTH DRAINAGE EASEMENT.
17. CONSTRUCT 2.0' WIDE FRACTURED FACE ROCK SWALE TO DIRECT CONCENTRATED DISCHARGE TO PROPOSED STORM DRAIN INLET.
18. CONNECT PRIVATE 12" STORM DRAIN SYSTEM TO EXISTING CATCH BASIN PER COA STD DWG #2237.
19. CONTRACTOR TO REMOVE ALL TRASH FROM EASEMENT AREA TO RE-ESTABLISH CLEAR DRAINAGE PATH.
20. BUILD STORM DRAIN INLET. SEE DETAIL SHEET CG-102.

## LEGEND

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**RECEIVED**  
JUN 10 2009  
HYDROLOGY SECTION

## GENERAL NOTES

- A. COORDINATE WORK WITH SITE PLAN, UTILITY PLAN AND LANDSCAPE PLAN.
- B. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION. REPORT ALL DISCREPANCIES TO THE ARCHITECT AND VERIFY THE ARCHITECT'S INTENT BEFORE PROCEEDING.
- C. ADJUST RIMS OF EXISTING UTILITY FEATURES AS NECESSARY TO MATCH NEW GRADES. TYPICAL. CONTRACTOR TO FIELD VERIFY AND PROTECT ALL EXISTING UTILITIES WITHIN AREA TO BE IMPROVED.
