

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

December 4, 2025

Hannah Feil Greenhood, R.A  
Dekker  
7601 Jefferson St NE  
Albuquerque, NM 87109

**Re: Farolito Senior Community/ 10501 Central Ave NE  
Request for Certificate of Occupancy  
Transportation Development Final Inspection**  
Architect's Stamp dated 09-05-2023 (L21D074)  
Certification dated 11-18-2025  
TRANS-2025-00334

Dear Ms. Greenhood,

PO Box 1293

Based upon the information provided in your submittal received 11-18-2025, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

Albuquerque

If you have any questions, please contact Ernest Armijo at (505) 924-3991 or at [earmijo@cabq.gov](mailto:earmijo@cabq.gov)

NM 87103

Sincerely,

www.cabq.gov

Ernest Armijo, P.E.  
Principal Engineer, Planning Dept.  
Development Review Services

\EA via: email  
C: CO Clerk, File

November 18, 2025

CABQ Traffic Engineering  
Development & Building Services; Planning Dept.  
600 2nd Street NW  
Albuquerque, NM 87102

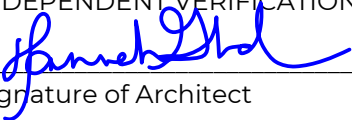
Re: Traffic Certification for Certification of Occupancy  
Development: Farolito Senior Community  
10501 Central Ave. NE  
Albuquerque, NM 87123

I, HANNAH FEIL GREENHOOD, NMRA NUMBER 5594, OF THE FIRM DEKKER, FORMERLY DEKKER/PERICH/SABATINI, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED September 8, 2023. I further certify that under my direct oversight, I have directed Christopher Whyman to visit the site on my behalf to observe the site on November 12, 2025. It was determined by visual inspection that the data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

The following items as noted on the attached site plan were identified as incomplete and as such a request for General Contractor / Traffic Inspector field confirmation of completeness and if necessary a request for a deferred approval for 30 days beyond issuance of C of O for the following items:

There are a few minor pavement striping and signage items that would be considered outstanding at this time: three striped parallel spaces adjacent to the courtyard, and three bollard-mounted "Van" accessible parking signs were missing the "Van" designator in addition to their accessible signs, 5 bike racks outside the main entrance were staged but not installed.

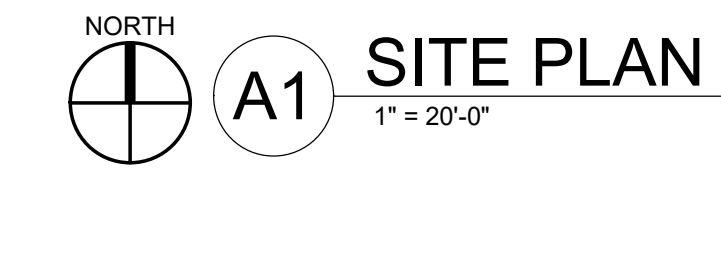
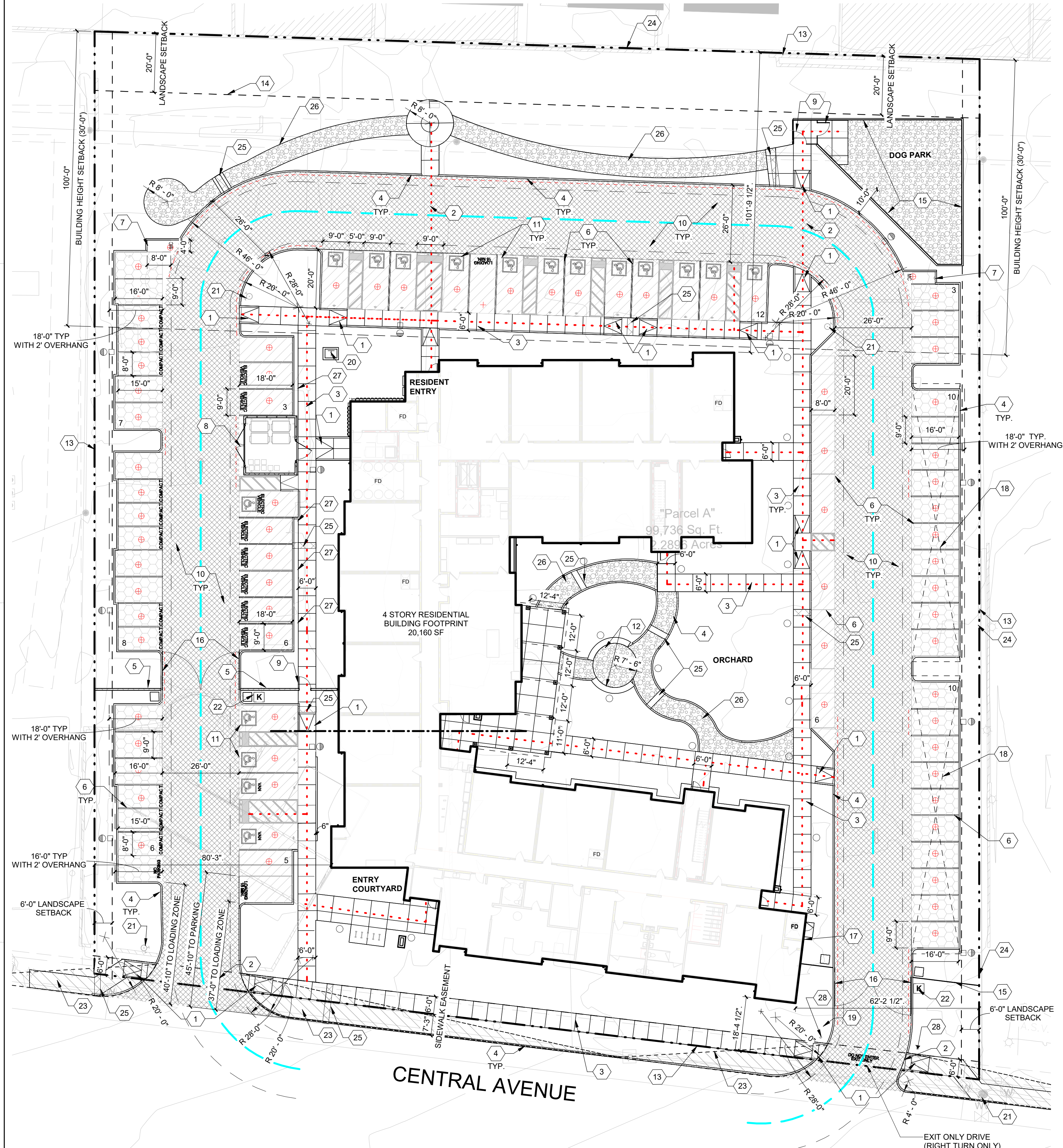
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

  
\_\_\_\_\_  
Signature of Architect

Hannah Feil Greenhood, WELL AP, LEED AP BD+C, AIA  
Dekker, formerly Dekker/Perich/Sabatini  
Date 11/18/2025



AN APPROVED SIDEWALK EASEMENT IS CONDITION OF RELEASING THE FINAL CO.



**TRAFFIC CIRCULATION LAYOUT APPROVED**  
 Ernest Amisio 9/8/2023  
 Signed Date

**PROJECT INFORMATION**

**LOCATION:**  
10501 CENTRAL AVENUE NE  
ALBUQUERQUE, NM 87123

**ZONING:**  
IDO - MIXED-USE - HIGH INTENSITY ZONE DISTRICT (MX-H)  
METROPOLITAN REDEVELOPMENT AREA (MRA) - EAST GATEWAY  
MAJOR TRANSIT CORRIDOR AREA  
ROUTE 66 ACTION PLAN

**LEGAL DESCRIPTION:**  
TRACT IN N 1/2 NW 1/4 NW 1/4 CONT 2.2860 AC MLTRACT IN N 1/2 NW 1/4 NW 1/4 CONT 2.2860 AC ML

**ZONE ATLAS:**  
L-21-Z  
2.285 ACRES (99, 532 SQ. FT.)

**DENSITY:**  
35.9 DU / ACRES

**OCCUPANCY AND CONSTRUCTION TYPE:**  
APARTMENTS R-2, B (LEASING & AMENITY)  
CONSTRUCTION TYPE: 5-A (4 STORY APARTMENT BUILDINGS)

**BUILDING SETBACKS:**  
FRONT = 5' MIN. / N/A MAX.  
SIDE = 5' MIN. / N/A MAX.  
REAR = 15'

**BUILDING HEIGHT:**  
MAXIMUM ALLOWED = 65'-0"  
MAXIMUM PROVIDED = 51'-6"

**BUILDING AREA:**  
LEVEL 1 = 20,160 GSF  
LEVEL 2 = 17,532 GSF  
LEVEL 3 = 18,814 GSF  
LEVEL 4 = 18,814 GSF  
TOTAL = 75,320 GSF

**SPRINKLERED:**  
YES, NFPA 13R

**FIRE FLOW:**  
3,750 GPM

**HYDRANTS REQUIRED:**  
4

**SOLID WASTE NARRATIVE:**  
TRASH SHALL BE PROVIDED ON SITE WITH AN INTERNAL COMPACTOR AND TRASH CHUTE SERVING THE RESIDENTS. THE INTERNAL COMPACTOR SHALL BE SERVED WITH TWO CY. CARTS ON CASTERS (4 TOTAL ON SITE) COLLECTING UPPER LEVEL REFUSE COLLECTED AT THE CHUTE AND WHEELED OUT TO THE REFUSE CONTAINER BY BUILDING MANAGEMENT AND BY SOLID WASTE PERSONNEL ON SERVICE DAYS.

