

CITY OF ALBUQUERQUE



June 12, 2017

Eric Munn
T.I. Design Services
717 Cagua Drive NE
Albuquerque, NM 87108

Re: Albuquerque Storage Building
224 Muriel St. NE
Traffic Circulation Layout
Architect's Stamp dated 5-31-17 (L21D072)

Dear Mr. Munn,

The TCL submittal received 6-5-17 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Logan Patz
Senior Engineer, Planning Dept.
Development Review Services

MA/LP via: email
C: CO Clerk, File



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2016)

Project Title: ABQ Assets Storage Bldg Building Permit #: EP-2017-12084 Hydrology File #: L21 D07Z
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: Lot 7 & 6, Block 18, East Central Business Addn.
City Address: 224 Muriel St. NE ABQ NM 87123

Applicant: T.I. Design Services Contact: Eric Nunn
Address: 717 Cagua Dr. NE ABQ NM 87108
Phone#: 688-2914 Fax#: _____ E-mail: holybarbarian@yahoo.com
Other Contact: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

☐ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION

TYPE OF SUBMITTAL:

☐ ENGINEER/ARCHITECT CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ OTHER (SPECIFY) _____
☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 6.5.17 By: [Signature]

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

**DECLARATION AND GRANT OF PRIVATE
ACCESS EASEMENT**

THIS DECLARATION and GRANT is made and entered into by ABQ Assets LLC (hereinafter referred to as "Declarant/Grantor") on behalf of himself, his heirs, successors and assigns.

WHEREAS, Declarant/Grantor is the owner of the real property described as follows:

Lot numbered Six (6) Block numbered Eighteen (18) in The East Central Business Addition, an addition to the City of Albuquerque, New Mexico, as the same is shown and designated on the plat of said Addition, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on July 15, 1946, Book D, Page 12 (hereinafter referred to as the "Servient Tenement")

and

WHEREAS, Declarant/Grantor grants to ABQ Assets LLC an exclusive, permanent and private access easement ("Easement") in, over, upon and across the Servient Tenement described above for the construction, installation, maintenance, repair, and modification of driveway access across the Servient Tenement which Easement is shown on the attached Exhibit "A" and which Easement is to benefit the adjacent real property described as follows:

Lot numbered Seven (7) Block numbered Eighteen (18) in The East Central Business Addition, an addition to the City of Albuquerque, New Mexico, as the same is shown and designated on the plat of said Addition, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on July 15, 1946, Book D, Page 12.

WHEREAS, the Easement may require periodic maintenance and Declarant/Grantor desired to provide for the maintenance of said Easement.

NOW, THEREFORE, in consideration of the covenants and promises contained herein,

Declarant/Grantor hereby grants the Easement described above with the following conditions:

1. Declarant/Grantor, on behalf of himself, his heirs, successors and/or assigns, agrees

that the Owner of the Dominant Tenement shall keep said Easement in a safe and useable condition, and will maintain the same for this use and benefit. The term "maintenance" is defined as grading, shaping and smoothing the roadway so as to keep it in its present state of repair.

Doc# 2017053192

06/02/2017 10:00 AM Page: 1 of 4
DEC R:\$25.00 Linda Stover, Bernalillo County



2. All necessary maintenance to be performed shall be determined by the Owner of the Dominant Tenement.

3. All costs of maintenance shall be borne by the Owner of the Dominant Tenement, the Owner's heirs, successors and assigns in interest.

4. Nothing contained herein shall require the Declarant/Grantor to further improve the Easement. Any upgrading of the Easement from its present state shall be done at the sole discretion of the Owner of the Dominant Tenement.

5. The covenants set forth in this Declaration shall run with the above described parcels of property and shall be binding upon all its owners successors and assigns.

[Signature] 6/2/17
ABQ Assets LLC Date

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) SS

This instrument was acknowledged before me this 2nd Day of June 2017
by *Morgan Piskorski*.