- D. ALL NEW PAVEMENT SURFACES SHALL BE CONSTRUCTED WITH POSITIVE SLOPE AWAY FROM BUILDINGS AND POSITIVE SLOPE TOWARD EXISTING / PROPOSED DRAINAGE PATHS. WHERE NEW GRADES ARE SHOWN AS '±', TRANSITION TO EXISTING SHALL BE SMOOTH AND LEVEL.
- E. WATER SHALL NOT POND ON PAVED AREAS.
- F. FINAL GRADES SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF CONCRETE BUILDING PAD, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRADE, COMPACT SUBGRADE AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS MATERIAL THICKNESSES.
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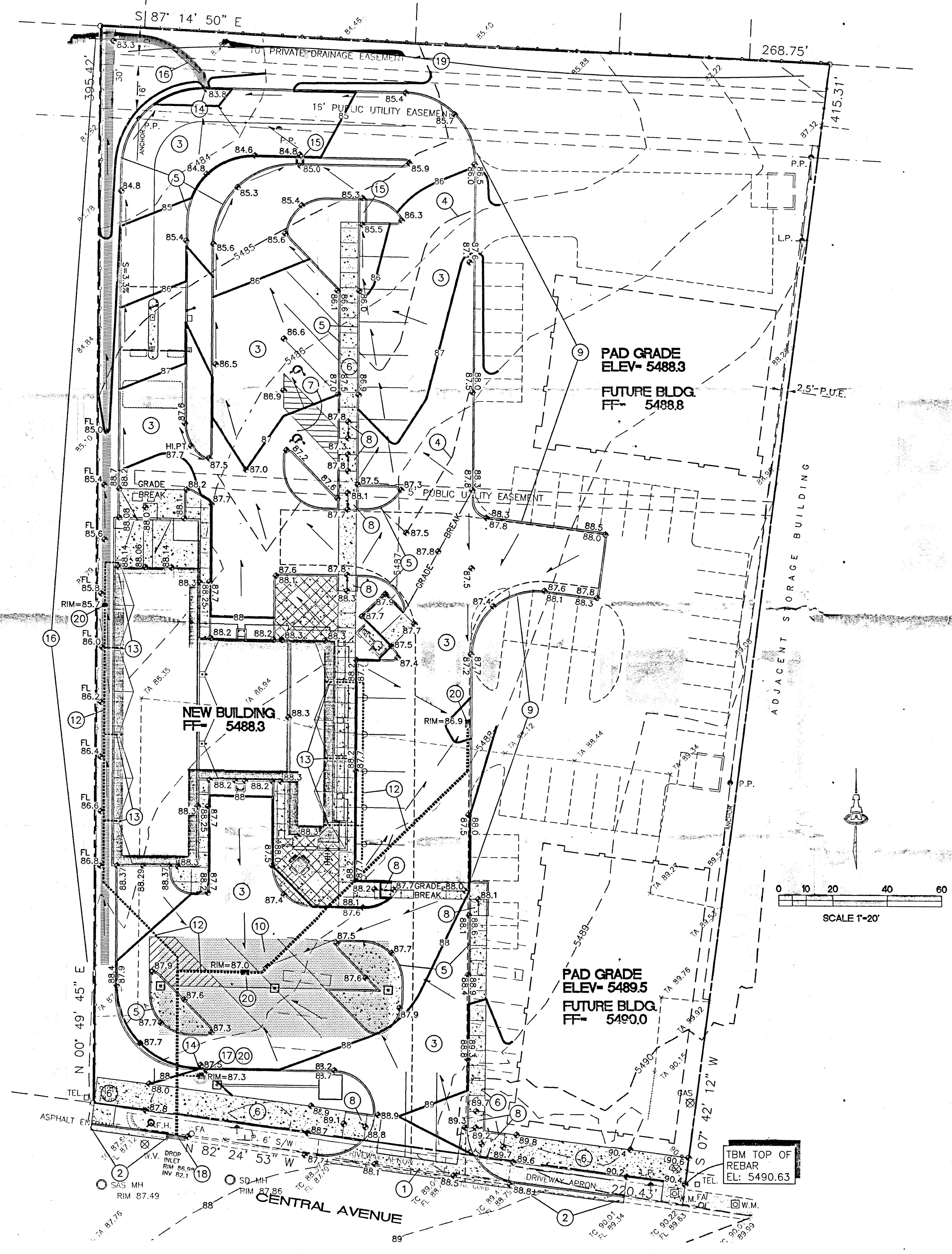
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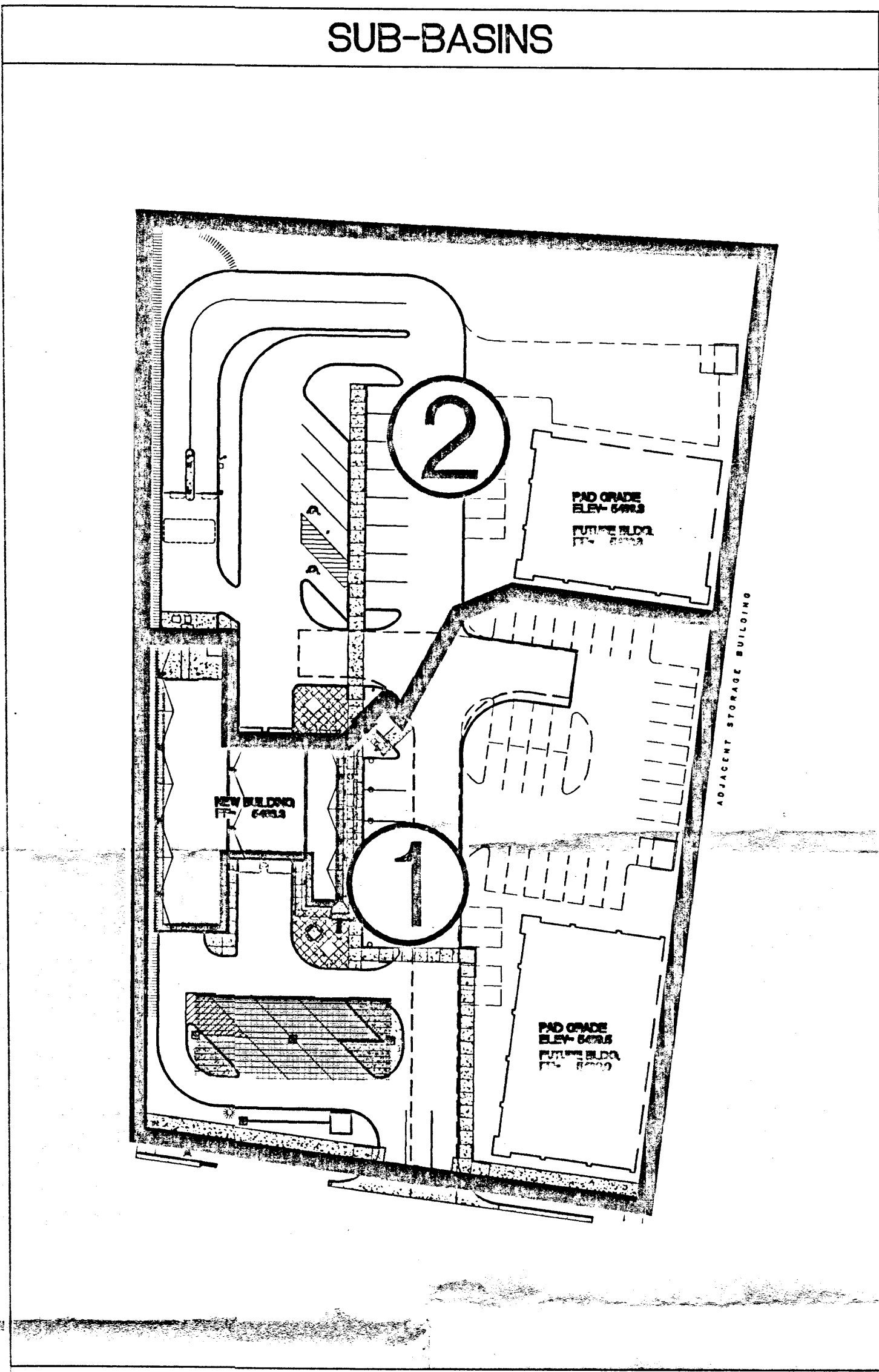
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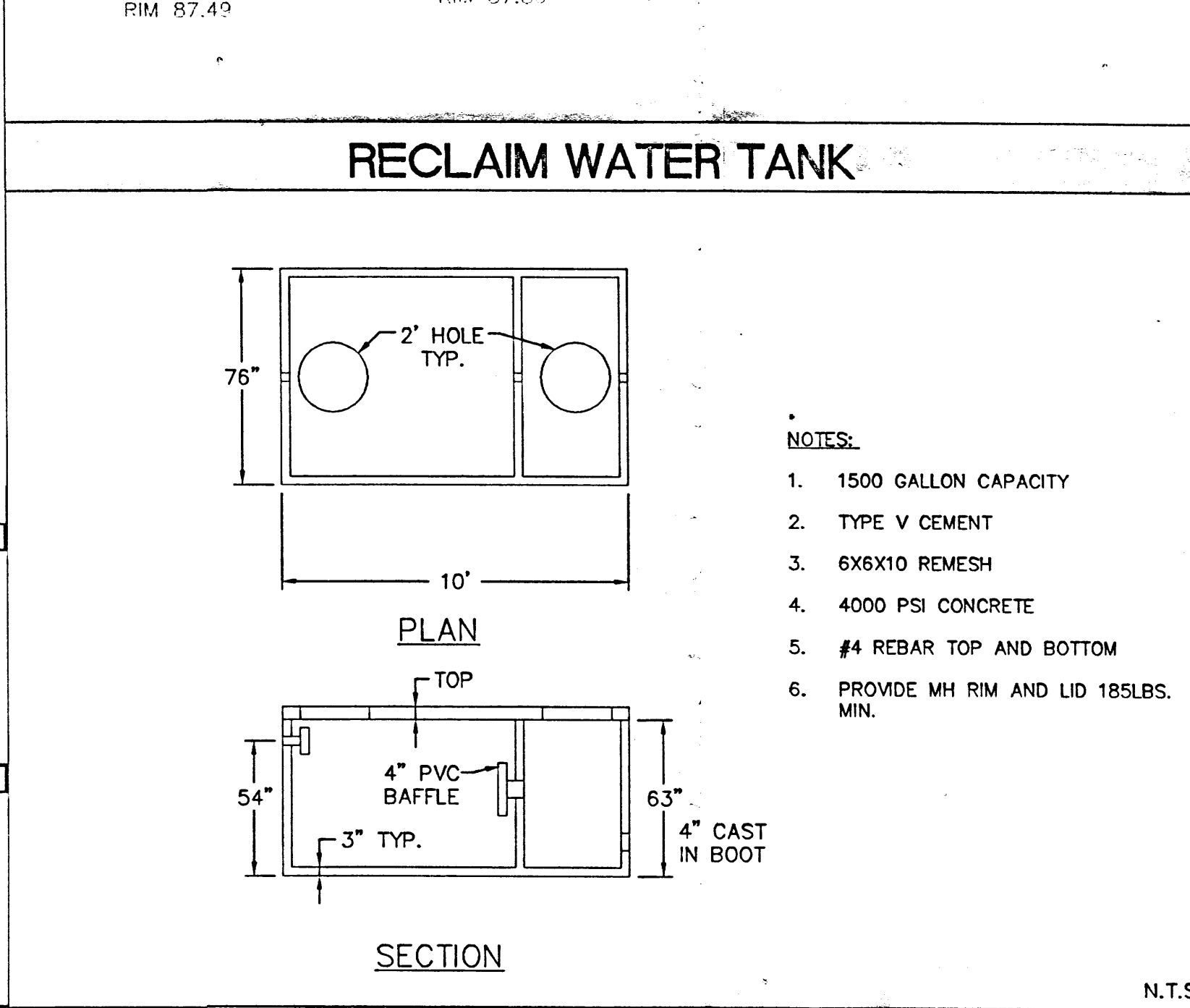
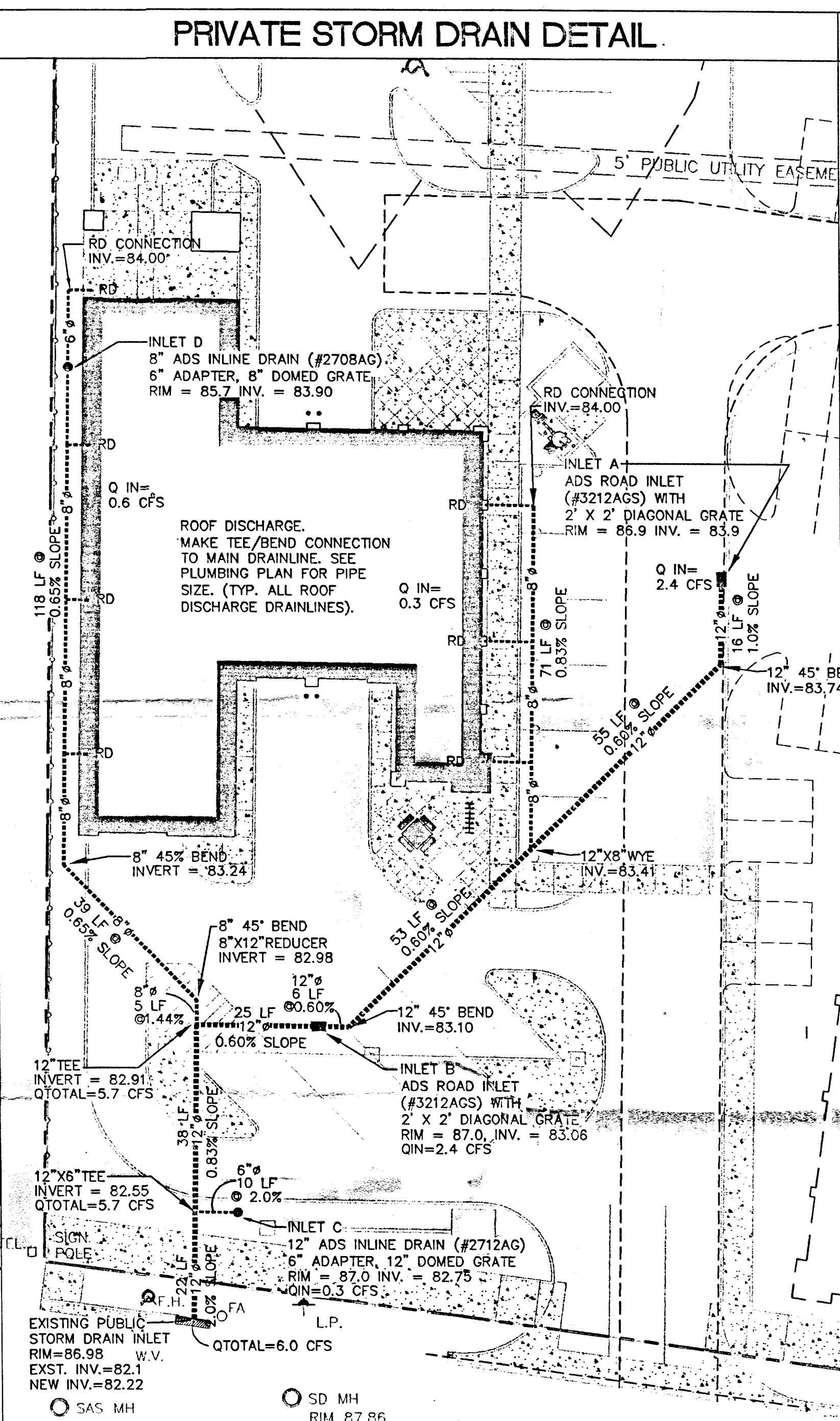
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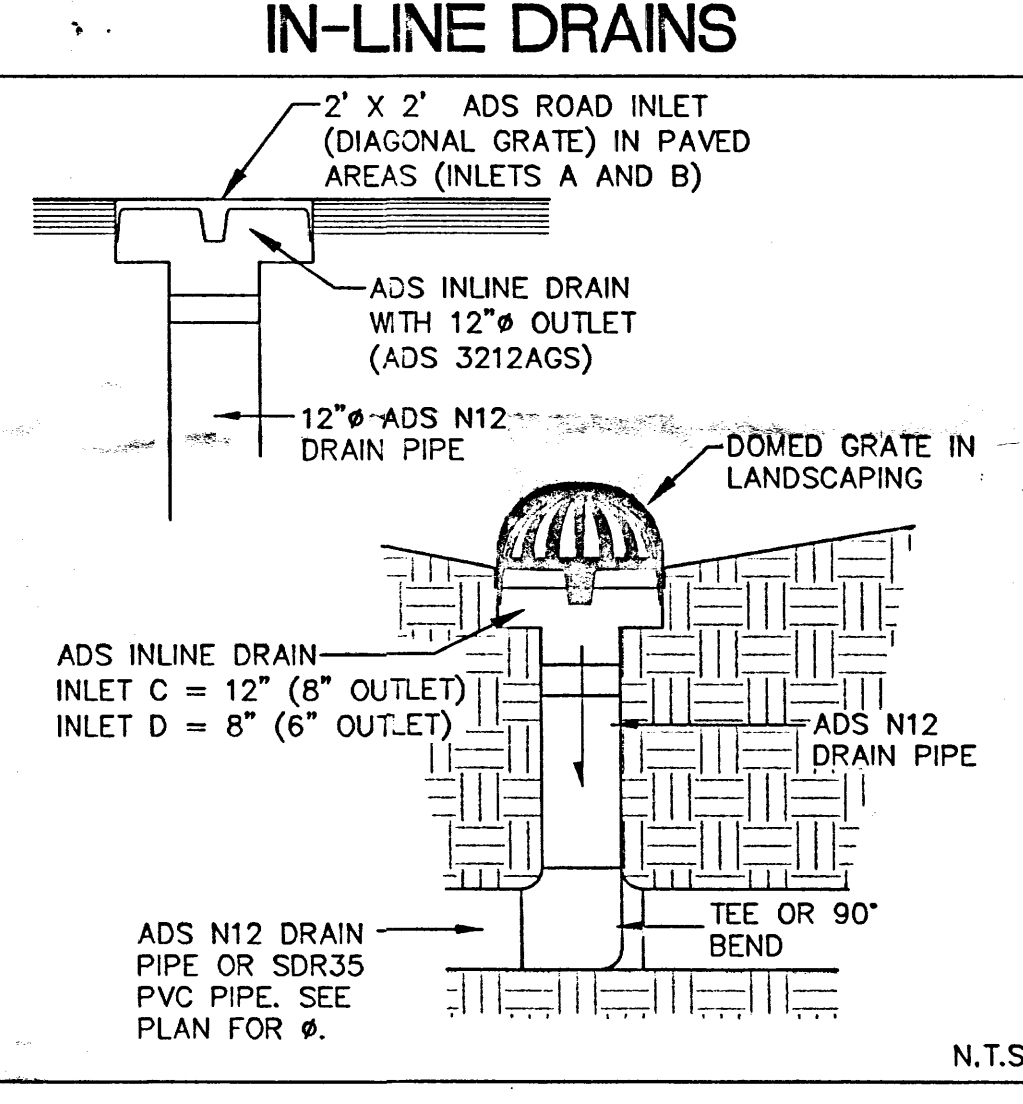
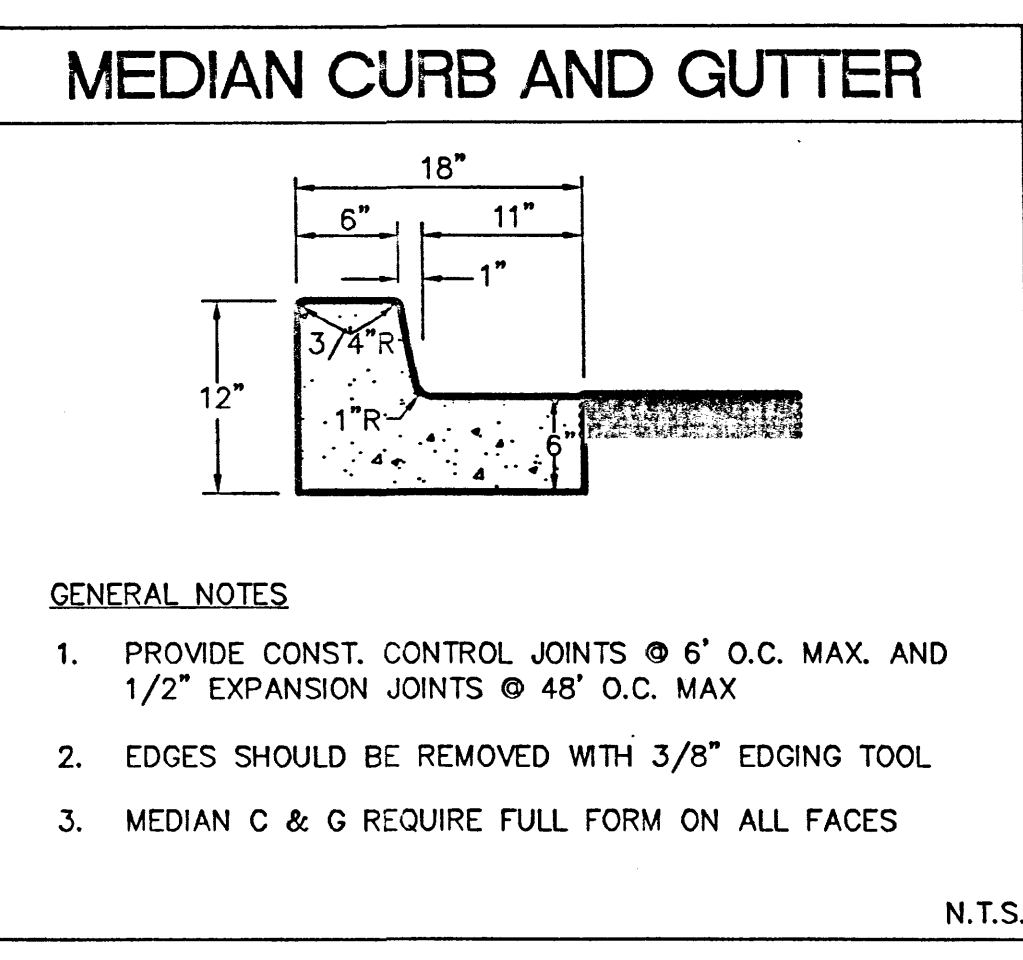
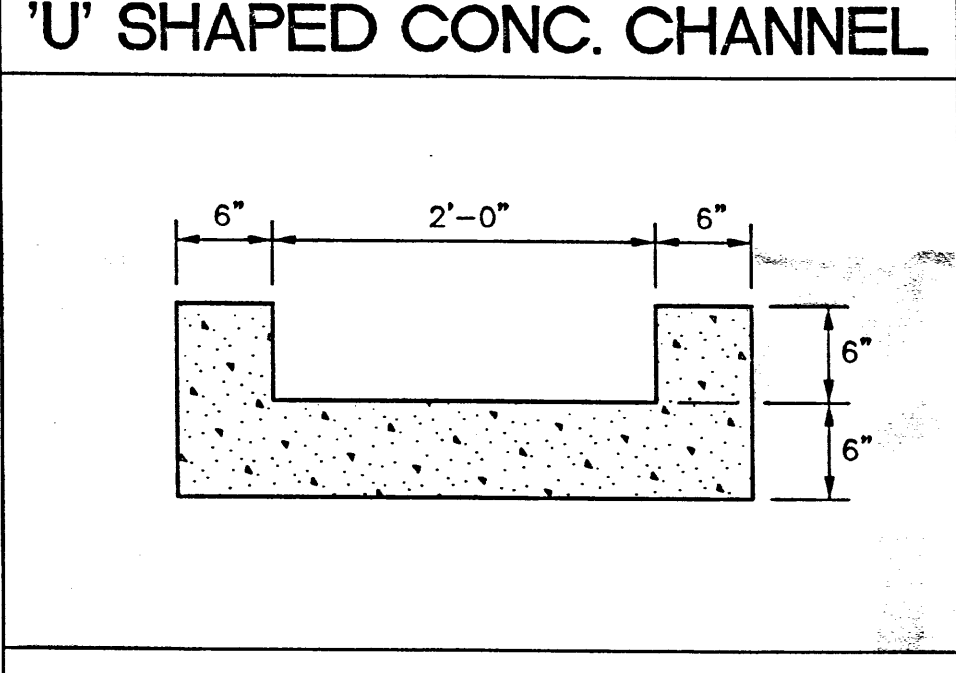
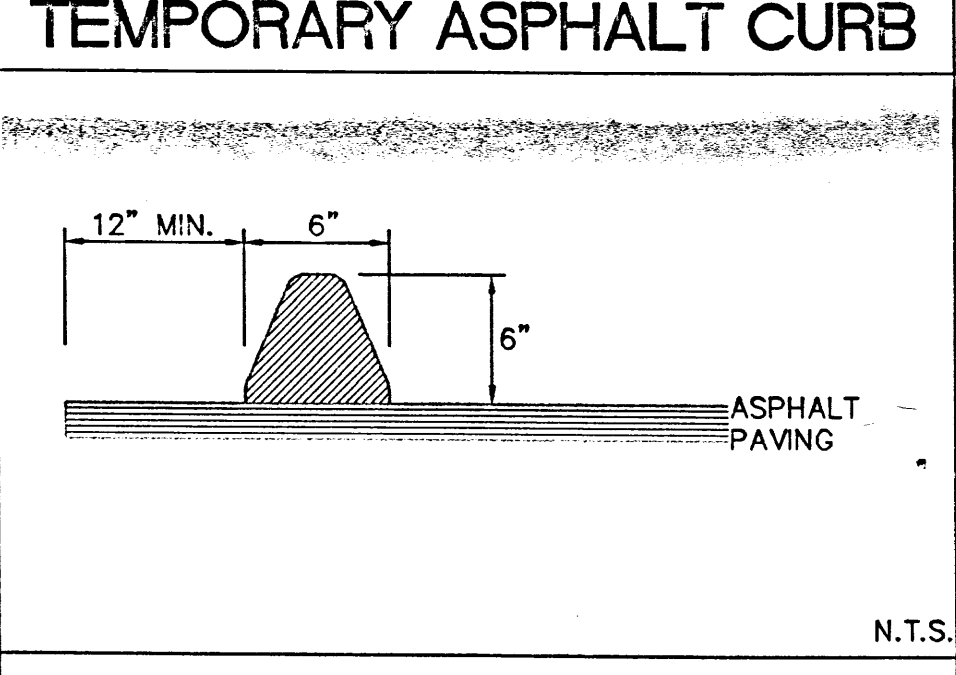
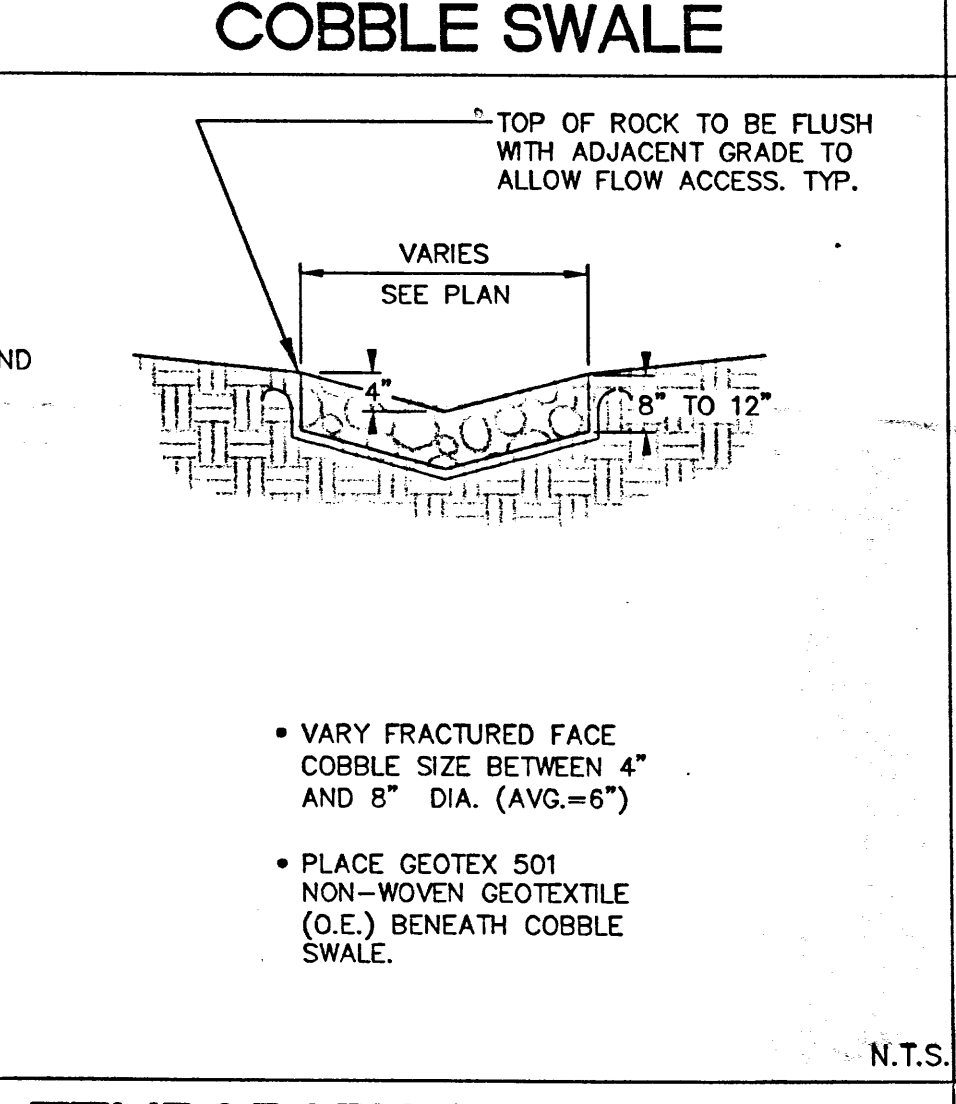




