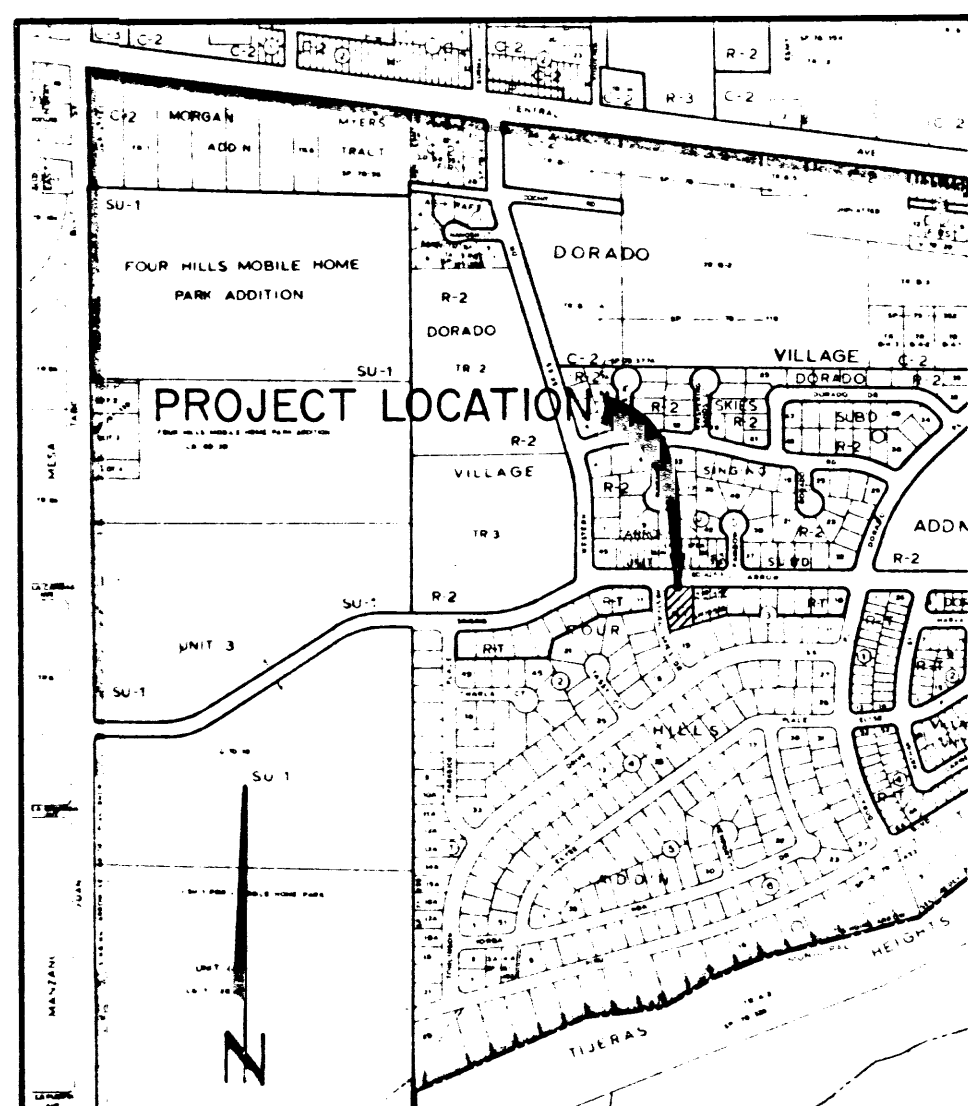


NOTE: City of Albuquerque water and sanitary sewer service to Lots 1A, 1B, 1C, 1D and 1E must be verified and coordinated with the Water Resources Department, City of Albuquerque.



LOCATION MAP

L-22

SCALE: 1"=800'

SUBDIVISION DATA

1. D.R.B. Case No. 84-519
2. Zone Atlas No. L-22-Z
3. Number of Lots Created: 5
4. Gross Acreage: 0.411
5. Date of Survey: July 1984

NOTES

1. Bearings are N.M. State Plane Grid Bearings (Central Zone).
2. Bearings and distances shown in parentheses are record.
3. Distances are ground distances.
4. Recorded or unrecorded easements other than shown hereon are not covered by this map.
5. Set 5/8" rebar with cap marked L.S. 7719 at all points marked with an open circle unless otherwise indicated.