RECYCLING SHALL BE MANAGED ON EACH LEVEL BY TWO (2) 50 GALLON ROLLING RECYCLING BINS (8 TOTAL ON SITE) COLLECTED BY BUILDING MANAGEMENT ON THE SITE REFUSE CONTAINER AND SERVICED ON SITE ON COLLECTION DAYS.

**PARKING CALCULATION: (TABLE 5-5-1)**  
REQUIRED SPACES: 76 SPACES  
(1.5 SPACES/DWELLING UNIT: 1.5 X 82 = 123 PARKING SPACES MINUS PARKING CREDIT OF 47 SPACES FOR PROXIMITY TO TRANSIT AND ELECTRIC VEHICLE)

PROVIDED SPACES: 79 TOTAL SPACES  
(66 STANDARD SPACES + 6 ACCESSABLE SPACES + 6 VAN ACCESSABLE)

**MOTORCYCLE PARKING CALCULATION:**  
REQUIRED SPACES: 1.58 (2 SPACES)  
PROVIDED SPACES: 2 SPACES

**BICYCLE PARKING**  
REQUIRED SPACES: 0.25 / UNIT (82 X 0.25 = 20.5 BICYCLE PARKING SPACES)  
36 TOTAL SPACES PROVIDED  
(18 INDOOR SPACES + 18 OUTDOOR BICYCLE SPACES)

NOTE: 6 OUTDOOR SPACES ARE PROVIDED FOR VISITORS THAT ARE FIXED, PERMANENT AND ARE LOCATED AT MULTIPLE RACKS SERVING THE LEASING OFFICE, AND ALONG CENTRAL AVENUE PER THE ROUTE 66 ACTION PLAN.

**OPEN SPACE CALCULATIONS**

**REQUIRED USABLE OPEN SPACE: (TABLE 2-4-7) MX-H ZONING**  
 1 BEDROOM UNIT = 200 SF OPEN SPACE REQUIRED  
 2 BEDROOM UNIT = 250 SF OPEN SPACE REQUIRED  
 1 BEDROOM UNITS PROVIDED: 72 UNITS X 200 = 14,400 SF  
 2 BEDROOM UNITS PROVIDED: 10 UNITS X 250 = 2,500 SF  
 TOTAL OPEN SPACE REQUIRED: 16,900 SF

**PROVIDED USABLE OPEN SPACE:**  
 XX,XXX SF OF USABLE OPEN SPACE PROVIDED

**UNIT DATA**

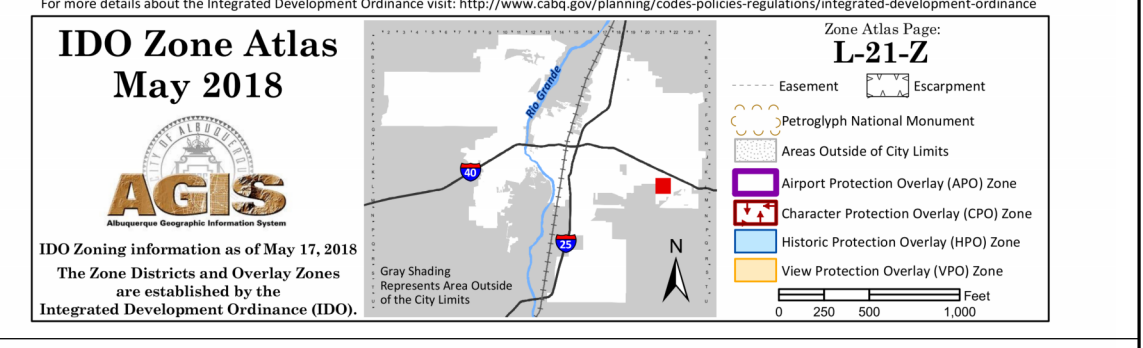
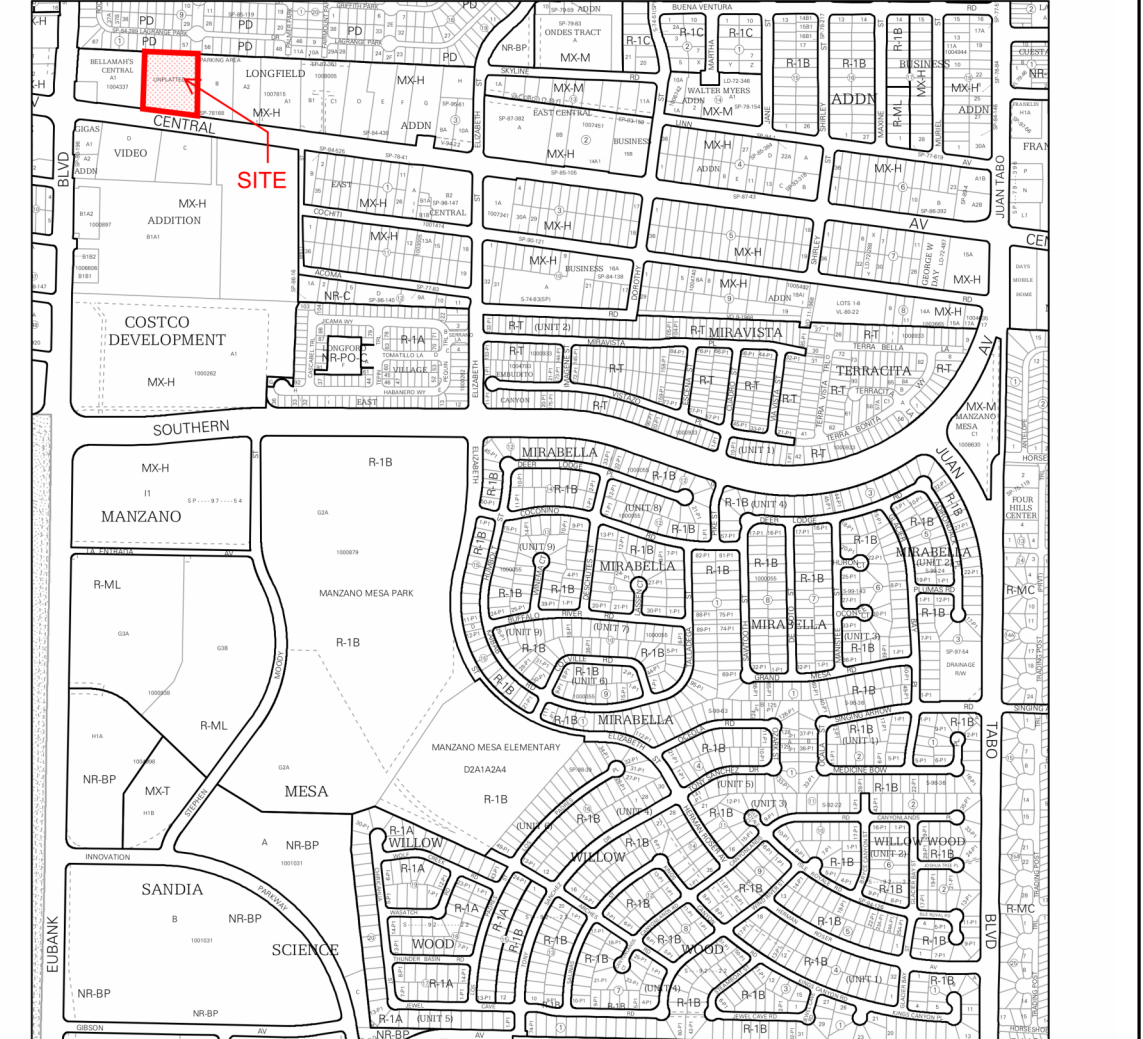
UNIT TYPE	GROSS HEATED SQUARE FOOTAGE (GHSF)	LEVEL				TOTAL QUANTITY	TOTAL AREA (GHSF)
		LEVEL 1	LEVEL 2	LEVEL 3	LEVEL 4		
UNIT 1	650	14	18	20	20	72	46,800
UNIT 2	790	1	3	3	3	10	7,900
<b>TOTAL</b>		15	21	23	23	<b>82</b>	<b>54,700</b>