CALCULATIONS: Flex Car Spa & Lube : 10-Mar-09				
Based on Drainage Design Criteria for City of Albuquerque Section 22.2, DPM, Vol 2, dated Jan., 1993				
ON-SITE				
AREA OF SITE:	98877	SF	=	2.3 Ac.
HISTORIC FLOWS:		DEVELOPED FLOWS:		EXCESS PRECIP:
On-Site Historic Land Condition		On-Site Developed Land Condition		Precip. Zone 4
Area A =	0 SF	Area A =	0 SF	E <sub>A</sub> = 0.80
Area B =	10000 SF	Area B =	2335 SF	E <sub>B</sub> = 1.08
Area C =	55952 SF	Area C =	12497 SF	E <sub>C</sub> = 1.46
Area D =	32925 SF	Area D =	84046 SF	E <sub>D</sub> = 2.64
Total Area =	98877 SF	Total Area =	98877 SF	
On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)				
Weighted E =		$E_A A_A + E_B A_B + E_C A_C + E_D A_D$		
		$A_A + A_B + A_C + A_D$		
Historic E =	1.81 in.	Developed E =	2.45 in.	
On-Site Volume of Runoff: V <sub>360</sub> = E * A / 12				
Historic V <sub>360</sub> =	14951 CF	Developed V <sub>360</sub> =	20221 CF	
On-Site Peak Discharge Rate: Q <sub>p</sub> = Q <sub>pA</sub> A <sub>A</sub> + Q <sub>pB</sub> A <sub>B</sub> + Q <sub>pC</sub> A <sub>C</sub> + Q <sub>pD</sub> A <sub>D</sub> / 43.560				
For Precipitation Zone 4				
Q <sub>pA</sub> = 2.20		Q <sub>pC</sub> = 3.73		
Q <sub>pB</sub> = 2.92		Q <sub>pD</sub> = 5.25		
Historic Q <sub>p</sub> =	9.4 CFS	Developed Q <sub>p</sub> =	11.4 CFS	
BASIN NO. 1 DESCRIPTION				
Area of basin flows =	52183 SF	1.2 Ac.		
The following calculations are based on Treatment areas as shown in table to the right				
Sub-basin Weighted Excess Precipitation (see formula above)				
Weighted E =		2.46 in.		
TREATMENT				
Sub-basin Volume of Runoff (see formula above)		A = 0%		
V <sub>360</sub> =		10711 CF		
B = 0%				
Sub-basin Peak Discharge Rate: (see formula above)		C = 15%		
Q <sub>p</sub> =		6.0 cfs		
D = 85%				
BASIN NO. 2 DESCRIPTION				
Area of basin flows =	46694 SF	1.1 Ac.		
The following calculations are based on Treatment areas as shown in table to the right				
Sub-basin Weighted Excess Precipitation (see formula above)				
Weighted E =		2.44 in.		
TREATMENT				
Sub-basin Volume of Runoff (see formula above)		A = 0%		
V <sub>360</sub> =		9510 CF		
B = 5%				
Sub-basin Peak Discharge Rate: (see formula above)		C = 10%		
Q <sub>p</sub> =		5.3 cfs		
D = 85%				