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, do hereby certify that I am a Registered Professional Land Surveyor under the laws of the State of New Mexico, and that this plat was prepared by me or under my supervision, shows all easements of record, meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, meets the requirements set forth by the State of New Mexico, and is true and correct to the best of my knowledge and belief.

Timothy Aldrich, N.M.P.L.S. No. 7719 Date

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) ss

On this _____ day of _____, 1985, the SURVEYOR'S CERTIFICATION was acknowledged before me.

Notary Public

FREE CONSENT AND DEDICATION

The subdivision hereon described is with free consent and in accordance with the desires of the undersigned owner and/or proprietor thereof and said owner and/or proprietor do hereby grant all utility easements shown hereon to the public use including the rights of ingress and egress (both surface and subsurface) and the right to trim interfering trees.

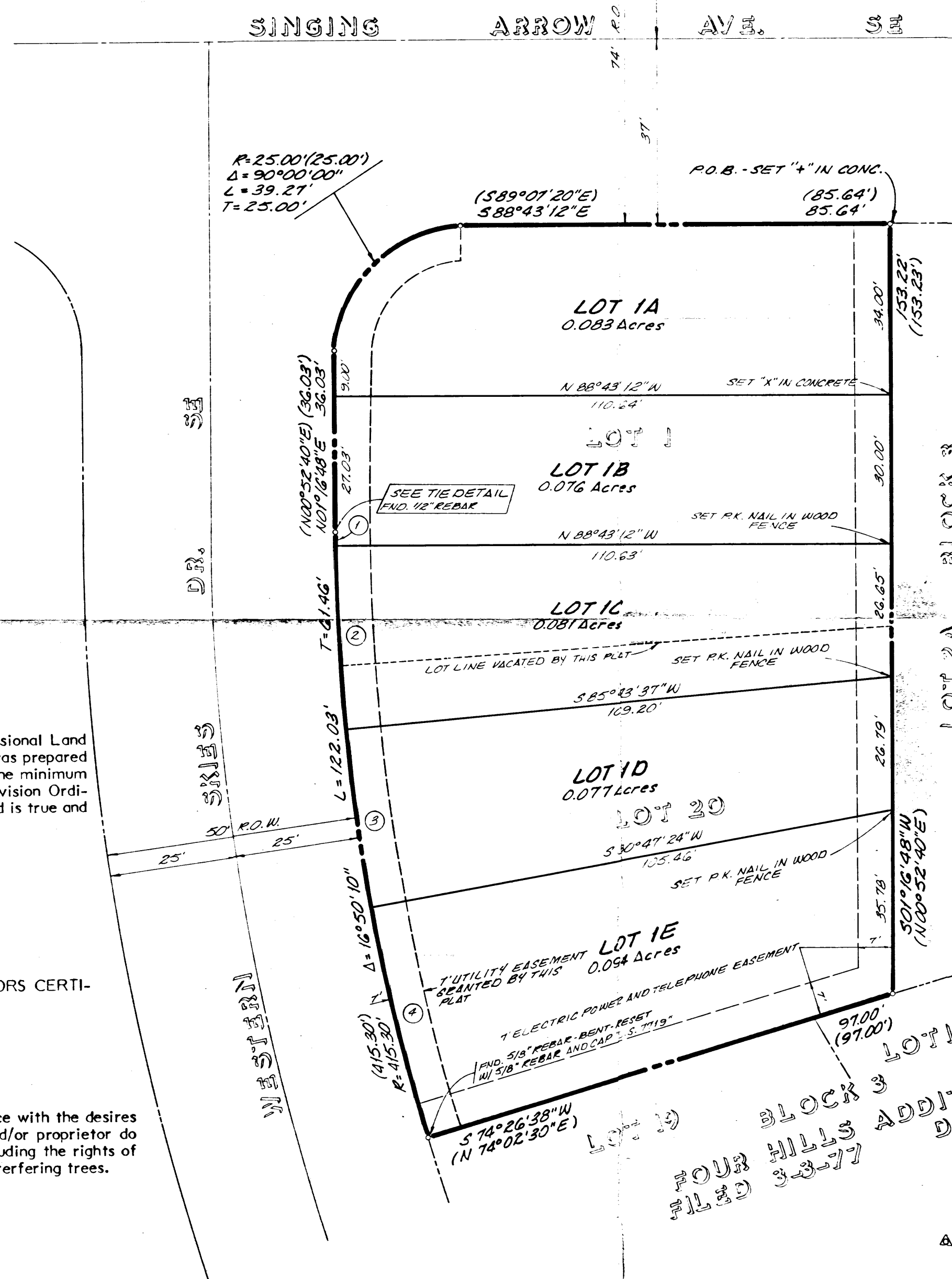
CONSTRUCTION, CONTRACT, AND MANAGEMENT, INC.