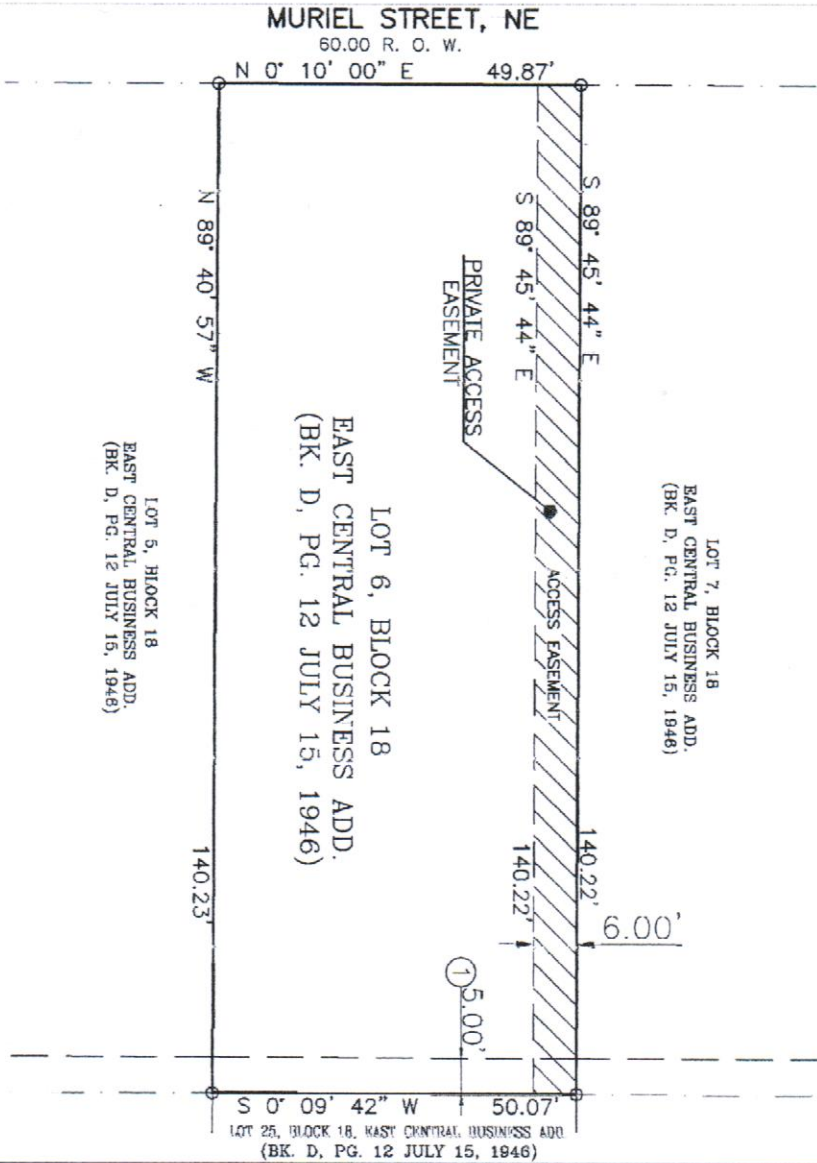


OFFICIAL SEAL
MORGAN PISKORSKI
NOTARY PUBLIC
STATE OF NEW MEXICO
My Commission Expires 10/23/19

10/23/19
My commission expires:

EXHIBIT "A"

PRIVATE ACCESS EASEMENT



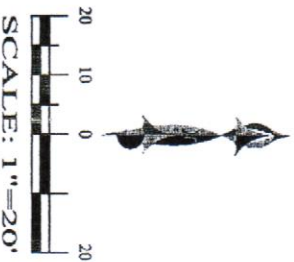
EASEMENT NOTES
 ① 5' PRIVATE UTILITY EASEMENT

LEGAL DESCRIPTION:

LOT 6, BLOCK 18, EAST CENTRAL BUSINESS ADDITION
 SITE AREA: 0.1310 AC.

SITE ADDRESS:

220 MURIEL STREET NE



ABQ ASSETS, LLC.