- GENERAL NOTES
- EACH PROPOSED INLET TO CONSIST OF AN ADS NYLOPLAST INLINE DRAIN WITH 8" OUTLET (SEE PLAN FOR GRATE SIZE) WITH DOME GRATE INSTALLED IN LANDSCAPED AREAS AND PEDESTRIAN GRATE IN PAVEMENT. EXTEND 6" ADS PIPE AND CONNECT TO PROPOSED STORM DRAIN MAIN LINE USING ADS N12WT (WT=WATERTIGHT) TEES AND BENDS.
  - ALL STORM DRAIN LINES AND FITTINGS TO BE ADS N-12WT WATERTIGHT O.A.E.
  - MINIMUM SLOPE = 1.0% UNLESS NOTED.
  - STORM DRAIN SYSTEM WILL REQUIRE REGULAR MAINTENANCE TO ENSURE PROPER FUNCTIONING DURING STORM EVENTS. PROPERTY OWNER SHALL PUT IN PLACE INSPECTION AND MAINTENANCE CRITERIA SCHEDULED TO OCCUR MONTHLY AND AFTER EACH STORM EVENT.



S.O.19 : NOTICE TO CONTRACTORS		
1	AN EXCAVATION / CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY.	
2	ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #7 AMENDMENT 1.	
3	TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES.	
4	PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.	
5	BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC / STREET USE.	
6	MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.	
7	WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.	
APPROVAL	NAME	DATE
INSPECTOR		

**DSA**  
Darren Sowell  
ARCHITECTS  
4700 Lincoln N.E., Suite 111  
Albuquerque, N.M. 87109  
Phone: (505) 342-6200  
Fax: (505) 342-6201

**ISAACSON & ARFMAN, P.A.**  
Consulting Engineering Associates  
128 Monroe Street N.E.  
Albuquerque, New Mexico 87108  
Ph. 505-268-8828 Fax. 505-268-2632

1703 CG-101.dwg Jun 10, 2009

**Flex Car Spa & Lube**  
Phase I Development  
10705 Central Avenue, NE  
Albuquerque, NM 87123

Project Number	
Drawn By	
Checked	
Issue Date	June 10, 2009

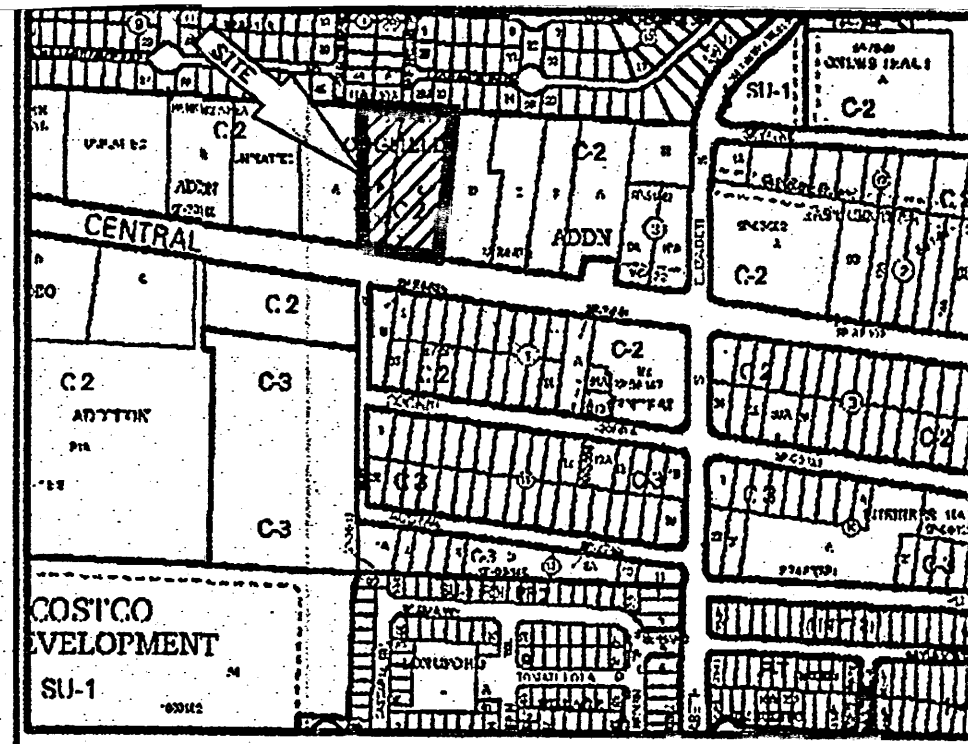
GRADING AND DRAINAGE DETAILS

Scale:

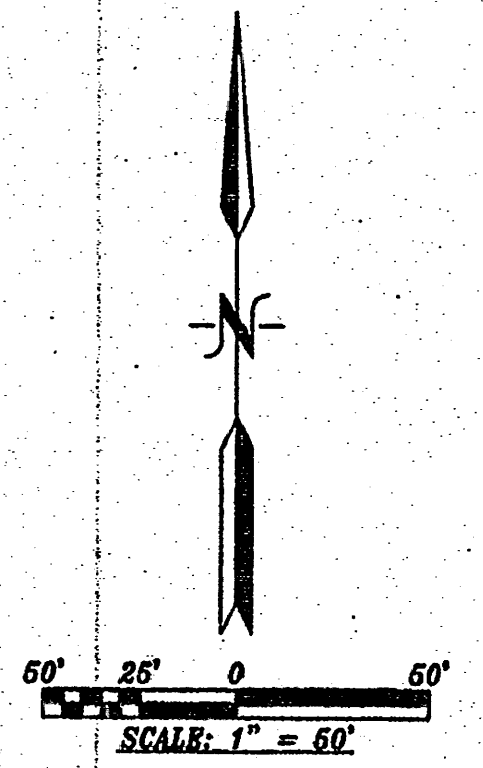
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JUN 10 2009  
HYDROLOGY SECTION