**SHEET KEYNOTES**

- CONCRETE ACCESSIBLE RAMP TYP.
- PAINTED PEDESTRIAN CROSSWALK, RE: C4/SDP1.2
- CONCRETE SIDEWALK WITH CONTROL JOINTS, WIDTH AS NOTED
- CONCRETE CURB, SEE CIVIL
- 8" CMU WALL
- PARKING STRIPING
- MOTORCYCLE ONLY PARKING SIGNAGE
- REFUSE ENCLOSURE, RE: SDP-5.7
- PEDESTRIAN GATE W/ KEYCARD ACCESS
- ASPHALT PAVING, RE: CIVIL FOR PAVEMENT SECTIONS
- ACCESSIBLE PARKING STALL, RE: D2/SDP1.2
- CONCRETE SEAT WALL, RE: C3/SDP1.2
- PROPERTY LINE
- 6" PUBLIC UTILITY EASEMENT
- 8" VIEW FENCING
- VEHICULAR GATE ON FOBBED SENSOR & CALL BOX
- FIRE DEPARTMENT CONNECTION (FDC)
- PV CAPABLE PARKING CANOPY (OPTIONAL - ALTERNATE BID)
- POST INDICATOR VALVE (PIV)
- TRANSFORMER, RE: ELECTRICAL
- FIRE HYDRANT, RE: CIVIL
- LOCATION OF KNOX BOX
- CLEAR SIGHT TRIANGLE (PER COA) LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. ALL SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE
- EXISTING MASONRY WALL TO REMAIN
- SIDEWALK CULVERT, RE: CIVIL
- STABILIZED CRUSHER FINE PATH RE: B1/SDP1.3
- E.V. CAPABLE CHARGING STATION
- EXIT ONLY SIGNAGE DO NOT ENTER, RE: D1/SDP1.3

**GENERAL SHEET NOTES**

- SITE PLAN DIMENSIONS ARE IN DECIMAL UNITS. DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- SITE PLAN SHALL COMPLY WITH LOCAL, FEDERAL AND ACCESSIBILITY STANDARDS & GUIDELINES, INCLUDING THE INTERNATIONAL FIRE CODE (IFC) 2015.
- VERIFY EXISTING UTILITY LOCATIONS BEFORE EXCAVATION.
- COORDINATE WITH OWNER FOR ALLOWABLE STAGING AREAS DURING CONSTRUCTION.
- REPAIR AREAS TO MATCH PRE-CONSTRUCTION CONDITION WHERE UTILITY WORK, GRADING AND/OR STAGING OCCURS, INCLUDING AREAS OUTSIDE OF LIMIT OF WORK BOUNDARY.
- TO ALL SITE AMENITIES AS REQUIRED.
- ALL EXISTING ASPHALT AND CONCRETE TO BE REMOVED PRIOR TO CONSTRUCTION
- REMOVE EXISTING TREES PRIOR TO CONSTRUCTION
- UTILITIES AND ASSOCIATED EQUIPMENT SHOWN FOR REFERENCE ONLY. COORDINATE LOCATION AND INSTALLATION. SEE CIVIL
- ALL CURBS AND ACCESSIBLE RAMPS WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS.
- AN ACCESSIBLE ROUTE, IN COMPLIANCE WITH ACCESSIBILITY STANDARDS OF THE PROJECT, CONNECTS FROM THE BUILDING TO ACCESSIBLE PARKING SPACES AND TO ALL SITE AMENITIES AS REQUIRED.
- ALL LIGHT FIXTURES AND LIGHTING DESIGN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE (IDO); SECTION 14-16-5-8 OUTDOOR LIGHTING.
- REFER TO CIVIL AND ELECTRICAL FOR DEMOLITION ITEMS.
- REFER TO CIVIL FOR PAVING PLAN AND PAVING DETAILS.
- STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS NOTED OTHERWISE.
- SIDEWALK JOINTS SHALL FOLLOW PATTERN AS SHOWN ON SITE PLAN.
- PROVIDE POURABLE SEALANT AT ALL EXPANSION JOINTS IN CONCRETE SIDEWALK, WHERE EXPANSION JOINT MATERIAL IS PROVIDED BETWEEN WALLS AND SIDEWALKS AND BETWEEN ASPHALT AND CONCRETE JOINTS.
- PROVIDE AIR ENTRAINED CONCRETE WITH MEDIUM BROOM FINISH AT ALL SITE CONCRETE. SLOPE ALL CONCRETE SIDEWALKS TO DRAIN, TYP. RE: CIVIL FOR SPOT ELEVATIONS, AND GRADING AND DRAINAGE REQUIREMENTS.
- EXISTING LANDSCAPE AREAS ADJACENT TO THE PROJECT SITE ARE TO BE PROTECTED A DEMOLITION AND CONSTRUCTION.
- LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS AND PLANTING BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE PERMITTED IN THE CLEAR SIGHT TRIANGLE.
- WORK WITHIN THE PUBLIC RIGHT OF WAY REQUIRES A WORK ORDER WITH DRC APPROVED PLANS PER CITY OF ALBUQUERQUE.
- ALL RAMPS, SIDEWALKS, CURBS AND GUTTERS IN THE R.O.W. SHALL BE INSTALLED PER CITY OF ALBUQUERQUE STANDARD DRAWINGS.
- SOLID WASTE CONNECTION IS THE RESPONSIBILITY OF THE CITY OF ALBUQUERQUE SOLID WASTE DEPARTMENT.
- DURING CONSTRUCTION COORDINATE WITH CITY OF ALBUQUERQUE'S MEDIAN LANDSCAPING PROJECT AT THIS LOCATION.
- ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON THE WORK ORDER.



**LEGEND**

- LANDSCAPED AREA
- HEAVY DUTY ASPHALT (RATED FOR UP TO 75,000 LBS)
- LIGHT DUTY ASPHALT
- STABILIZED DECOMPOSED GRANITE PATH (ACCESSABLE)
- PERMEABLE PAVING, RE: CIVIL
- PROPERTY LINE
- SETBACK (SEE DEMENTION FOR ADDITIONAL DETAILS)
- ACCESSIBLE ROUTE
- FIRELANE STRIPPING MARKING FIRE ACCESS LANE, RE: C2/SDP 1.2
- REFUSE TRUCK ROUTE
- EXISTING FIRE HYDRANT LOCATION
- FIRE HYDRANT LOCATION, RE: CIVIL
- FIRE DEPARTMENT CONNECTION (FDC) WALL MOUNTED
- TRANSFORMER, RE: ELECTRICAL
- PROPOSED 20' LIGHT POLE
- PHOTOVOLTAIC (PV) CARPORT, ALTERNATE BID (SEPARATE PERMIT REQUIRED)
- BIKE RACK (4 BIKE CAPACITY) RE: B2/SDP 1.2
- SITE BENCH

