

CITY OF ALBUQUERQUE



April 21, 2017

Mike Balaskovits, PE
Bohannon-Huston
7500 Jefferson St NE Courtyard I
Albuquerque, NM 87109

**Re: ICON Samson 10 – 1 Screen Addition
13120 Central Ave SE
Request Permanent C.O. - Accepted
Engineer's Stamp dated: 5-20-16 (L22D003A)
Certification dated: 4-20-16**

Dear Mr. Balaskovits,

Based on the Certification received 4/20/2017, the site is acceptable for permanent release of Certificate of Occupancy by Hydrology.

PO Box 1293

If you have any questions, you can contact me at 924-3986 or Totten Elliott at 924-3982.

Albuquerque

Sincerely,

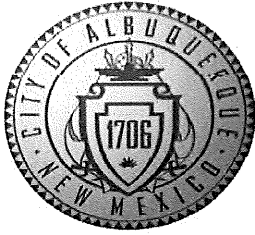
New Mexico 87103

James D. Hughes, P.E.
Principal Engineer, Planning Dept.
Development and Review Services

www.cabq.gov

TE/AC JDH

C: email Serna, Yvette; Fox, Debi; Tena, Victoria; Sandoval, Darlene M.



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: ICON SAMSON 10 - 1 SCREEN ADDITION Building Permit #: _____ City Drainage #: L22/D033A
 DRB#: _____ EPC#: _____ Work Order#: 671591
 Legal Description: _____
 City Address: 13120 CENTRAL AVENUE SE, ALBUQUERQUE, NM 27123

Engineering Firm: Bohannon Huston Inc. Contact: Mike Balaskovits
 Address: 7500 Jefferson St NE
 Phone#: 505-823-1000 Fax#: _____ E-mail: mbalaskovits@bhinc.com

Owner: ICON CINEMAS Contact: SAM SNELL
 Address: _____
 Phone#: _____ Fax#: _____ E-mail: SAMSNELL@SUDDENLINK.NET

Architect: TK ARCHITECTS INTERNATIONAL Contact: IAN WILSON
 Address: 106 WEST 11TH STREET, SUITE 1900, KANSAS CITY, MI 64105
 Phone#: 816-842-7552 Fax#: _____ E-mail: IWILSON@TKARCH.COM

Other Contact: _____ Contact: _____
 Address: _____
 Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

- HYDROLOGY/ DRAINAGE
- TRAFFIC/ TRANSPORTATION
- MS4/ EROSION & SEDIMENT CONTROL

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY
- PRELIMINARY PLAT APPROVAL
- SITE PLAN FOR SUB'D APPROVAL
- SITE PLAN FOR BLDG. PERMIT APPROVAL
- FINAL PLAT APPROVAL
- SIA/ RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING/ PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR
- PRE-DESIGN MEETING
- OTHER (SPECIFY) _____

TYPE OF SUBMITTAL:

- ENGINEER/ ARCHITECT CERTIFICATION
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- DRAINAGE MASTER PLAN
- DRAINAGE REPORT
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- TRAFFIC IMPACT STUDY (TIS)
- EROSION & SEDIMENT CONTROL PLAN (ESC)
- OTHER (SPECIFY) _____