CG-102





VICINITY MAP No. L-21



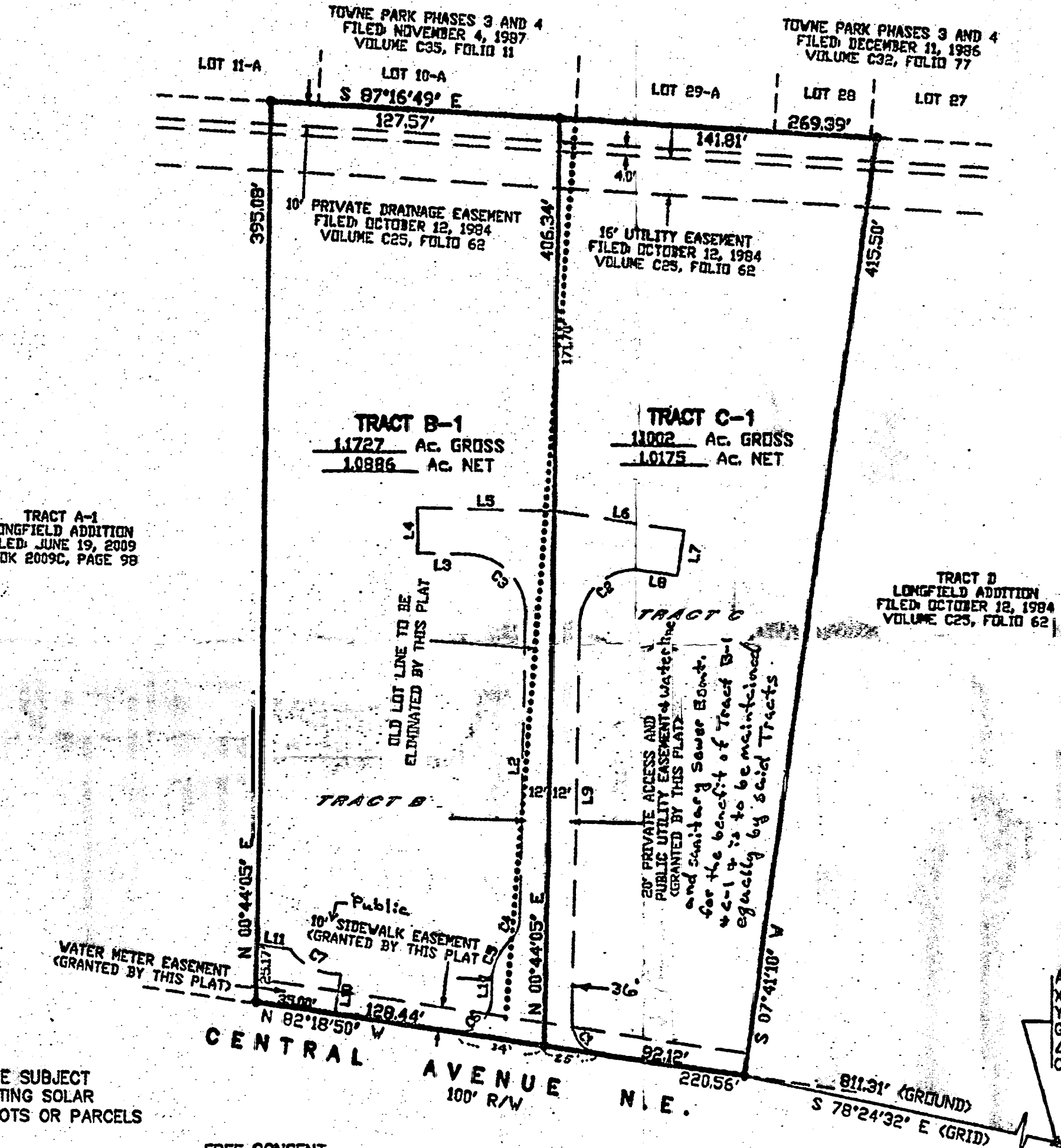
**PURPOSE OF PLAT:**  
THE PURPOSE OF THIS PLAT IS TO RE-ALIGN THE LOT LINES BETWEEN TRACTS B AND C AND GRANT ALL EASEMENTS AS SHOWN.

- GENERAL NOTES:**
- 1: UNLESS NOTED, NO. 4 REBAR WITH CAP STAMPED P.S.#11483 WERE SET AT ALL PROPERTY CORNERS.
  - 2: THIS PLAT SHOWS ALL EASEMENTS OF RECORD.
  - 3: TOTAL AREA OF PROPERTY: 2.2728 ACRES.
  - 4: TALOS LOG NO. 2009120114.
  - 5: BASIS OF BEARINGS IS THE NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD 1983.
  - 6: DISTANCES ARE GROUND, BEARINGS ARE GRID.
  - 7: BEARINGS AND DISTANCES SHOWN IN PARENTHESES ARE RECORD.
  - 8: DATE OF FIELD WORK: JULY, 2009.
  - 9: NO PROPERTY WITHIN THE AREA OF THIS PLAT SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT.

09-0601.DWG (SEPTEMBER, 2009)

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON  
UPC# \_\_\_\_\_  
PROPERTY OWNER OF RECORD: \_\_\_\_\_  
BERNALILLO CO. TREASURER'S OFFICE: \_\_\_\_\_

**LEGAL DESCRIPTION**  
TRACTS LETTERED 'B' AND 'C' IN BLOCK NUMBERED ONE (1) OF THE LONGFIELD ADDITION, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON OCTOBER 12, 1984 IN PLAT BOOK C25, PAGE 62 BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
BEGINNING AT THE SOUTHEAST CORNER OF THE HEREIN DESCRIBED TRACT, BEING A POINT ON THE NORTHERLY LINE OF CENTRAL AVENUE WHENCE CITY OF ALBUQUERQUE CONTROL MONUMENT "6-L21" HAVING NEW MEXICO STATE PLANE COORDINATES OF CENTRAL ZONE, NAD 1983) X=1,558,220.734 AND Y=1,481,282.770 BEARS S 78°24'32" E A DISTANCE OF 811.31 FEET RUNNING THENCE N 82°18'50" W, ALONG THE NORTHERLY LINE OF CENTRAL AVENUE, A DISTANCE OF 220.56 FEET TO THE SOUTHWEST CORNER;  
THENCE N 00°44'05" E, A DISTANCE OF 395.08 FEET TO THE NORTHWEST CORNER;  
THENCE S 87°16'49" E, A DISTANCE OF 269.39 FEET TO THE NORTHEAST CORNER;  
THENCE S 07°41'10" W, A DISTANCE OF 415.50 FEET TO THE SOUTHEAST CORNER AND PLACE OF BEGINNING CONTAINING 2.2728 ACRES MORE OR LESS.



**FREE CONSENT**  
THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND PROPRIETOR THEREOF. SAID OWNER / PROPRIETOR DOES HEREBY GRANT ANY AND ALL EASEMENTS AS MAY BE CREATED BY THIS PLAT. THOSE SIGNING AS OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.  
*Anthony L. Harris* 11-4-09  
DATE

**ACKNOWLEDGMENT**  
STATE OF NEW MEXICO ) S.S.  
COUNTY OF BERNALILLO )  
THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME A NOTARY PUBLIC THIS 4th DAY OF NOV 2009  
BY: *Anthony L. Harris*  
OWNERS NAME  
MY COMMISSION EXPIRES: Aug 20, 2011 BY: *L. M. ...*  
NOTARY PUBLIC

# PLAT OF TRACT B-1 AND C-1 LONGFIELD ADDITION

WITHIN  
SECTION 28, TOWNSHIP 10 NORTH, RANGE 4 EAST, N.M.P.M.  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
OCTOBER, 2009

PROJECT NUMBER: 1008005  
APPLICATION NUMBER: 09DRB 70312  
CITY APPROVALS:  
CITY SURVEYOR: *W. B. ...* 12-3-09  
DATE  
REAL PROPERTY DIVISION (CONDITIONAL) DATE  
ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL) DATE  
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION 12-11-09  
DATE  
ABCHWA: *Regan A. ...* 10-14-09  
DATE  
PARKS AND RECREATION DEPARTMENT: *Christina ...* 10/14/09  
DATE  
AMAFCA: *Bradley J. ...* 12/11/09  
DATE  
CITY ENGINEER: *Bradley J. ...* 12/11/09  
DATE  
DRB CHAIRPERSON, PLANNING DEPARTMENT: *Paul ...* 12/11/09  
DATE

CURVE TABLE					
NUMBER	DELTA ANGLE	CHORD DIRECTION	RADIUS	ARC LENGTH	CHORD LENGTH
C2	96°32'27"	S 49°16'18" V	25.00	43.27	37.41
C3	90°00'00"	N 44°15'55" V	25.00	39.27	35.36
C4	45°34'23"	N 23°31'16" E	15.00	11.93	11.62
C5	45°34'23"	S 23°31'16" V	25.00	19.88	19.36
C7	51°26'04"	S 63°24'16" E	27.00	24.32	23.50

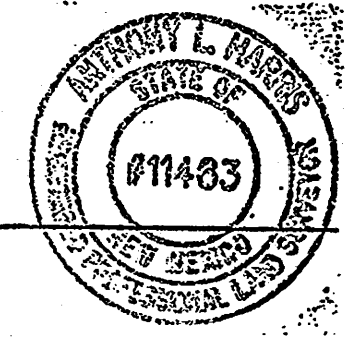
LINE TABLE		
NUMBER	DIRECTION	DISTANCE
L1	N 00°44'05" E	7.02
L2	N 60°44'05" E	134.19
L3	S 89°15'55" E	23.09
L4	S 00°44'05" W	20.00
L5	N 89°15'55" V	60.00
L6	N 82°23'28" V	60.00
L7	N 07°36'32" E	20.00
L8	S 82°23'28" E	17.31
L9	N 00°44'05" E	173.04
L10	N 07°36'32" E	17.57
L11	N 69°10'15" V	14.45
L12	S 82°24'59" E	14.34

ACS STATION "6-L21"  
X=1,558,220.734  
Y=1,481,282.770  
GRD TO GRID=0.999648352  
Δα = -00° 09' 28.24"  
CENTRAL ZONE, NAD 1983

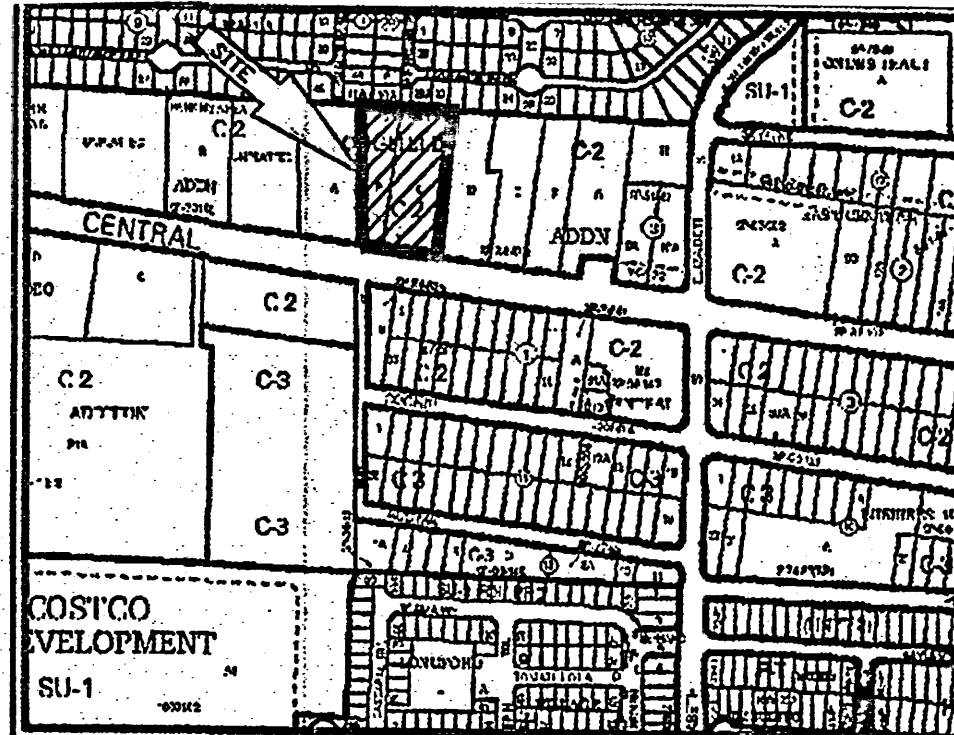
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JUL 28 2011  
HYDROLOGY  
SECTION

**SURVEYORS CERTIFICATE:**  
STATE OF NEW MEXICO ) S.S.  
COUNTY OF BERNALILLO )  
I, ANTHONY L. HARRIS, A DULY PROFESSIONAL LICENSED LAND SURVEYOR, UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT I AM RESPONSIBLE FOR SAID PLAT AND MEETS THE REQUIREMENTS FOR MONUMENTATION AND SURVEY OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND MEETS THE MINIMUM REQUIREMENTS FOR LAND SURVEYS AS SET FORTH BY THE STATE OF NEW MEXICO.