C.J. Mead, President Date

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) ss

On this _____ day of _____, 1984, the foregoing instrument was acknowledged before me. My commission expires _____.

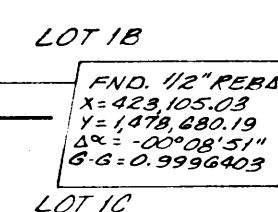
Notary Public



CURVE DATA

No.	R	Δ	L	T
①	415.30'	00°24'35"	2.97'	1.49'
②	415.30'	05°08'56"	3°28'	18.65'
③	415.30'	04°56'13"	35°78'	17.90'
④	415.30'	06°20'46"	46.00'	23.02'

ACS BRASS CAP 1-LB (R)
1"=20' (GROUND DISTANCE)



TIE DETAIL

REPLAT OF
LOTS 1 AND 20
BLOCK 3
FOUR HILLS ADDITION
NOW COMPRISING
LOTS 1A, 1B, 1C, 1D AND 1E
BLOCK 3
FOUR HILLS ADDITION
SITUATE WITHIN
SECTION 27
TOWNSHIP 10 NORTH, RANGE 4 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JULY 1984

PURPOSE OF THIS PLAT

1. Vacate Lots 1 and 20 in order to create Lots 1A through 1E as shown.
2. Grant utility easements along Western Skies Drive as shown.

DESCRIPTION

A tract of land situate within Section 27, Township 10 North, Range 4 East, New Mexico Principal Meridian within the City of Albuquerque, Bernalillo County, New Mexico and being more particularly described as follows:

BEGINNING at the northeast corner of the herein described tract, said point being the same as the northwest corner of Lot 2A, Block 3, FOUR HILLS ADDITION as the same is shown and designated on said plat filed in the office of the County Clerk of Bernalillo County, New Mexico on September 10, 1978 (C15-105).

THENCE S 01° 16' 48" W, 153.22 feet to the southeast corner, said point being the same as the southwest corner of Lot 2A, Block 3, FOUR HILLS ADDITION;

THENCE S 74° 26' 38" W, 97.00 feet to the southwest corner, said point being on the east right-of-way line of WESTERN SKIES DRIVE NE;

THENCE along said right-of-way line 122.03 feet along the arc of a curve to the right, whose radius is 415.30 feet through a central angle of 16° 50' 10" to a point of tangency;

THENCE continuing along said right-of-way line N 01° 16' 48" E, 36.03 feet to a point of curvature;

THENCE leaving said right-of-way line 39.27 feet along the arc of a curve to the right, whose radius is 25.00 feet through a central angle of 90° 00' 00" to a point of tangency, said point being on the south right-of-way line of SINGING ARROW AVENUE NE;

THENCE along said right-of-way line S 88° 43' 12" E, 85.64 feet to the point of beginning and containing 0.411 acres more or less.