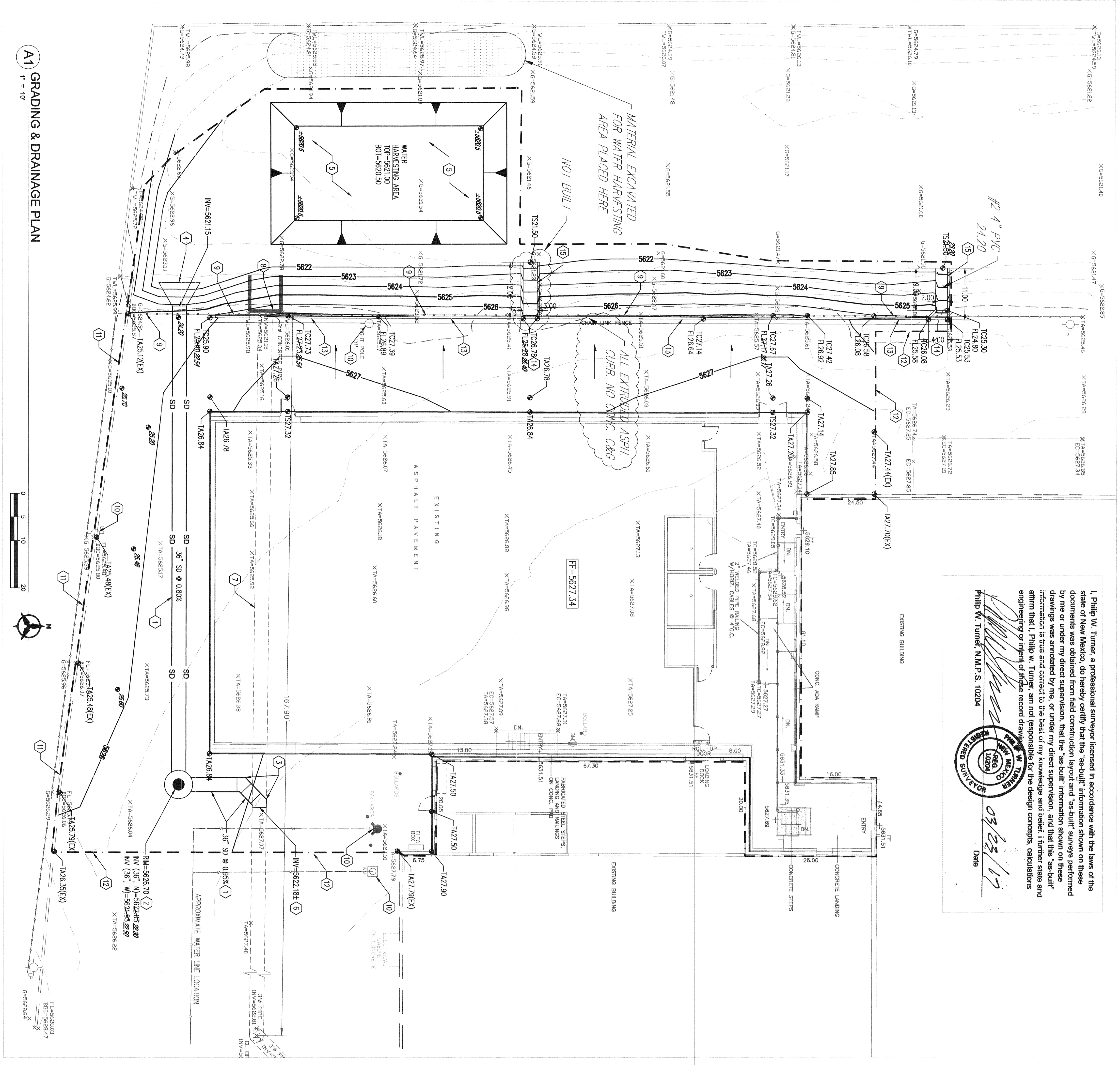
IS THIS A RESUBMITTAL?: Yes No

DATE SUBMITTED: April 20, 2017 By: Mike Balaskovits

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____

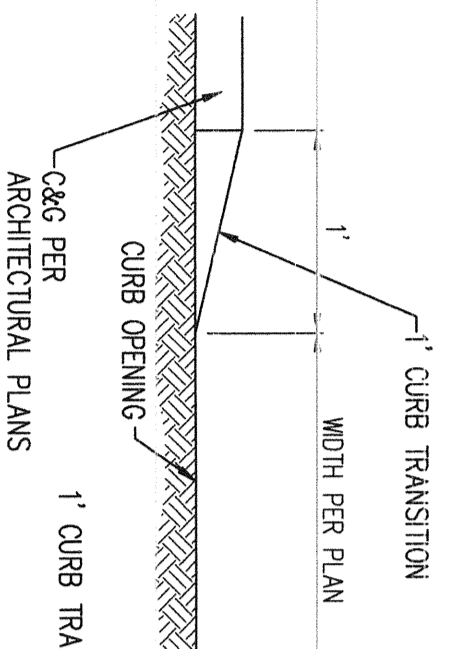
I, Philip W. Turner, a professional engineer licensed in accordance with the laws of the state of New Mexico, do hereby certify that the "as-built" information shown on these documents was obtained from field construction report and "as-built" surveys performed by me or under my direct supervision, that the "as-built" information shown on these documents was obtained by me or under my direct supervision, and that this "as-built" information is true and correct to the best of my knowledge and belief; I further state and affirm that I, Philip W. Turner, am not responsible for the design concepts, calculations and engineering of intent of these record drawings.