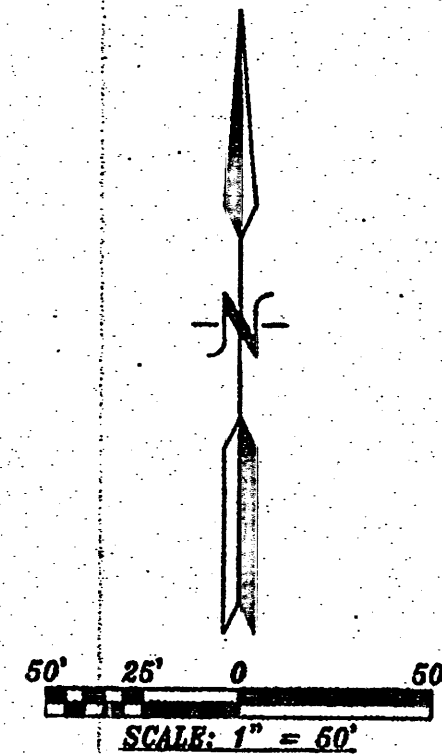
GIVEN UNDER MY HAND AND SEAL AT ALBUQUERQUE, NEW MEXICO,  
THIS 20th DAY OF October, 2009.  
*Anthony L. Harris*  
ANTHONY L. HARRIS, P.S. # 11483  
HARRIS SURVEYING, INC. PHONE: (505) 889-8050  
1111 SOUTH STREET, N.E. FAX: (505) 889-8045  
ALBUQUERQUE, NEW MEXICO 87110







VICINITY MAP No. L-21

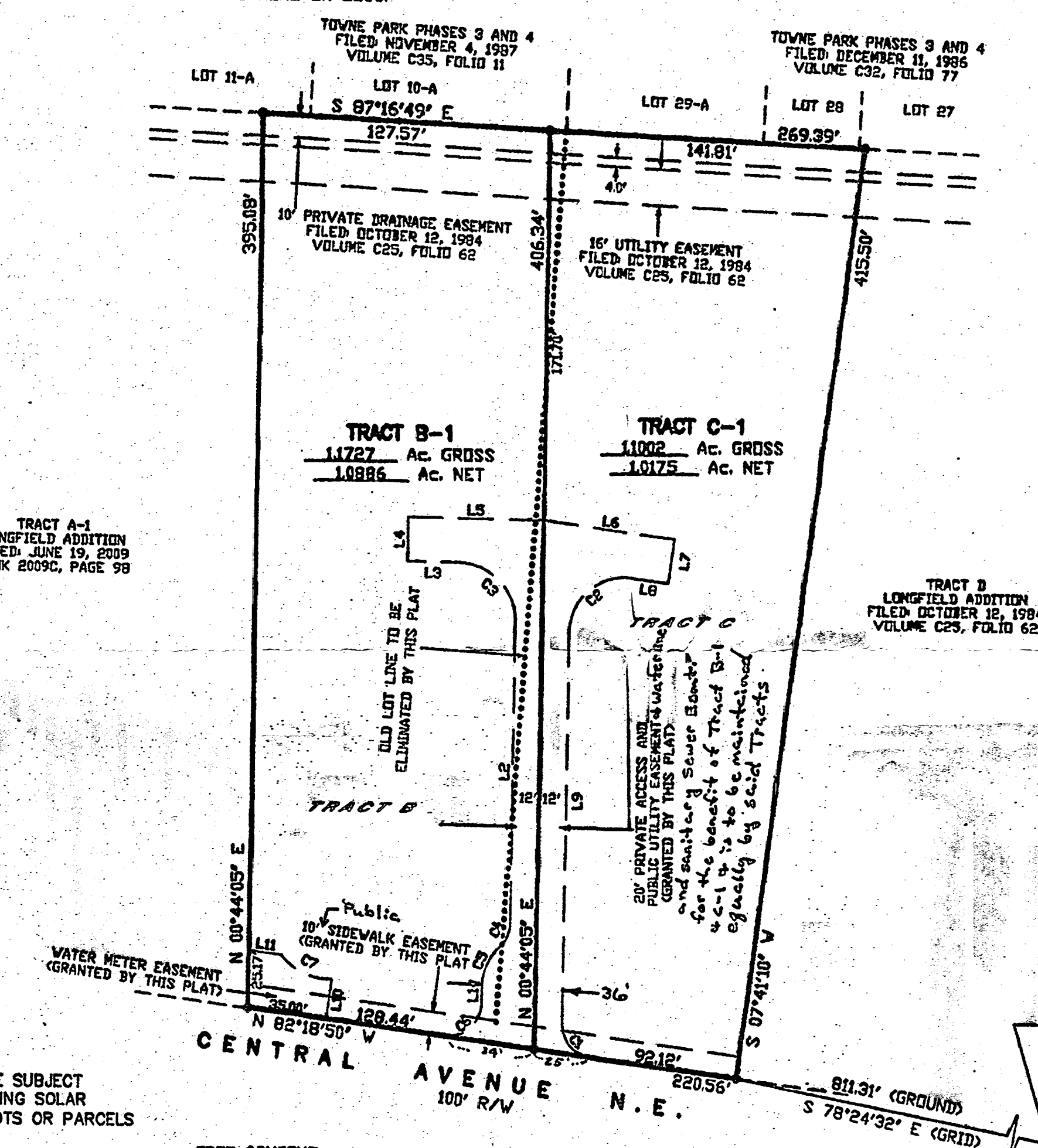


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**LEGAL DESCRIPTION**  
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*Anthony L. Harris* 11-4-09  
DATE

ACKNOWLEDGMENT  
STATE OF NEW MEXICO ) S.S.  
COUNTY OF BERNALILLO )

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME A NOTARY PUBLIC THIS 4th DAY OF Nov, 2009

BY: *Anthony L. Harris*  
OWNERS NAME

MY COMMISSION EXPIRES: Aug 31, 2010 BY: *Anthony L. Harris*  
NOTARY PUBLIC

**PLAT OF  
TRACT B-1 AND C-1  
LONGFIELD ADDITION**

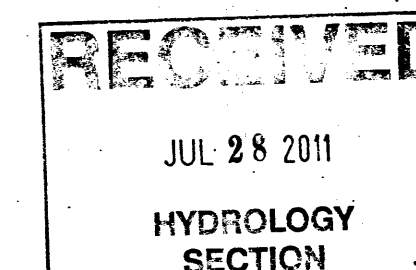
WITHIN  
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CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
OCTOBER, 2009

PROJECT NUMBER: 1008005  
APPLICATION NUMBER: 09d88 70312  
CITY APPROVALS:  
CITY SURVEYOR: *Anthony L. Harris* 12-3-09  
DATE  
REAL PROPERTY DIVISION (CONDITIONAL) DATE  
ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL) DATE  
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION 12-11-09  
DATE  
ABQWA: *Roger A. Roca* 10-14-09  
DATE  
PARKS AND RECREATION DEPARTMENT: *Christian Sandoval* 10/14/09  
DATE  
AMAFCA: *Bradley A. Bringham* 12/11/09  
DATE  
CITY ENGINEER: *Bradley A. Bringham* 12/11/09  
DATE  
DRB CHAIRPERSON, PLANNING DEPARTMENT: *Paul P. ...* 12/11/09  
DATE

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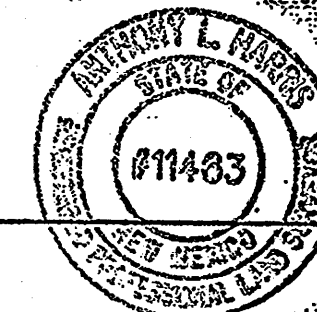


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GIVEN UNDER MY HAND AND SEAL AT ALBUQUERQUE, NEW MEXICO,  
THIS 20th DAY OF October, 2009.

*Anthony L. Harris*  
ANTHONY L. HARRIS, P.S. # 11463  
HARRIS SURVEYING, INC.  
10100 3RD AVENUE, SUITE 100, N.E.  
ALBUQUERQUE, NEW MEXICO 87110  
PHONE: (505) 889-8050  
FAX: (505) 889-8045



CS-080100 (SEPTEMBER, 2009)



## SITE DATA

LEGAL DESCRIPTION: TRACTS "B" AND "C" OF THE LONGFIELD ADDITION  
ADDRESS: 10705 CENTRAL AVENUE, NE  
SITE AREA: 2.2641 ACRES  
PHASE I AREA: 1.2249 ACRES  
ZONING: C-2  
DESIGN REGULATIONS: INTERIM DEVELOPMENT MANAGEMENT AREA DESIGN REGULATIONS (R-08-05),  
COMPREHENSIVE CITY ZONING CODE & DEVELOPMENT PROCESS MANUAL

## PARKING CALCULATIONS

REQUIRED: 1 SPACE / 300 SF OF NET LEASABLE AREA.  
1,140 SF / 300 = 3.8267  
PARKING PROVIDED: 5 SPACES  
ADA PARKING PROVIDED: 1 SPACE

MOTORCYCLE PARKING PROVIDED: 1 SPACE

BICYCLE PARKING PROVIDED: 2 SPACES

## GENERAL NOTES

A. ALL WHEELCHAIR RAMP IN THE CITY RIGHT OF WAY SHALL HAVE A MAXIMUM SLOPE OF 1:12 AND MUST HAVE A DETECTABLE WARNING SURFACE CONSISTING OF RAISED, TRUNCATED DOMES. LANDING SLOPE CANNOT EXCEED 1:50.