APPROVED AND ACCEPTED BY:

Planning Director, City of Albuquerque, NM Date

City Engineer, City of Albuquerque, NM Date

AWAPCA Date

Chief City Surveyor, Engineering Division Date

Property Management, City of Albuquerque, NM Date

Water Resources, City of Albuquerque, NM Date

Planning and Recreation, City of Albuquerque, NM Date

Public Service, City of Albuquerque, NM Date

Gas Company of New Mexico Date

Mountain Bell Telephone Date

Job No. 5279-01
Drawn: T. ALDRICH
Date: 7-12-84

ESPEY, HUSTON & ASSOC., INC.
Engineering & Environmental Consultants
4400 ROAD 2000, ROAD NE, SUITE 200
ALBUQUERQUE, NEW MEXICO 87110
PHONE: (505) 255-8235

GRADING AND DRAINAGE PLAN

This Grading and Drainage Plan shows 1) existing and proposed elevations indicated by spot elevations and contours at 1'-0" intervals; 2) continuity between existing and proposed elevations; 3) proposed buildings, paving and landscaped areas; 4) drainage patterns with roof top ponds.

As shown on Plate L-22 of the Albuquerque Master Drainage Study, Vol. II, this site does not lie within a designated flood hazard zone. This site does contribute run-off to downstream, A01 flood plain, therefore controlled run-off is required. For a pre-design meeting with City Hydrology the discharge from the site is limited to one-half of the developed 100-year storm.

Erosion will not result due to this development as all exposed soil will be landscaped. Temporary erosion control will be installed during the construction phase, along the west and north boundaries.

The calculations which appear below analyze the 100-year, 6hr. and 10-year, 6hr. design storms for the existing and developed conditions. The Rational Method of estimating storm run-off is used as outlined in the Developmental Process Manual, Vol. II, Chapter 22.

I. DESIGN CRITERIA
 RATIONAL METHOD: $Q = C \cdot I \cdot A$
 C: 0.10
 I: 1.0
 A: 1.0
 D: 1.0
 E: 1.0
 F: 1.0
 G: 1.0
 H: 1.0
 I: 1.0
 J: 1.0
 K: 1.0
 L: 1.0
 M: 1.0
 N: 1.0
 O: 1.0
 P: 1.0
 Q: 1.0
 R: 1.0
 S: 1.0
 T: 1.0
 U: 1.0
 V: 1.0
 W: 1.0
 X: 1.0
 Y: 1.0
 Z: 1.0

II. EXISTING CONDITIONS

LENGTH = 160' Ft.
 EL. DIFF. = 2' Ft.
 SLOPE = .0125
 TIME OF CONCENTRATION = 10 Min.
 RUNOFF COEFF. = .34
 AREA = .411 Acres
 P100 = 2.5 Inches
 P10 = 1.6425 Inches
 I100 = 5.2844 Inches/Hr.
 I10 = 3.4719 Inches/Hr.
 Q100 = .30702 c.f.s.
 Q10 = .20171 c.f.s.
 VOL100 = 527.26 c.f.
 VOL10 = 346.41 c.f.
 ALLOWABLE DISCHARGE = .16 c.f.s.
 Q100 = .30702 c.f.s.
 Q10 = .20171 c.f.s.
 VOL100 = 527.26 c.f.
 VOL10 = 346.41 c.f.
 ALLOWABLE DISCHARGE = .16 c.f.s.