RESOLUTION No. R-014

The members, Tim D. Hogan and Tad West, have resolved to do the following;

File and record the cross access agreement with the City of ABQ Clerk's Office.

The cross agreement is to allow lot seven to use a strip on the north side of lot six as a turnaround. See documents of right away by SBS Construction.

END OF RESOLUTION. THIS RESOLUTION CONTAINS 1 ITEM AND IT WAS ACCEPTED.

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SIGNED

DATE

TIM D. HOGAN:



6/2/17

TAD WEST:

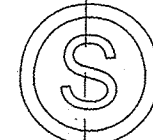


6/2//17

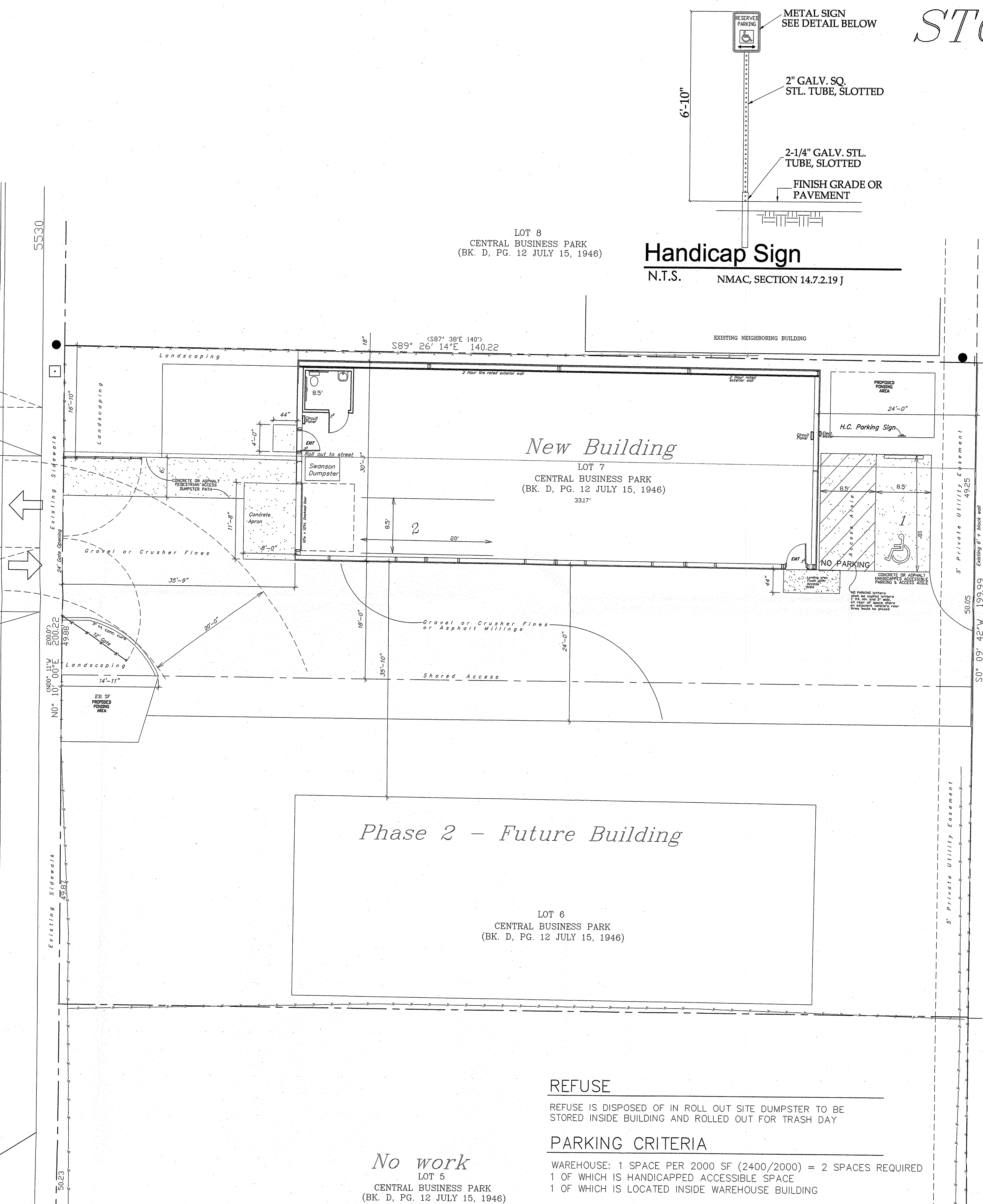
224 MURIEL STREET NE

(60' R-W)