B. A SEPARATE PERMIT IS REQUIRED FOR BUILDING & MONUMENT SIGNS.

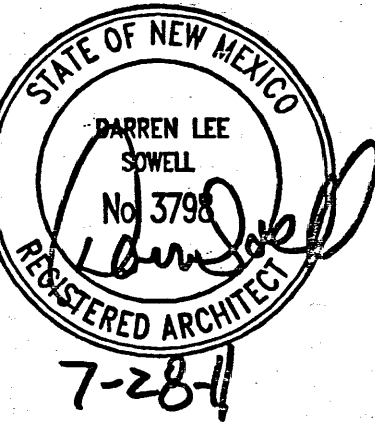
## KEYED NOTES

- EXISTING CONCRETE CURB & GUTTER TO REMAIN.
- NEW STANDARD CURB & GUTTER PER COA STANDARD DETAIL 2415A.
- FUTURE DEVELOPMENT, NIG.
- NEW PRIVATE ENTRANCE PER COA STANDARD DETAIL 2426.
- NEW WHEELCHAIR RAMP IV MAX. SLOPE OF 1:12 PER COA STANDARD DETAIL 2426. MUST HAVE TRUNCATED DOMES.
- NEW CONCRETE CURB & GUTTER, SEE DETAIL 3/A5501.
- NEW ASPHALT PAVING, SEE DETAIL 15/A5501.
- NEW TEMPORARY ASPHALT CURB, SEE DETAIL 19/A5501.
- NEW 3' HIGH CMU SCREEN WALL, SEE DETAIL 20/A5501.
- NEW MONUMENT SIGN, SEE DETAIL 2/A5502.
- NEW SHADE STRUCTURE, SEE ELEV 5/A5502 & STRUCTURAL.
- NEW 4' WIDE PAVEMENT MARKING.
- NEW CONCRETE CROSSWALK, SEE DETAIL 15/A5501.
- NEW CONCRETE SIDEWALK, SEE DETAIL 13/A5501.
- NEW 4" THICK CONCRETE PAVING, SEE DETAIL 14/A5501.
- NEW DUMPSTER/VACUUM ENCLOSURE, SEE DETAIL 5/A5501.
- NEW BIKE RACK, SEE DETAIL 1/A5501.
- NEW CONCRETE FILLED PIPE BOLLARD, SEE DETAIL 2/A5501.
- NEW STOP SIGN, SEE DETAIL 10/A5501.
- NEW ACCESSIBLE PARKING SIGN, SEE DETAIL 12/A5501.
- AUTOMATIC CASHIER KIOSK AND GATE, SEE DETAIL 1/A5502.
- NEW CARMASH TUNNEL SLAB, SEE STRUCTURAL.
- NEW CARMASH CONVEYOR TRENCH, SEE STRUCTURAL.
- NEW ACCESSIBLE RAMP IV MAX. SLOPE OF 1:12, SEE DETAIL 18/A5501.
- NEW ACCESSIBLE PARKING SIGN, SEE DETAIL 11/A5501.
- NEW EXTERIOR LIGHT POLES, SEE DETAIL 9/A5501.
- NEW PAINTED DIRECTIONAL ARROW, SEE DETAIL 4/A5502.
- NEW PAINTED "DO NOT ENTER" SIGN (TYPICAL), SEE DETAIL 5/A5502.
- NEW SQUARE TABLE 46" SQUARE, EXPANDED METAL TABLE TRADITIONAL EDGE SINGLE, PEDESTAL IV SURFACE MOUNT PLATE 10 1/4" WIDE SEATS WITH UMBRELLA HOLE FOR STANDARD 1 1/2" DIAMETER POLE, AS MANUFACTURED BY UPEAT SITE FURNISHINGS ITEM# FSC-F1404.
- EXISTING FIRE HYDRANT TO REMAIN.
- NEW FIRE HYDRANT, SEE SHEET CU-101.
- 20' WIDE FIRE ACCESS LANE.
- NEW UNDERGROUND VACUUM SYSTEM PIPING TO BE INSTALLED BY THE PLUMBING SUBCONTRACTOR. REFER TO SHEET Z-104 FOR VACUTECH SHOP DRAWINGS.
- NEW CONCRETE FOOTING FOR ARCH VACUUM STANCHION TO BE INSTALLED BY THE GC. REFER TO SHEET Z-104 FOR VACUTECH SHOP DRAWINGS.
- EXISTING DRIVEWAY, SIDEWALK AND CURB & GUTTER TO BE REMOVED. SEE SHEET AD101 FOR MORE INFORMATION.
- NEW PUBLIC SIDEWALK EASEMENT.
- NEW PRE-MANUFACTURED WHEEL STOP.
- NEW MOTORCYCLE PARKING SPACE & SIGN.
- EXISTING 6' CMU WALL TO REMAIN.
- EXISTING CMU WALL/SELF STORAGE BUILDING TO REMAIN.

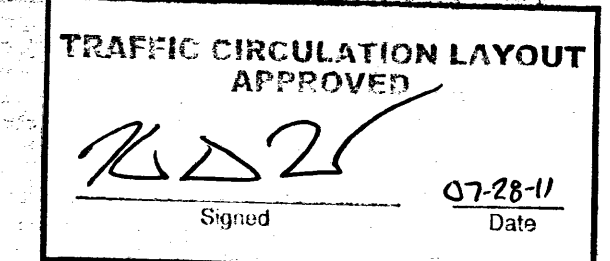
**DISIA**

**Darren Sowell**  
ARCHITECTS

4700 Lincoln N.E., Suite 111  
Albuquerque, N.M. 87109  
Phone: (505) 342-6200  
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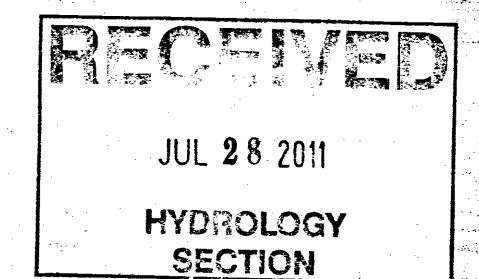


**Flex Car Spa & Lube**  
Phase I Development  
10705 Central Avenue, NE  
Albuquerque, NM 87123



Public Infrastructure shown  
on these plans for information  
only and not part of approval.  
Separate DRG/Permit approval  
and Work Order required.

ALL WHEELCHAIR RAMP LOCATED  
WITHIN THE PUBLIC RIGHT OF WAY  
MUST HAVE TRUNCATED DOMES.



1 8-2-09 PLAN REVIEW COMMENTS  
2 7-28-11 TOL REVIEW COMMENTS

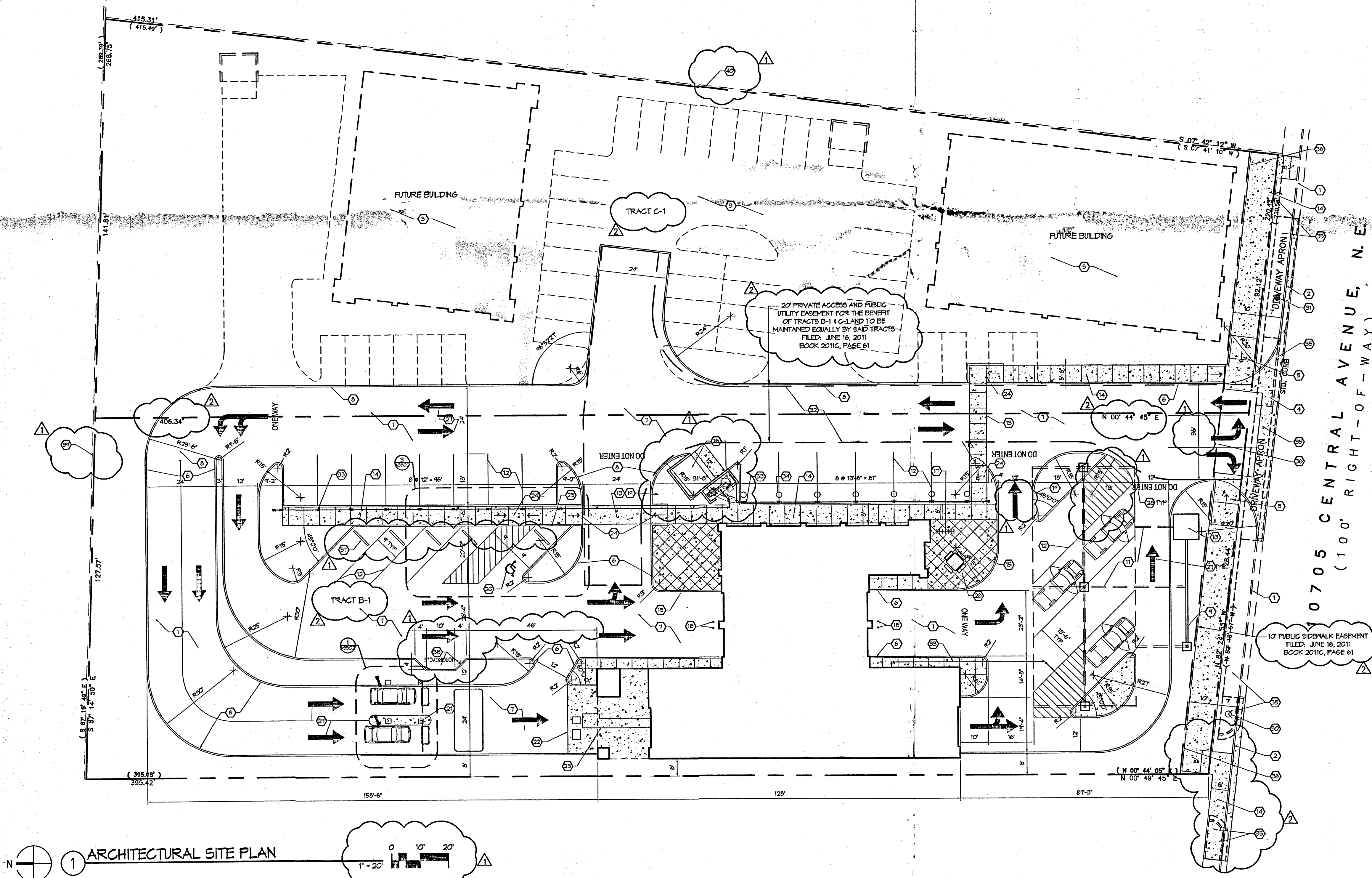
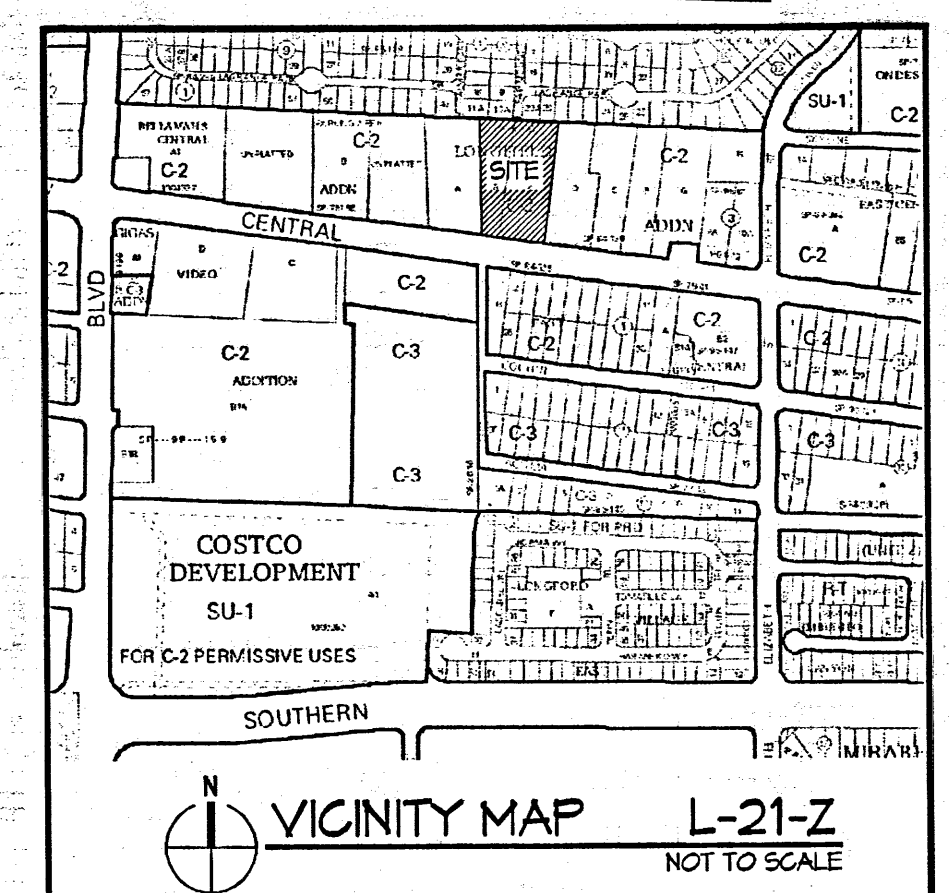
Project Number  
Drawn By  
Checked  
Issue Date June 10, 2009