**DEKKER PERICH SABATINI**

Architecture in Progress

STATE OF NEW MEXICO  
 HANNAH FEIL GREENHOOD  
 No. 5594  
 09/05/2022  
 REGISTERED ARCHITECT

SEAL

**FAROLITO SENIOR COMMUNITY**  
 10501 CENTRAL AVENUE NE  
 ALBUQUERQUE, NM 87123

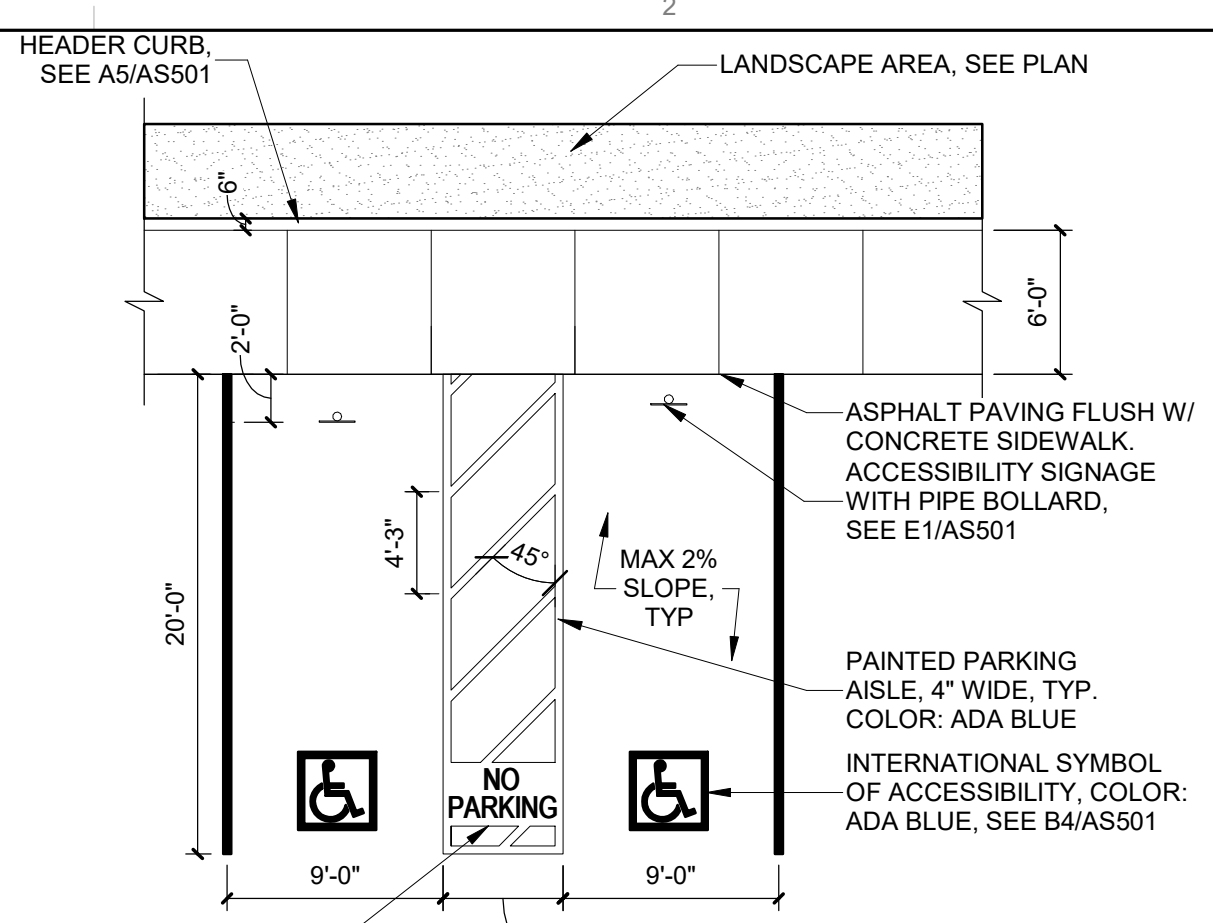
ISSUED FOR PERMIT

REVISIONS

DRAWN BY BH  
 REVIEWED BY CWW  
 DATE 05/11/23  
 PROJECT NO: 22-0083

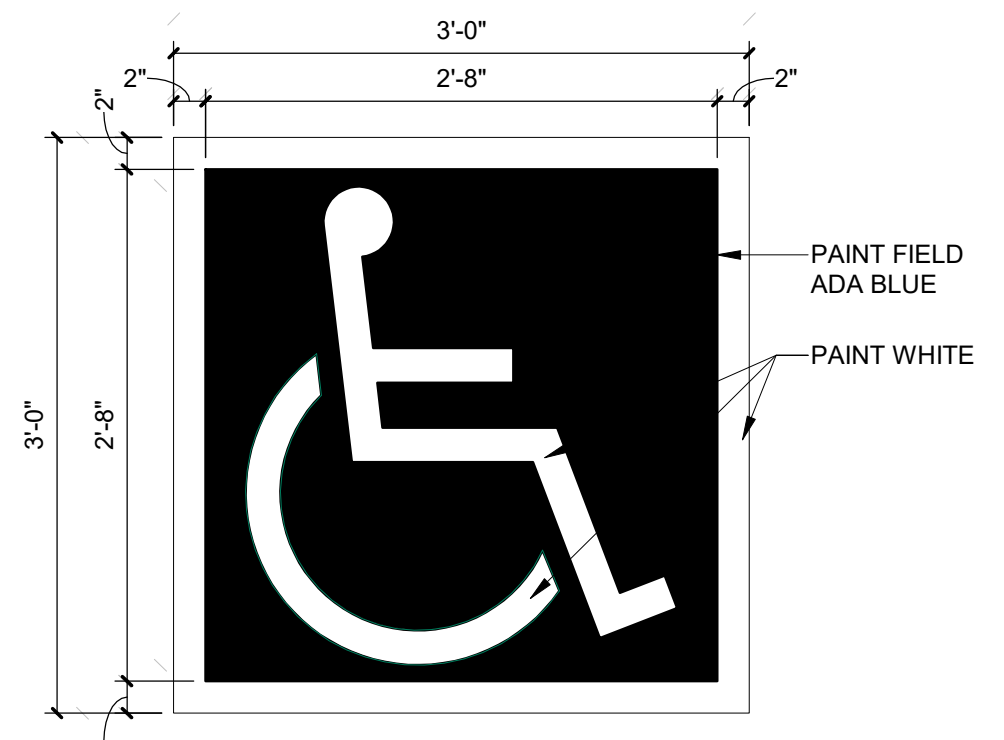
DRAWING NAME  
**TRAFFIC CIRCULATION PLAN**

SHEET NO  
**TCL**



**D2 ACCESSIBLE PARKING**  
1/8" = 1'-0"

NOTES:  
1. SEE PLANS FOR EXTENTS OF CURB PAINT

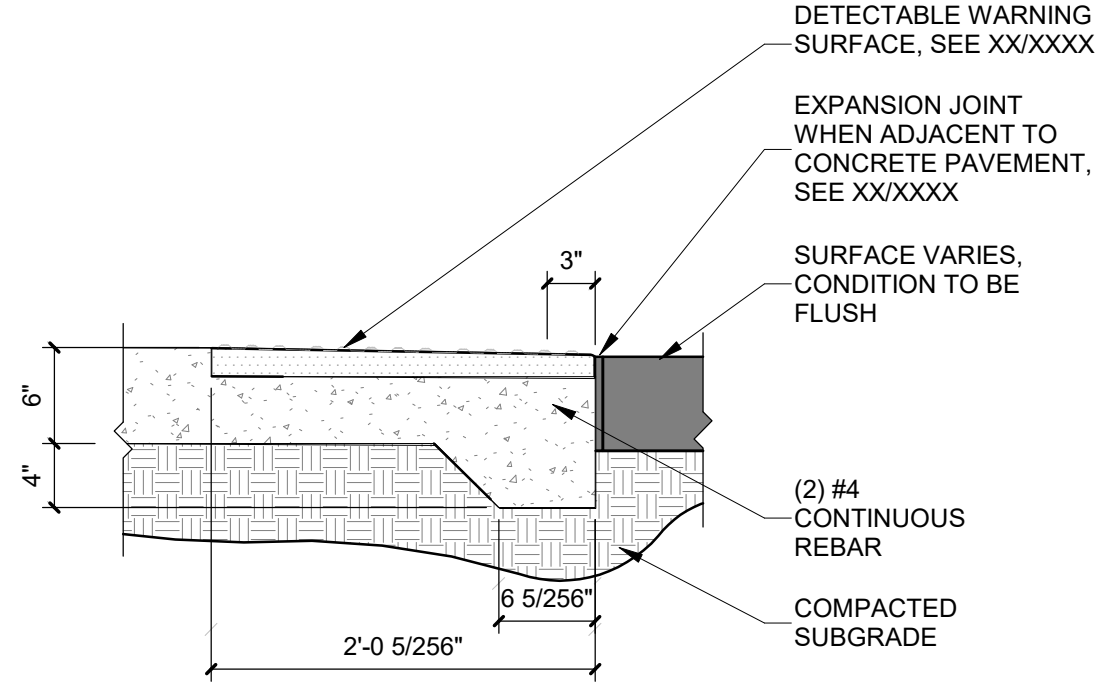


**D3 ACCESSIBLE PAVEMENT MARKING**  
1" = 1'-0"

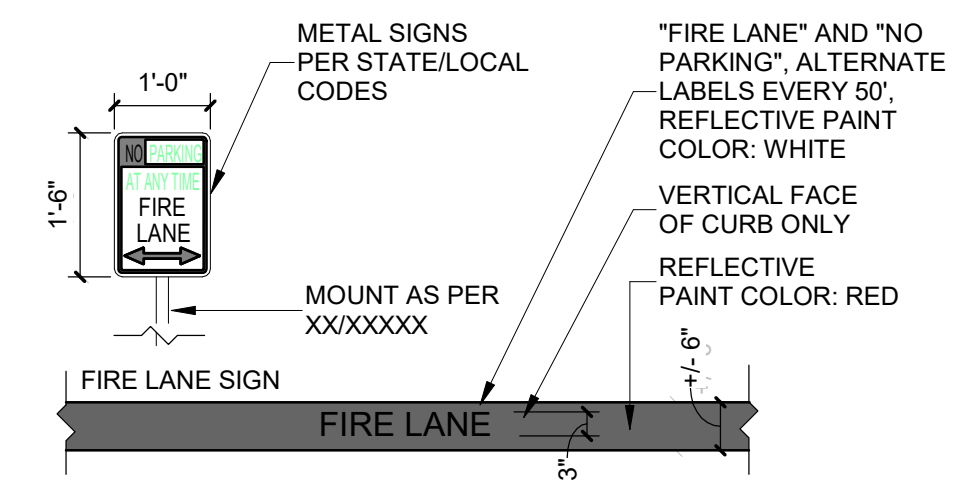
NOTES:  
1. SLOPE TOP OF WALL AT 1% TOWARD PAVEMENT  
2. TOP OF WALL TO BE CONSTANT FOR EACH INDIVIDUAL WALL