Philip W. Turner, N.M.P.S. 10204
 Date: 03/23/17

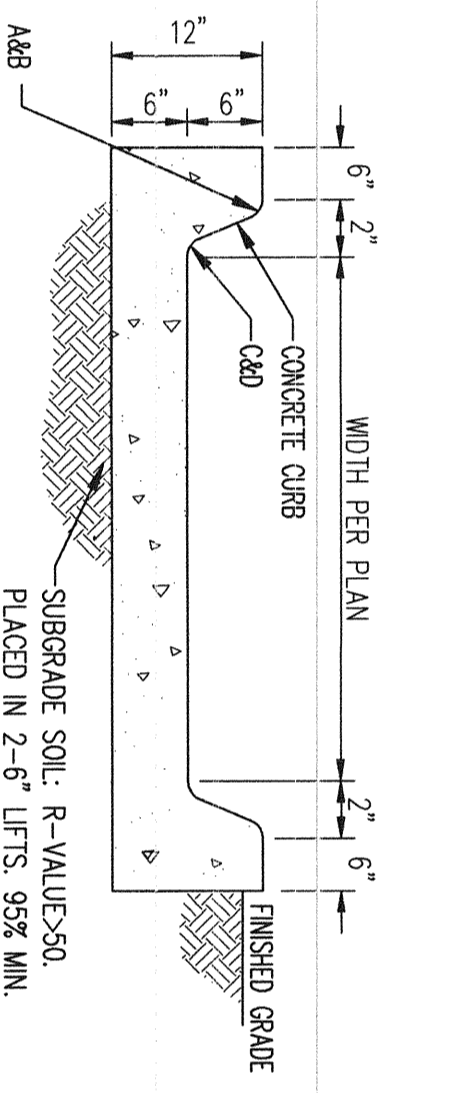


A1 GRADING & DRAINAGE PLAN
 T = 10'

1 TYPICAL CURB OPENING
 N.T.S.



2 CONCRETE RUNDOWN
 N.T.S.



- A. 4.075' RADIIUS
- B. DIMENSIONS AT ROUNDED CORNERS MEASURED TO INTERSECTION OF STRAIGHT LINES
- C. 42' RADIIUS
- D. DIMENSIONS AT ROUNDED CORNERS MEASURED TO INTERSECTION OF STRAIGHT LINES

GRADING SHEET NOTES

1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
2. THE COST FOR REQUIRED CONSTRUCTION LIST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER, ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED, OR PROVIDED FOR HEREIN, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, STANDARD SPECIFICATIONS AND/OR THE NEW MEXICO STANDARD SPECIFICATIONS FOR PUBLIC WORKS.
4. EARTH SLOPES SHALL NOT EXCEED 1 HORIZONTAL TO 1 VERTICAL PER THE GEOTECHNICAL REPORT UNLESS OTHERWISE STATED.
5. IT IS THE INTENT OF THESE PLANS THAT THE CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
6. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY.
7. A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUBSIDIZED MATERIAL, AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL, SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL FILL SHALL BE OBTAINED FROM THE PROJECT SITE AND SHALL NOT BE OBTAINED FROM ANOTHER SOURCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND MAINTAINING ALL NECESSARY PERMITS FOR FILL ACQUISITION OR PLACEMENT. FILL SHALL BE WAIVED.
8. PAVING AND ROADWAY GRADES SHALL BE +/- .01' FROM PLAN ELEVATIONS. PAVEMENT FINISH ELEVATIONS SHALL BE +/- .02' FROM PLAN ELEVATIONS.
9. ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PAVING AREA AND MUST BE ADJUSTED FOR MEDIAN AND ISLANDS.
10. VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.
11. SIDEWALK CROSS-SLOPES SHALL BE AT A MINIMUM OF 1.0% AND A MAXIMUM OF 2.0%.
12. HOPE PIPE AND FITTINGS SHALL BE INSTALLED AND BACKFILLED PER MANUFACTURER'S SPECIFICATIONS. CONNECTIONS TO CONCRETE MANHOLES AND CONCRETE PIPES SHALL USE WATER STOP GASKETS AND SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.