(BK. D, PG. 12 JULY 15, 1946)

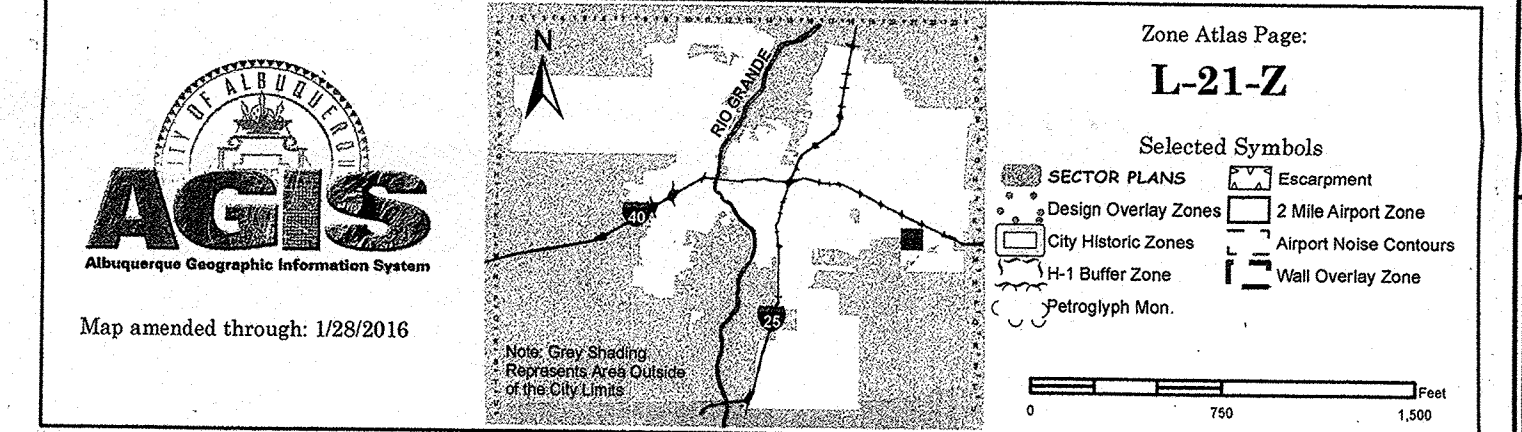
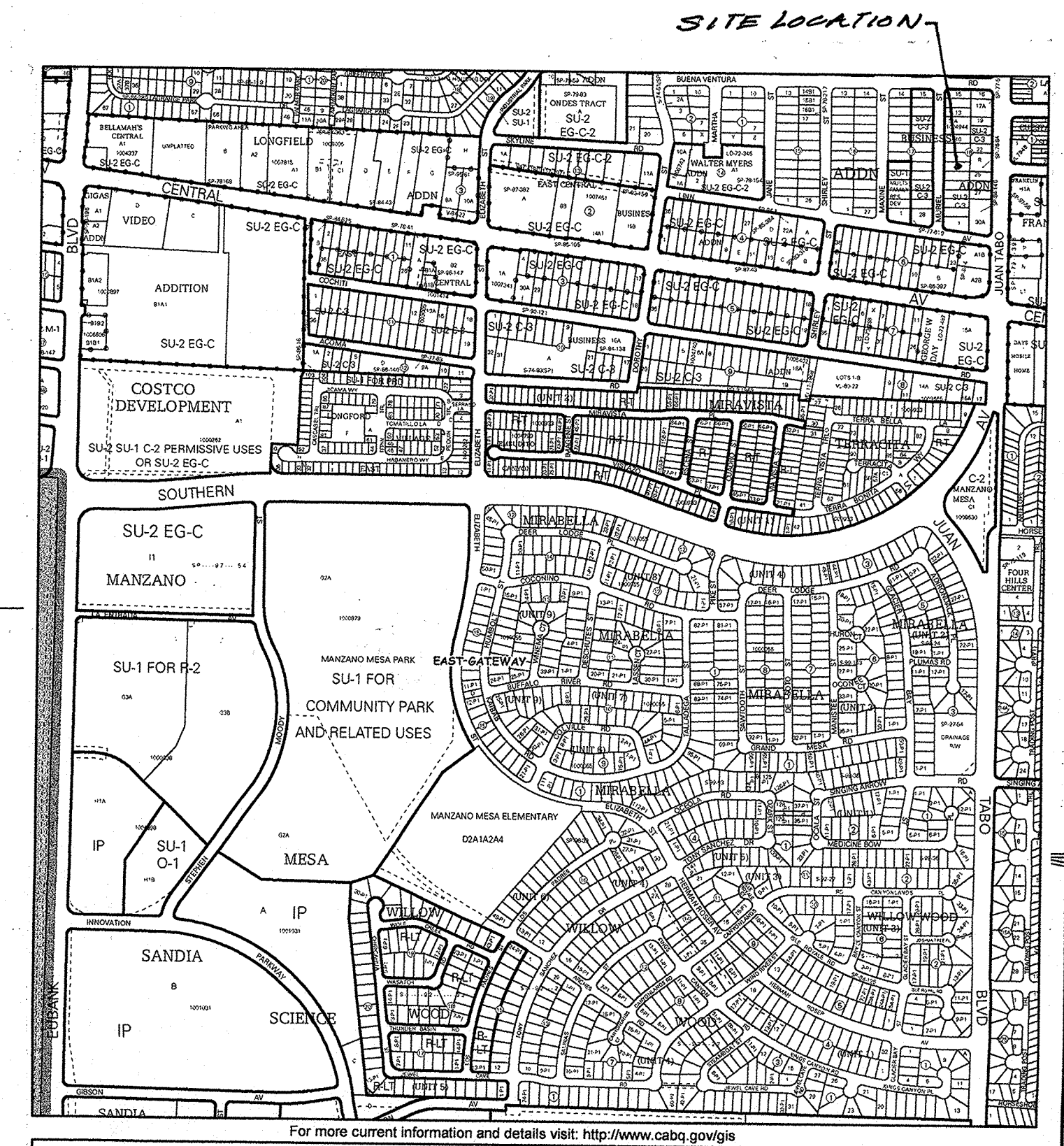