**AN APPROVED SIDEWALK EASEMENT IS CONDITION OF RELEASING THE FINAL CO.**

**TRAFFIC CIRCULATION LAYOUT APPROVED**  
Ernest Arriaga 9/8/2023  
Signed \_\_\_\_\_ Date \_\_\_\_\_

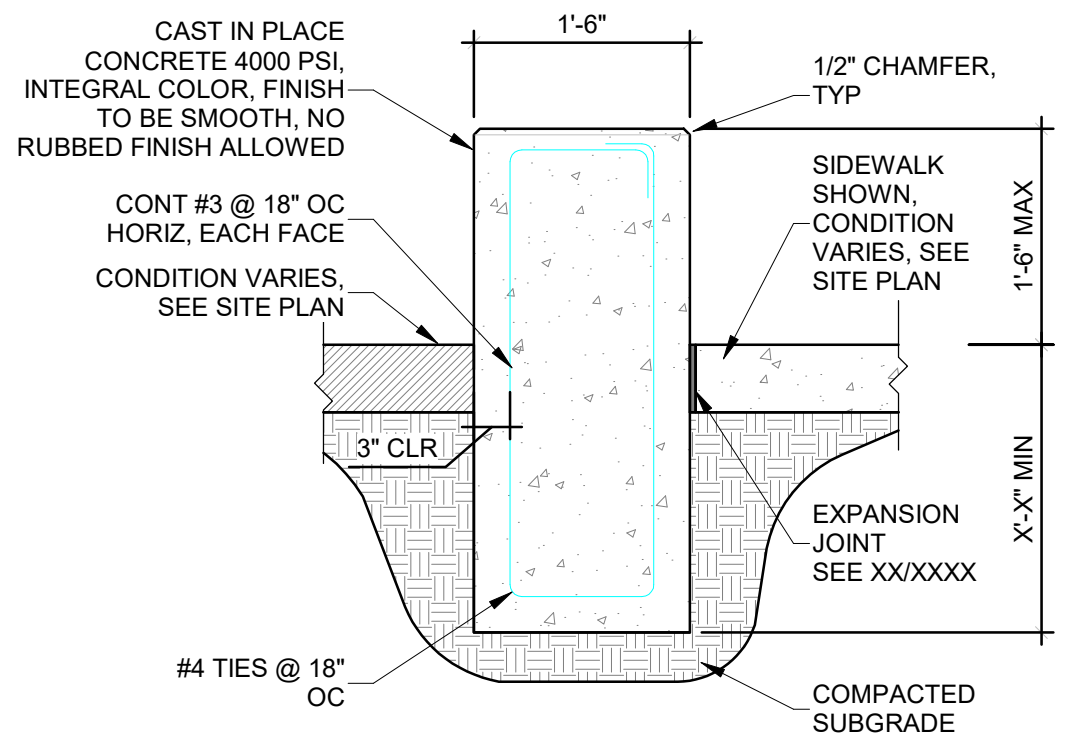


**C1 DETECTABLE / TACTILE SURFACE TRANSITION**  
1" = 1'-0"



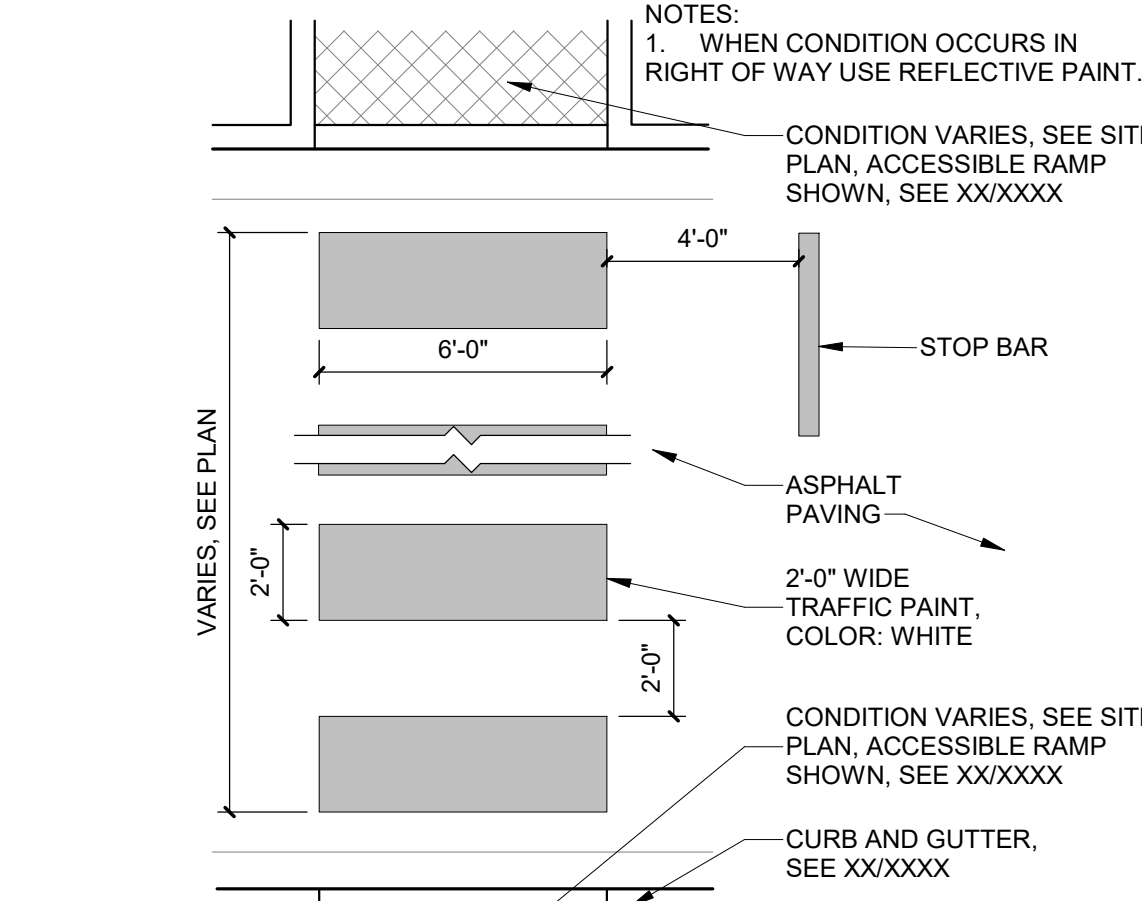
**C2 FIRE STRIPING AND SIGNAGE**  
1/2" = 1'-0"

NOTES:  
1. BASIS OF DESIGN, ANOVA U-BIKE RACK, COLOR: TBD  
2. BICYCLE PARKING SPACE SHALL BE 6' LONG AND 2' WIDE.



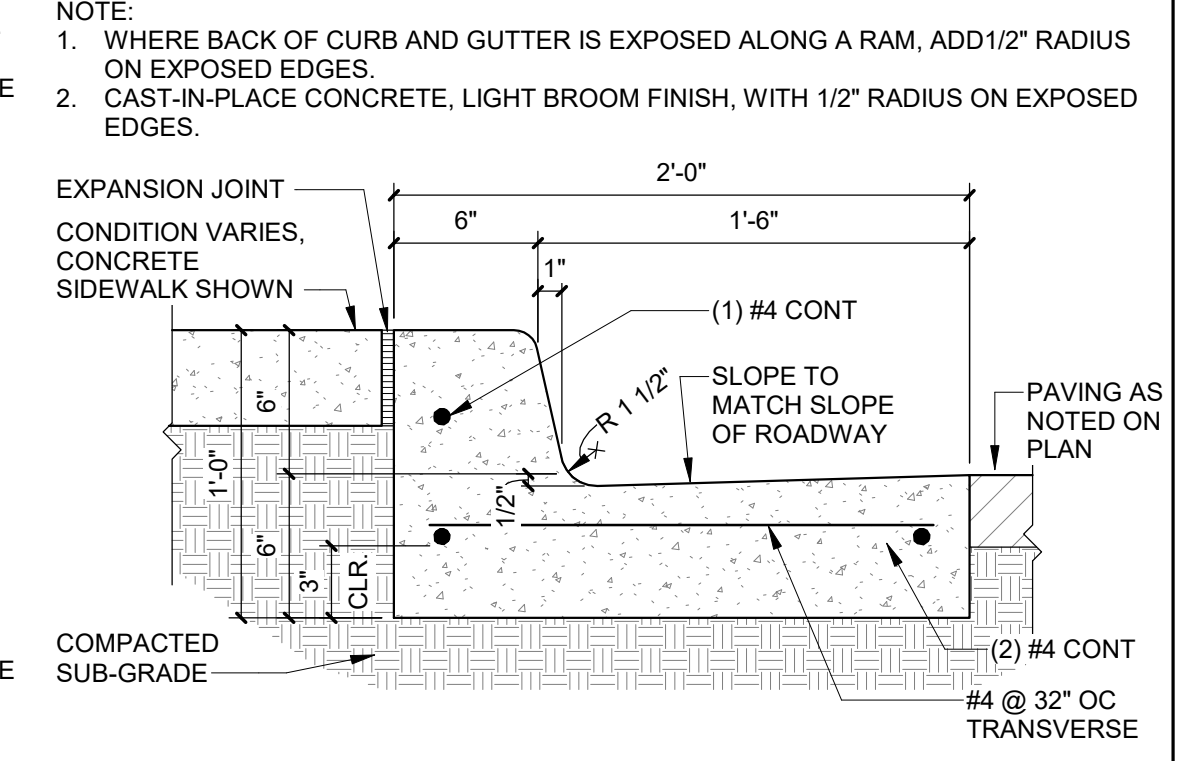
**C3 CONCRETE SEAT WALL**  
3/4" = 1'-0"