DRAINAGE MANAGEMENT PLAN

SITE LOCATION AND BACKGROUND
 THE PROPOSED PROJECT IS A ONE SCREEN ADDITION TO THE ICON THEATER IN FOUR HILLS PLAZA. THE SHOPPING CENTER IS LOCATED ON THE SOUTH WEST CORNER OF THE TRAMWAY BLVD AND CENTRAL AVE INTERSECTION. THE ADDITION TO THE EXISTING THEATER IS APPROXIMATELY 9500 SF. DRAINAGE ANALYSIS WAS PERFORMED ON THE EXISTING AREA OF THE SITE THAT IS BEING REDEVELOPED IS AN ASPHALT PAVING LOT. THE SITE SLOPES FROM THE EXISTING BUILDING WEST TO A DETENTION POND, A PORTION OF THE EXISTING PLAZA DISCHARGES TO THIS DETENTION POND VIA STORM DRAIN SYSTEM AND SURFACE DRAINAGE.

PROPOSED CONDITIONS
 THE DRAINAGE FROM THE PROPOSED BUILDING WILL MATCH THE EXISTING DRAINAGE PATTERNS THAT ARE CURRENTLY ESTABLISHED ON SITE. THE EXISTING SITE IS COVERED WITH ASPHALT (TYPICAL) AND REPAVEMENT OF THE PROPOSED BUILDING DETENTION POND, A WATER HARVESTING ARE WILL BE CONSTRUCTED IN THE EXISTING DETENTION POND TO CAPTURE THE FIRST FLUSH DISCHARGE FROM THE PROPOSED BUILDING FOOTPRINT.

BEST PRACTICE CALCULATION
 IMPERVIOUS AREA: 9500 SF (ROOF AREA) 6950 SF (PAVED AREA)
 RAINFALL DEPTH: 0.44" (ROOF) 0.34" (PAVING)
 INITIAL ABSORPTION OF 0.1" WAS USED FOR PAVED AREAS PER DMV CHAPTER 22, TABLE A-7
 VOLUME REQUIRED: 550 CF
 VOLUME PROVIDED: 575 CF

CONCLUSION
 THE PROPOSED CONDITIONS PEAK DISCHARGE FROM THE SITE IS EQUIVALENT TO THAT OF THE EXISTING CONDITION. THE DRAINAGE PATTERNS FROM THE PROPOSED CHANGES IS SIMILAR TO THE EXISTING DRAINAGE PATTERNS. THE IMPLEMENTATION OF THESE GRADING CONCEPTS AND CONSTRUCTION OF THE WATER HARVESTING AREA WOULD RESULT IN THE SAME PASSAGE OF THE 100 YEAR STORM EVENT AS WITH THE EXISTING CONDITIONS. WITH THIS PLAN WE PROPOSED APPROVAL FOR BUILDING PERMIT.

SHEET KEYED NOTES

1. INSTALL 36" HOPE PIPE (N/2 WT. OR APPROVED EQUAL) STORM DRAIN PIPE.
2. INSTALL 6" DIA STORM DRAIN MANHOLE PER NMAPWA STD DWG 2101.
3. INSTALL 45" STORM DRAIN BEND WITH WATER-TIGHT GASKETS.
4. INSTALL 36" HOPE PIPE END SECTION.
5. INSTALL WATER HARVESTING AREA.
6. CONNECT TO EXISTING STORM DRAIN LINE. CONTRACTOR TO VERIFY INVERT/LOCATION PRIOR TO INSTALLATION AND CONTRACT ENGINEER WITH ANY DISCREPANCIES.
7. REMOVE AND DISPOSE OF EXISTING STORM DRAIN.
8. REMOVE AND DISPOSE OF EXISTING CONCRETE HEADWALL.
9. REMOVE AND REPLACE CHAINLINK FENCE/GATE.
10. EXISTING UTILITY POLE, APPARATUS, WETTER, ETC.; PROTECT IN PLACE.
11. EXISTING CONCRETE CURB; PROTECT IN PLACE.
12. 5.0% SLOPE EXISTING ASPHALT TO 3' C&G. EXIST. MATCH EXISTING GRADES; CONTACT ENGINEER WITH ANY DISCREPANCIES.
13. INSTALL 6" MEDIAN CURB AND CUTTER PER COA STD DWG 2415B.
14. INSTALL CURB OPENING PER DETAIL 1, THIS SHEET.
15. INSTALL CONCRETE RUNDOWN PER DETAIL 2, THIS SHEET.