New Curbcut
C.O.A. Standard
21'-4"
Existing Standard Driveway
Detail dwg. no. 2425



STORAGE BUILDING

224 Muriel Street NE
Albuquerque, NM 87123



TRAFFIC CIRCULATION LAYOUT
APPROVED
Signed: [Signature] Date: 06-12-17

RECEIVED
JUN 05 2017
LAND DEVELOPMENT SECTION

STATE OF NEW MEXICO
ERIC V. MUNN
No. 005193
REGISTERED ARCHITECT
2-21-17

City Standard Dwg. 2415A
Existing Mountable
Curb Roll Type
Exist. Asphalt
Parking lot

SECTION DETAIL-CONC.
SCALE: 1/2" = 1' - 0"

MACHINE CAST
STEEL REINFORCING
5,500 P.S.I.
20S, lbs.
3/4" PIN HOLES
8" WIDE DRAIN SLOTS
Curb Stop
N.T.S.

RESERVED PARKING
VAN ACCESSIBLE
Handicap Sign
N.T.S.

SITE PLAN - TRAFFIC CIRCULATION LAYOUT
SCALE: 1/8" = 1' - 0"

NORTH

WAREHOUSE BUILDING

STORAGE BUILDING
224 MURIEL STREET NE
ALBUQUERQUE, NEW MEXICO 87123

SHEET
TCL
1 of 1

5-31-17
DATE

PROJECT NO.