NOTES:  
1. BASIS OF DESIGN, ANOVA U-BIKE RACK, COLOR: TBD  
2. BIKE CAPACITY PER RACK: 4 TOTAL PER PAD.



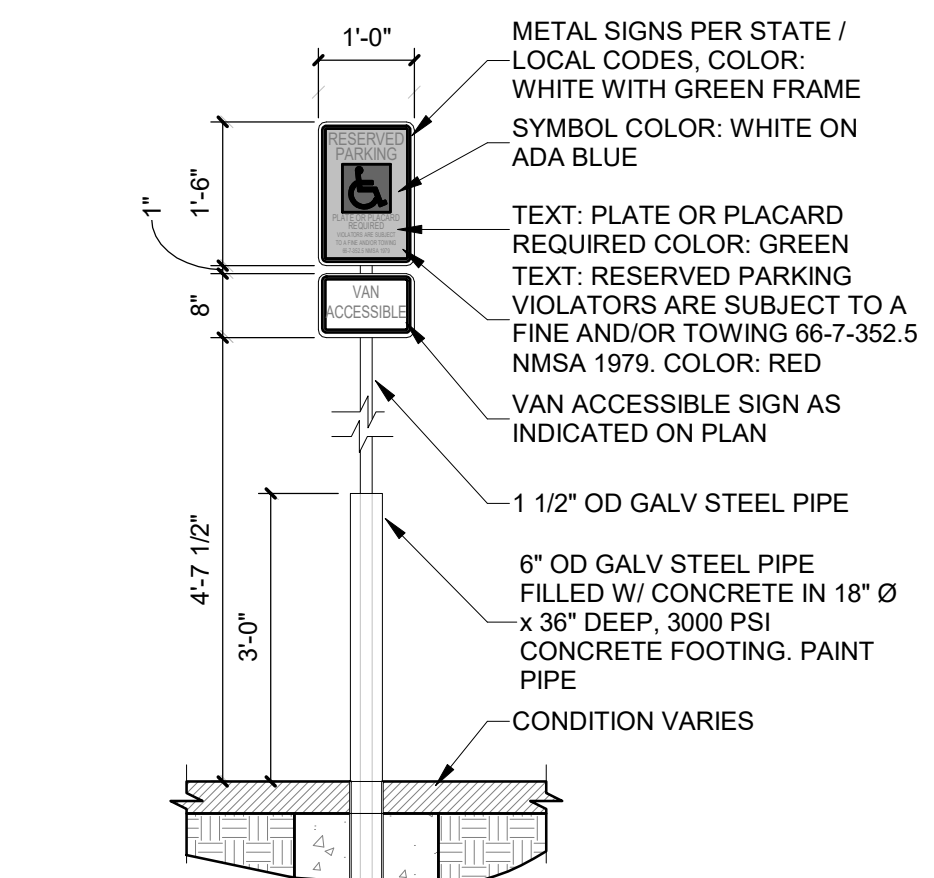
**C4 PAINTED CROSSWALK**  
1/4" = 1'-0"

CONDITION VARIES, SEE SITE PLAN, WHERE LANDSCAPE MULCH TO 1/2" BELOW ADJACENT PAVEMENT GRADE

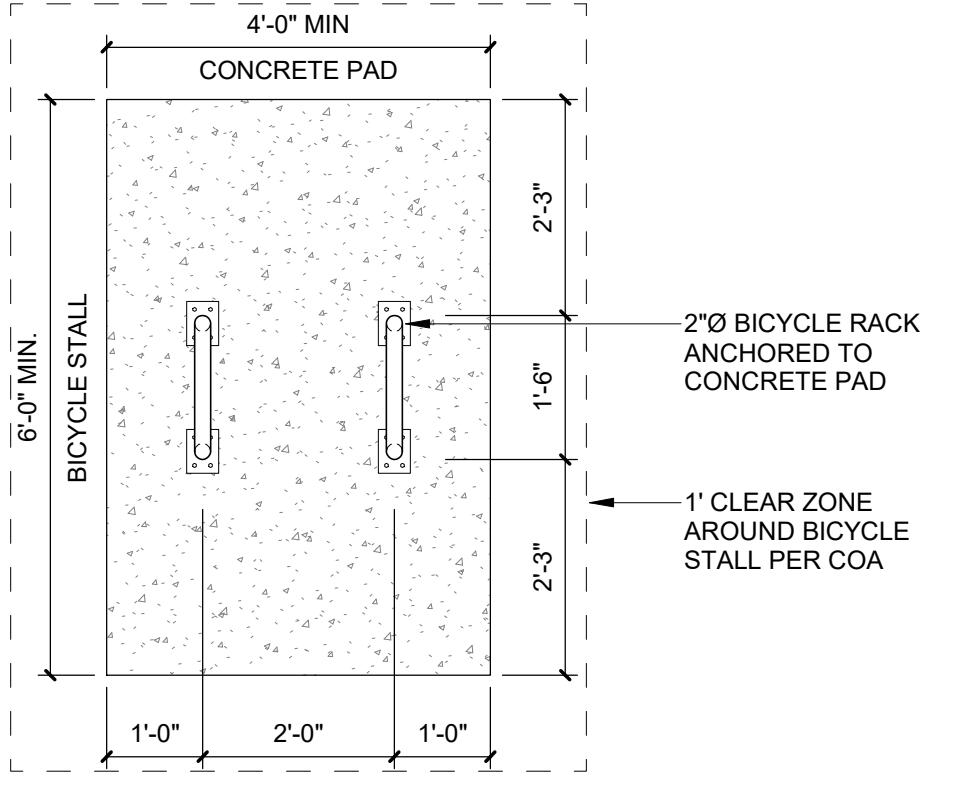


**C5 CONCRETE CURB & GUTTER**  
1 1/2" = 1'-0"

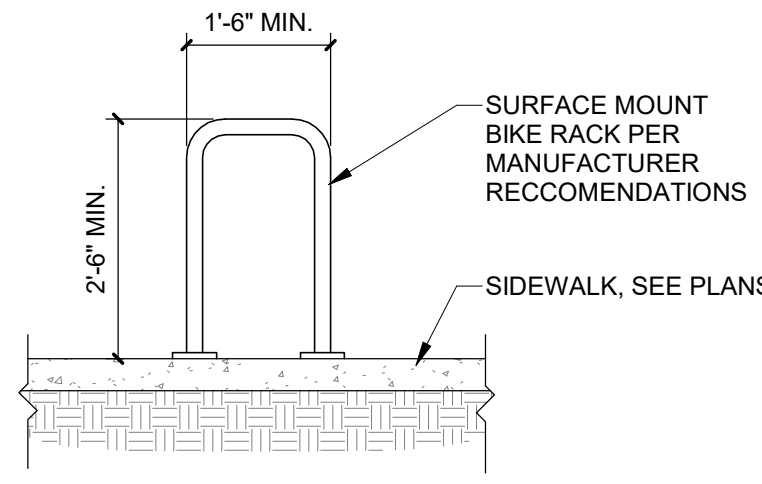
NOTES:  
1. SEE SITE PLANS FOR JOINTING.  
2. CAST-IN-PLACE CONCRETE PAVING, LIGHT BROOM FINISH PERPENDICULAR TO TRAFFIC FLOW WITH 1/2" RADIUS ON EXPOSED EDGES  
3. INTEGRAL COLOR WHERE NOTED ON PLAN.  
4. FINISH GRADE FOR LANDSCAPE AREAS SHALL BE 1/2" BELOW TOP OF PAVING.