GENERAL SHEET NOTES

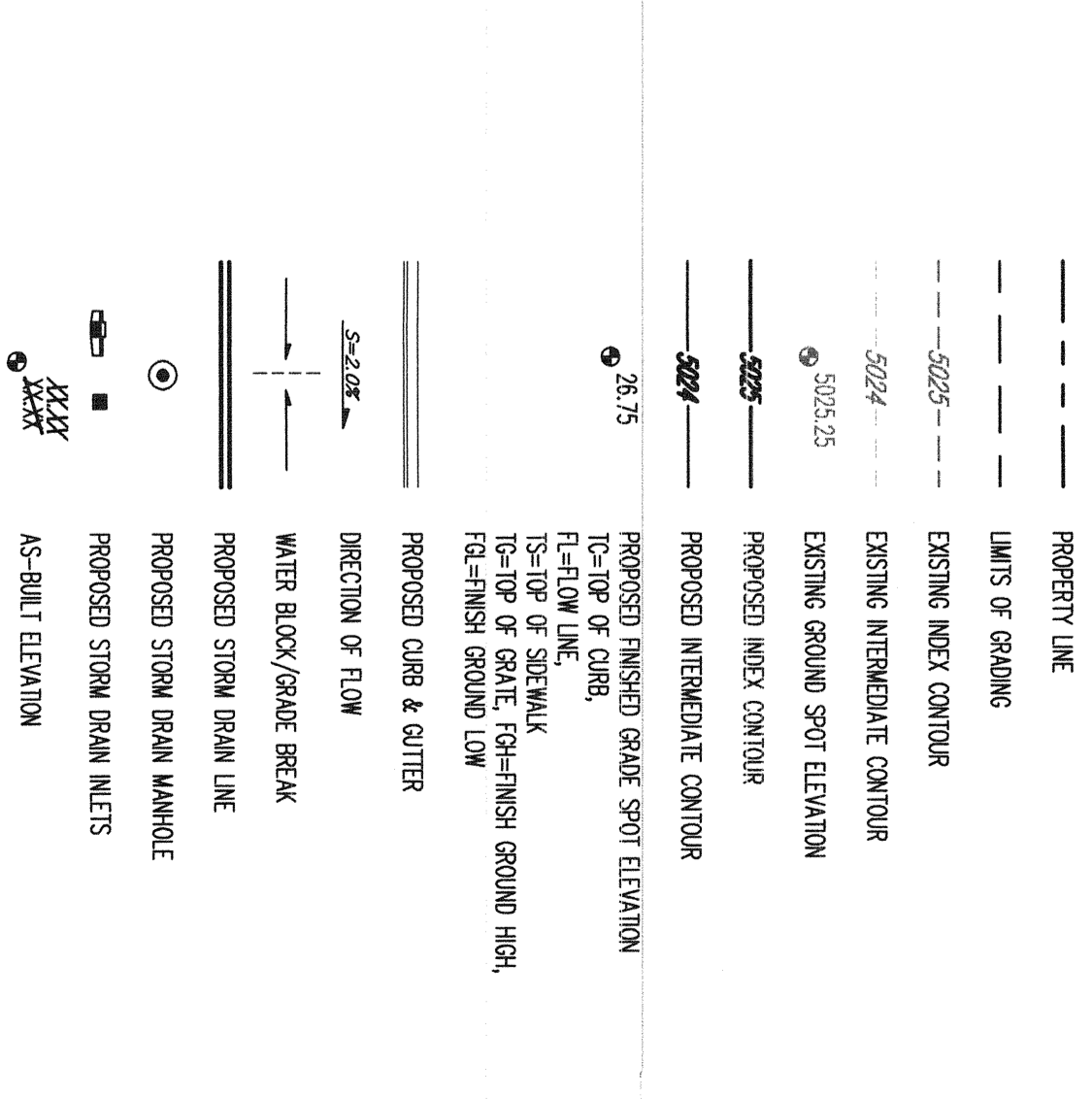
1. ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND STANDARD DRAWINGS UNLESS OTHERWISE SPECIFIED. UNLESS OTHERWISE SPECIFIED, ALL WORK SHALL BE IN ACCORDANCE WITH THE NEW MEXICO STANDARD SPECIFICATIONS FOR PUBLIC WORKS.
2. THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, REGULATIONS, ORDINANCES, AND DECREE, AND ALL APPLICABLE STANDARDS AND SPECIFICATIONS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL UTILITIES INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
4. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT THE LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
5. ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO DAMAGE TO EXISTING UTILITIES SHALL BE PERMITTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR RELOCATION OF EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
6. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
7. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
8. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
9. THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E. BARBICORDING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, DRAINWAY PERMITS, ETC.).
10. ALL PROPERTY CORNERS DESIGNATED DURING CONSTRUCTION SHALL BE RESET BY A REGISTERED LAND SURVEYOR. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
11. THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND CONSTRUCTION TRAFFIC CONTROL PLAN. THE CONTRACTOR SHALL SUBMIT THIS PLAN TO THE ALBUQUERQUE TRAFFIC ENGINEERING DEPARTMENT PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
12. ALL BARBICORDING AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE NEW MEXICO TRAFFIC CONTROL DEVICES' (MUTCD), US DEPARTMENT OF TRANSPORTATION LATEST EDITION.
13. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARBICORDS AND SIGNING AT ALL TIMES.
14. THE PROJECT MUST CONFORM WITH THE EROSION AND SEDIMENT REQUIREMENTS OF THE EPA CONSTRUCTION GENERAL PERMIT OR LOCAL STANDARDS & CODES WHICHEVER IS MORE STRINGENT.