ARCHITECTURAL  
SITE PLAN

Scale: AS SHOWN

**AS101**

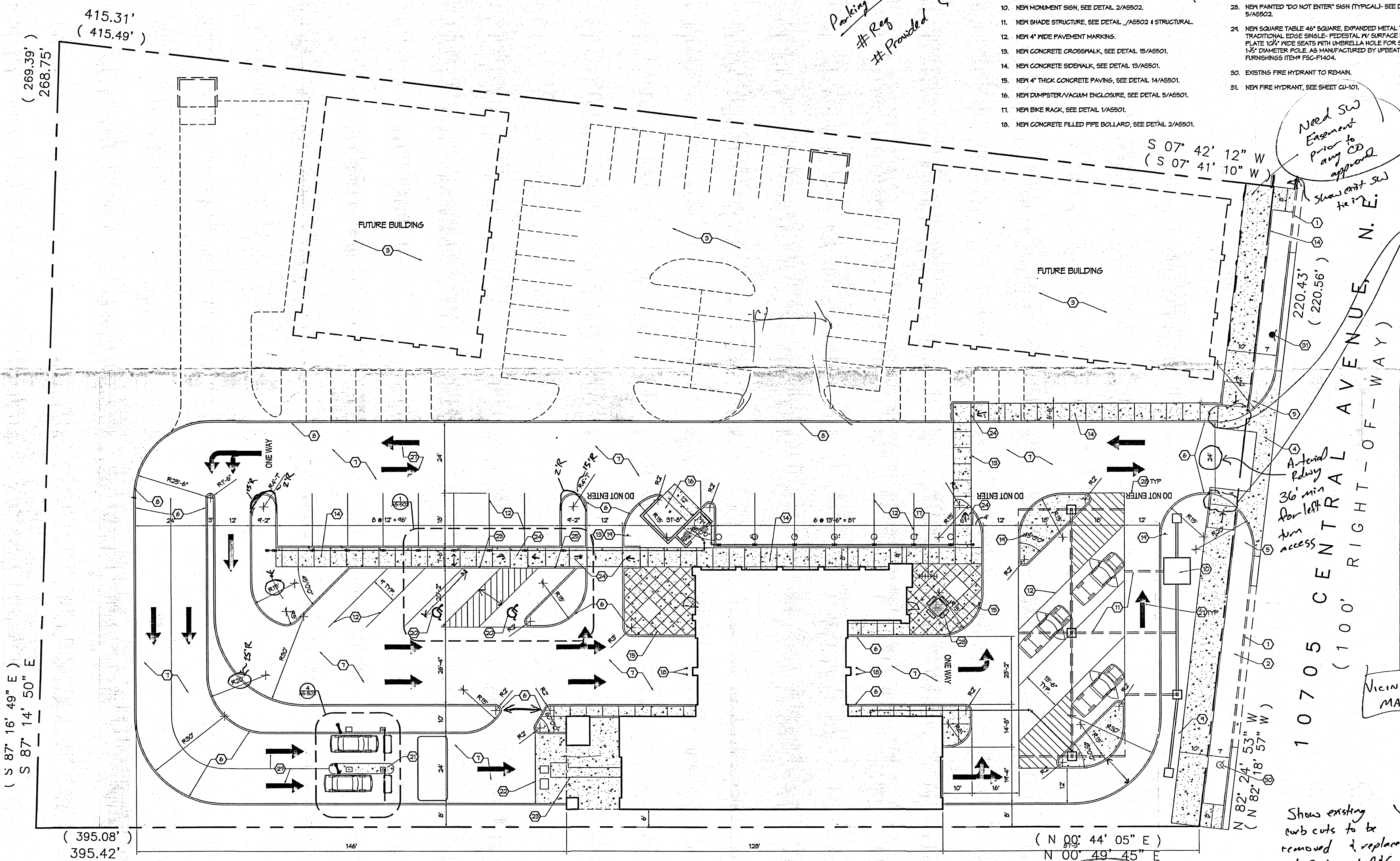
OF 3X



1 ARCHITECTURAL SITE PLAN

1" = 20'





( S 87° 16' 49" E )  
S 87° 14' 50" E

415.31'  
( 415.49' )

( 269.39' )  
268.75'

( 395.08' )  
395.42'

( N 00° 44' 05" E )  
N 00° 49' 45" E

1 ARCHITECTURAL SITE PLAN  
1/16" = 1'-0"

Parking Calculations  
# Reg  
# Provided

### KEYED NOTES

1. EXISTING CONCRETE CURB & GUTTER TO REMAIN.
2. EXISTING CONCRETE SIDEWALK TO REMAIN.
3. FUTURE DEVELOPMENT, N.C.
4. NEW PRIVATE ENTRANCE PER COA STANDARD DETAIL 2426.
5. NEW WHEELCHAIR RAMP PER COA STANDARD DETAIL 2443.
6. NEW CONCRETE CURB & GUTTER, SEE DETAIL 3/A5501.
7. NEW ASPHALT PAVING, SEE DETAIL 15/A5501.
8. NEW TEMPORARY ASPHALT CURB, SEE DETAIL 14/A5501.
9. NEW 9' HIGH CMU SCREEN WALL, SEE DETAIL 20/A5501.
10. NEW MONUMENT SIGN, SEE DETAIL 2/A5502.
11. NEW SHADE STRUCTURE, SEE DETAIL 1/A5502 & STRUCTURAL.
12. NEW 4" WIDE PAVEMENT MARKING.
13. NEW CONCRETE CROSSWALK, SEE DETAIL 15/A5501.
14. NEW CONCRETE SIDEWALK, SEE DETAIL 13/A5501.
15. NEW 4" THICK CONCRETE PAVING, SEE DETAIL 14/A5501.
16. NEW DUMPSTER/VACUUM ENCLOSURE, SEE DETAIL 5/A5501.
17. NEW BIKE RACK, SEE DETAIL 1/A5501.
18. NEW CONCRETE FILLED PIPE BOLLARD, SEE DETAIL 2/A5501.
19. NEW STOP SIGN, SEE DETAIL 10/A5501.
20. NEW ACCESSIBLE PARKING SIGN, SEE DETAIL 12/A5501.
21. AUTOMATIC CASHIER KIOSK AND GATE, SEE DETAIL 4/A5502.
22. NEW CARWASH TUNNEL SLAB, SEE STRUCTURAL.
23. NEW CARWASH CONVEYOR TRENCH, SEE STRUCTURAL.
24. NEW ACCESSIBLE RAMP, SEE DETAIL 18/A5501.
25. NEW ACCESSIBLE PARKING SIGN, SEE DETAIL 11/A5501.
26. NEW EXTERIOR LIGHT POLES, SEE DETAIL 9/A5501.
27. NEW PAINTED DIRECTIONAL ARROW, SEE DETAIL 3/A5502.
28. NEW PAINTED "DO NOT ENTER" SIGN (TYPICAL)- SEE DETAIL 5/A5502.
29. NEW SQUARE TABLE 46" SQUARE, EXPANDED METAL TABLE TRADITIONAL EDGE SINGLE- PEDESTAL IV SURFACE MOUNT PLATE 10 1/2" WIDE SEATS WITH UMBRELLA HOLE FOR STANDARD 1 1/2" DIAMETER POLE AS MANUFACTURED BY UFBEST SITE FURNISHINGS ITEM# FSC-F1404.
30. EXISTING FIRE HYDRANT TO REMAIN.
31. NEW FIRE HYDRANT, SEE SHEET CU-101.

S 07° 42' 12" W  
( S 07° 41' 10" W )

Need SW Easement prior to any CD approval  
Show exist SW tie in

All ramps in City ROW must have truncated domes

Antenna Relay  
36' min for left turn access

VICINITY MAP

Show existing curb cuts to be removed & replaced w/ SW and C16 (CoA Std 2415, 2430)

**DISA**  
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**RECEIVED**  
JUL 21 2009  
HYDROLOGY SECTION

**Flex Car Spa & Lube**  
Phase I Development  
10705 Central Avenue, NE  
Albuquerque, NM 87123

95% Review Set - Not for Construction

Project Number \_\_\_\_\_  
Drawn By \_\_\_\_\_  
Checked \_\_\_\_\_  
Issue Date April 17, 2009  
ARCHITECTURAL SITE PLAN

Scale: AS SHOWN

**AS101**