**B1 PIPE BOLLARD AND ACCESSIBLE SIGNAGE**  
1/2" = 1'-0"



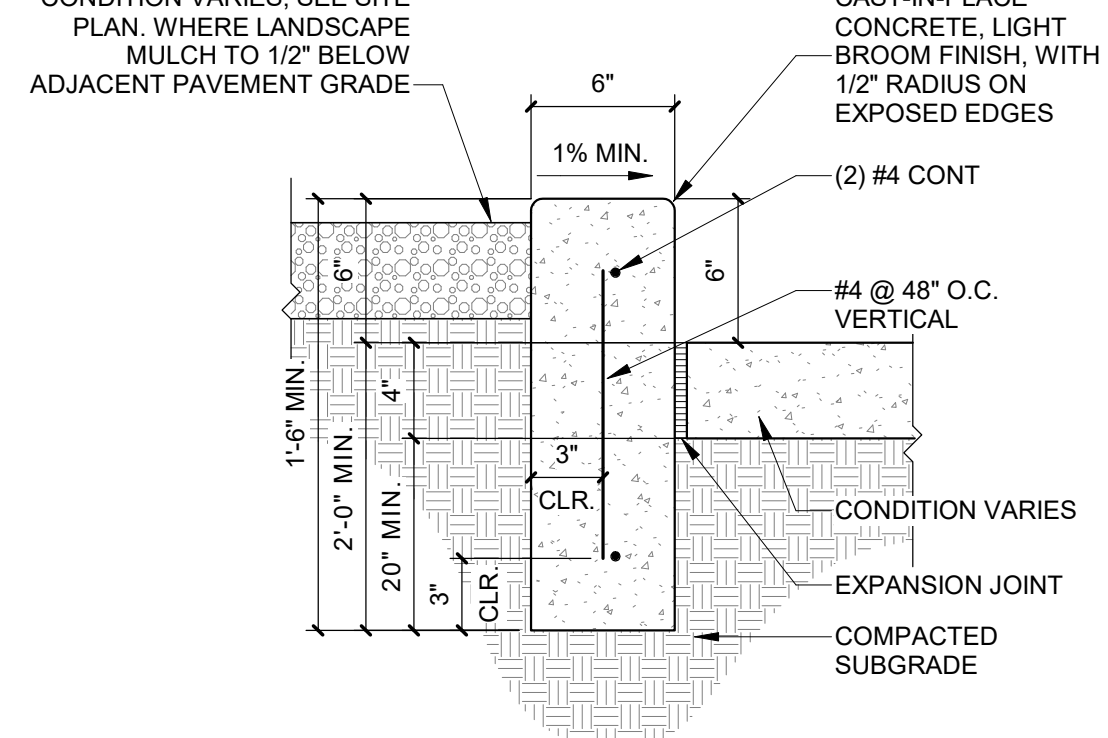
**B2 BICYCLE RACK PLAN**  
1/2" = 1'-0"



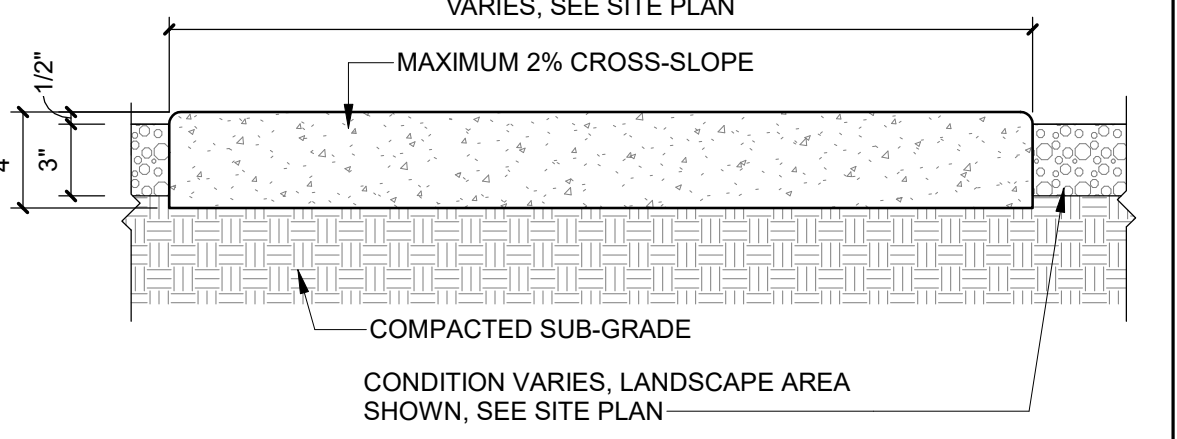
**B3 BICYCLE RACK**  
1/2" = 1'-0"

DESIGN NOTE:  
1. MODIFY LUMINAIRE / FIXTURE TO MATCH STYLE & SIZE SELECTED.

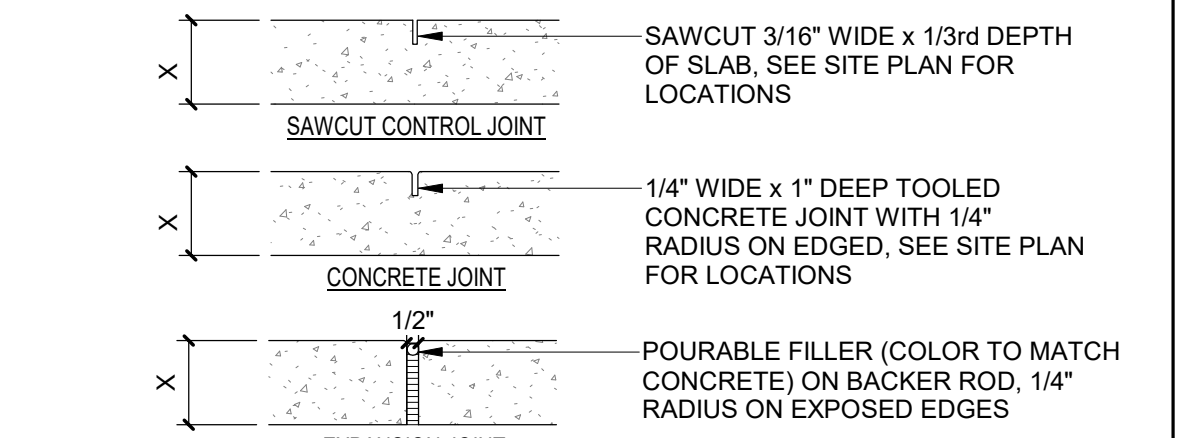
NOTES:  
1. SEE DETAIL XX/XXX FOR CONCRETE FOOTING