DRAINAGE CERTIFICATION
 I, MICHAEL J. BAUSOVITS, HAVE PREPARED THE ENGINEERING DESIGN AND ALL DESIGN SUBSISTANT THEREON, INCLUDING CALCULATIONS AND ALL DESIGN AND CONSTRUCTION DETAILS, IN ACCORDANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 5-20-16. THE RECORD INFORMATION DATED ON THE DRAWING IS THE DESIGN INFORMATION. THE DESIGNER'S RESPONSIBILITY IS TO THE PROJECT SITE AS CONDUCTED ON 4-11-17 AND IT WAS DETERMINED BY VISUAL INSPECTION THAT THE SAME DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS. THE DESIGNER'S DESIGN IS BASED ON THE RECORD INFORMATION AND DESIGN INFORMATION PROVIDED IN SECTION 5.1.1. THE DESIGNER'S DESIGN IS BASED ON THE RECORD INFORMATION AND DESIGN INFORMATION PROVIDED IN SECTION 5.1.1. THE DESIGNER'S DESIGN IS BASED ON THE RECORD INFORMATION AND DESIGN INFORMATION PROVIDED IN SECTION 5.1.1.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND THE CONTRACTOR SHALL VERIFY THE RECORD INFORMATION AND DESIGN INFORMATION AND ADVISE TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Michael J. Bausovits, N.M.P.S. 18187
 DATE: 4-20-17

LEGEND



ICON SAMSON 10 SCREEN ADDITION
 13120 CENTRAL AVENUE, SE
 ALBUQUERQUE, NM 87123

Bohannan & Huston
 Courtyard I 7500 Jefferson St. NE
 Albuquerque, NM 87109 (505) 823-1000

ENGINEER: *Philip W. Turner, N.M.P.S. 10204*

PROJECT: **ICON SAMSON 10 SCREEN ADDITION**

DRAWING NO: **C1.00**

SHEET NO: **C1.00** OF

DATE: **MAY 20, 2016**

PROJECT NO: **14060.03**

DRAWING NAME: **PROPOSED GRADING & DRAINAGE PLAN**

REVIEWED BY: **JLM**

DRAWN BY: **BHW**