**B4 CONCRETE HEADER CURB**  
1 1/2" = 1'-0"

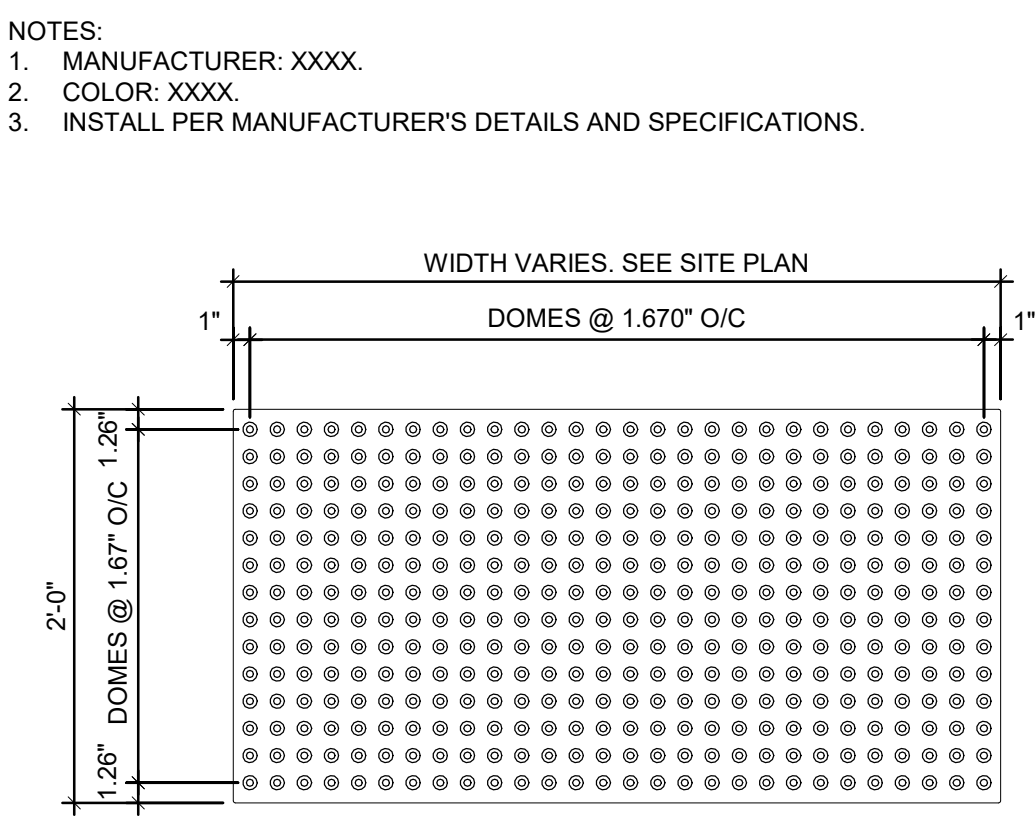


**B5 CONCRETE SIDEWALK**  
1 1/2" = 1'-0"

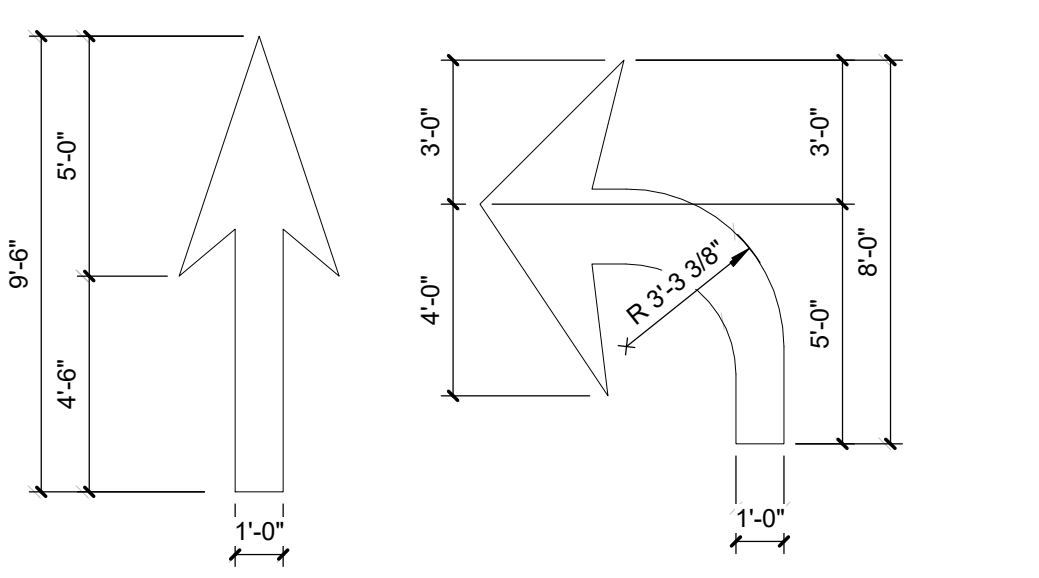


CONTROL AND EXPANSION JOINT SPACING - UNLESS NOTED OTHERWISE ON PLANS				
APPROX WIDTH OF CONCRETE	CURB & GUTTER, ROLL, HEADER, FLUSH CURBS	5' WALK	8' WALK & BLDG APRON	6'-12' WALK
CONTROL JOINTS	4" O.C.	5" O.C.	8" O.C.	6" O.C.
EXPANSION JOINTS	4" O.C.	5" O.C.	8" O.C.	6" O.C.

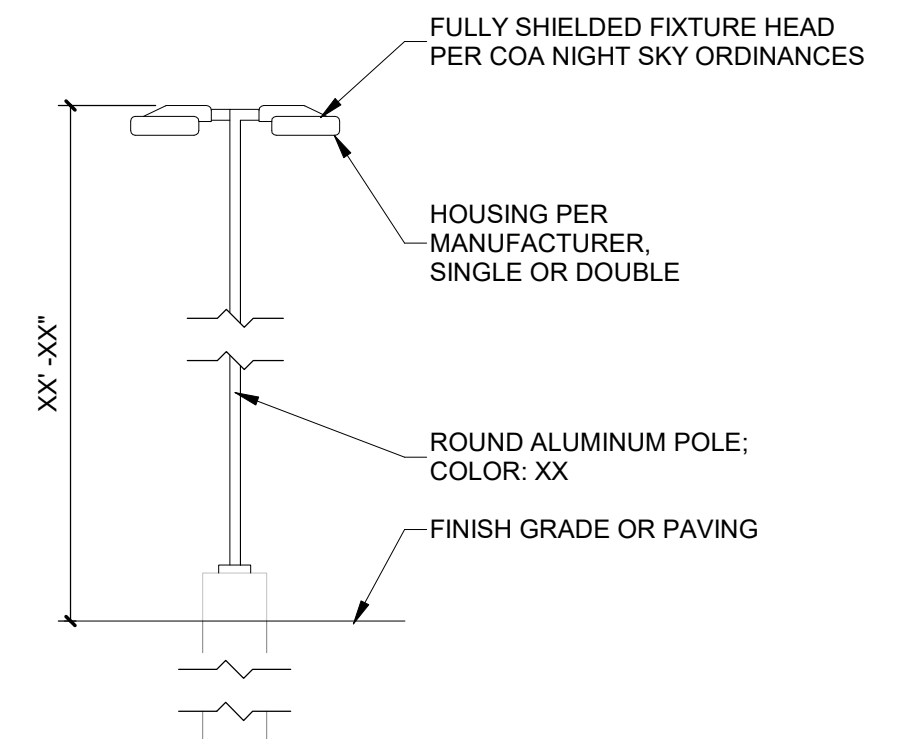
**A5 CONCRETE JOINTS & JOINT SPACING**  
1 1/2" = 1'-0"



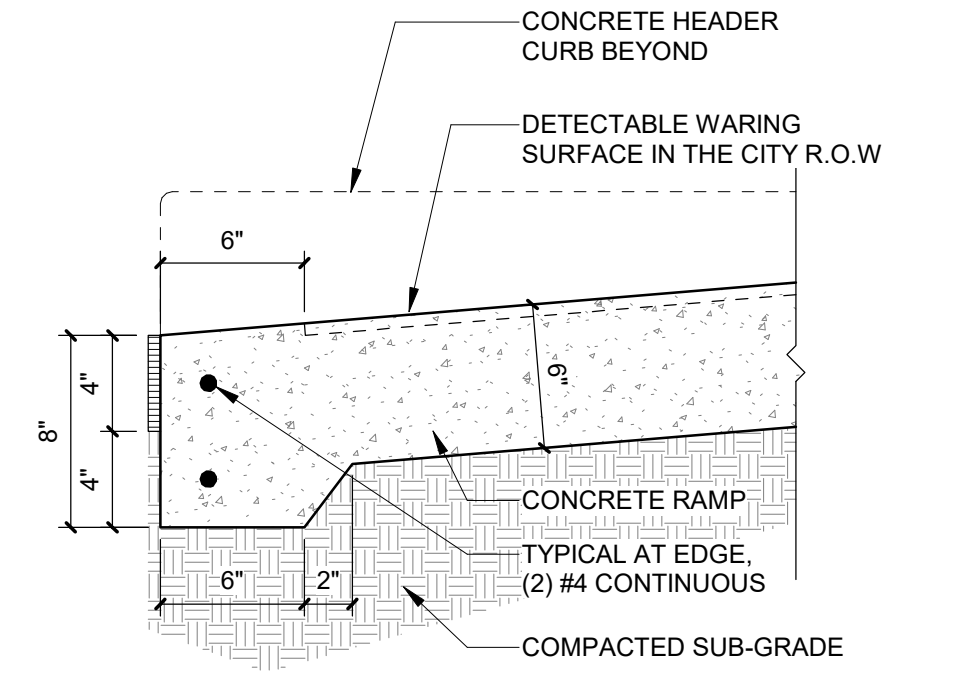
**A1 TACTILE SURFACE**  
1" = 1'-0"



**A2 DIRECTIONAL PAVEMENT ARROW**  
1/4" = 1'-0"



**A3 PARKING LIGHT POLE**  
1/4" = 1'-0"



**A4 RAMP TRANSITION**  
1 1/2" = 1'-0"

**DEKKER PERICH SABATINI**  
Architecture in Progress



SEAL  
PROJECT

**FAROLITO SENIOR COMMUNITY**  
10501 CENTRAL AVENUE NE  
ALBUQUERQUE, NM 87123

ISSUED FOR PERMIT

REVISIONS

- △
- △
- △
- △
- △
- △

DRAWN BY BH  
REVIEWED BY CWW  
DATE 07/10/23  
PROJECT NO: 22-0083

DRAWING NAME  
**ENLARGED PLANS AND DETAILS**

SHEET NO  
**SDP 1.2**