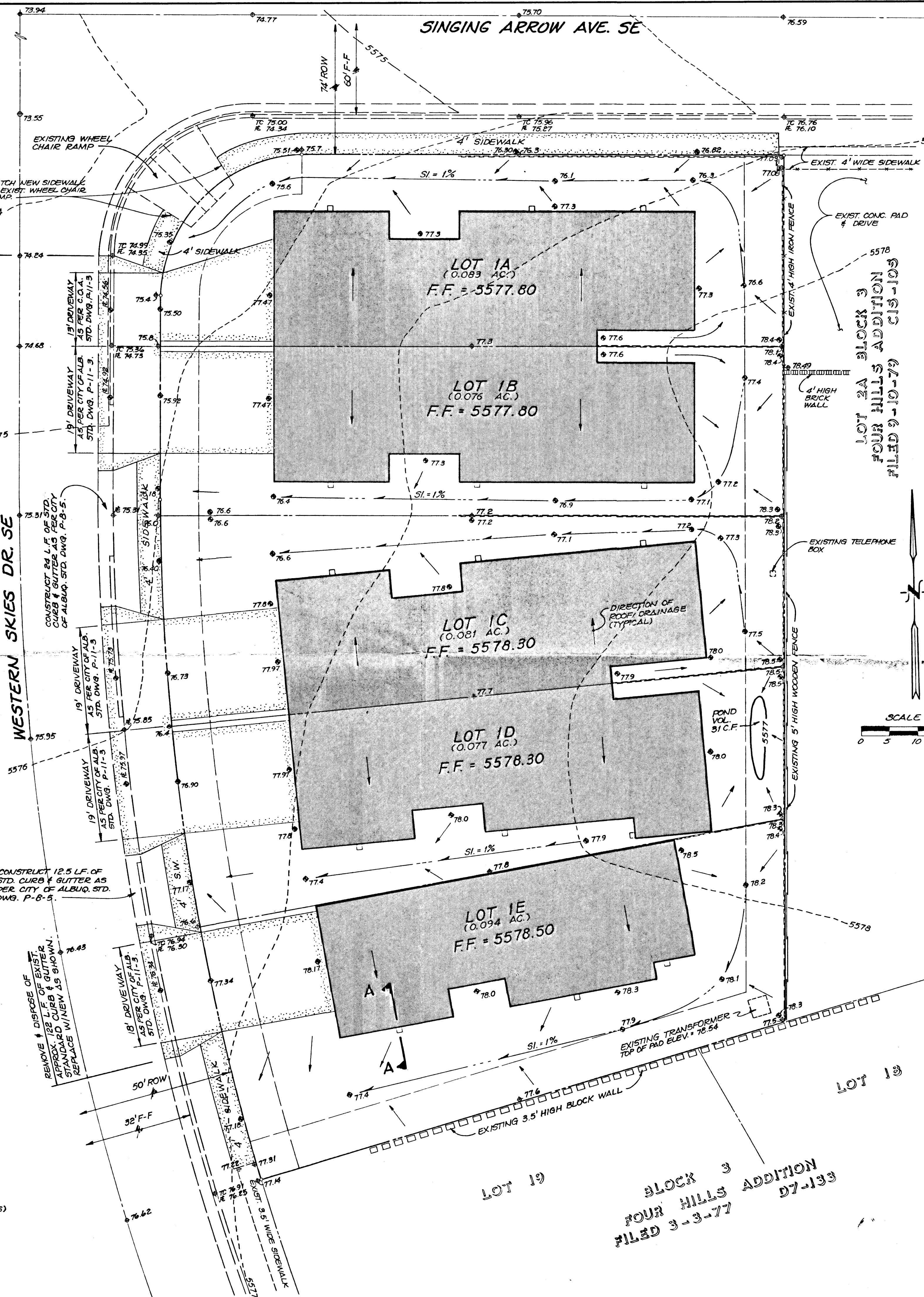
V. FLOOD ROUTING
 Total Lot Discharge = 0.112 of Q100 (dev)
 Free Discharge of landscape/driveways
 Roof Discharge/lot = 0.112
 1st Lot: 0.112
 2nd Lot: 0.112
 3rd Lot: 0.112
 4th Lot: 0.112
 5th Lot: 0.112
 6th Lot: 0.112
 7th Lot: 0.112
 8th Lot: 0.112
 9th Lot: 0.112
 10th Lot: 0.112
 11th Lot: 0.112
 12th Lot: 0.112
 13th Lot: 0.112
 14th Lot: 0.112
 15th Lot: 0.112
 16th Lot: 0.112
 17th Lot: 0.112
 18th Lot: 0.112
 19th Lot: 0.112
 20th Lot: 0.112

III. DEVELOPED CONDITIONS

LOT 1A
 LENGTH = 100' Ft.
 EL. DIFF. = 1' Ft.
 SLOPE = .01 ft/ft
 TIME OF CONCENTRATION = 10 Min.
 RUNOFF COEFF. = .75
 AREA = .076 Acres
 P100 = 2.5 Inches
 P10 = 1.6425 Inches
 I100 = 5.2844 Inches/Hr.
 I10 = 3.4719 Inches/Hr.
 Q100 = .30702 c.f.s.
 Q10 = .20171 c.f.s.
 VOL100 = 527.26 c.f.
 VOL10 = 346.41 c.f.
 ALLOWABLE DISCHARGE = .16 c.f.s.

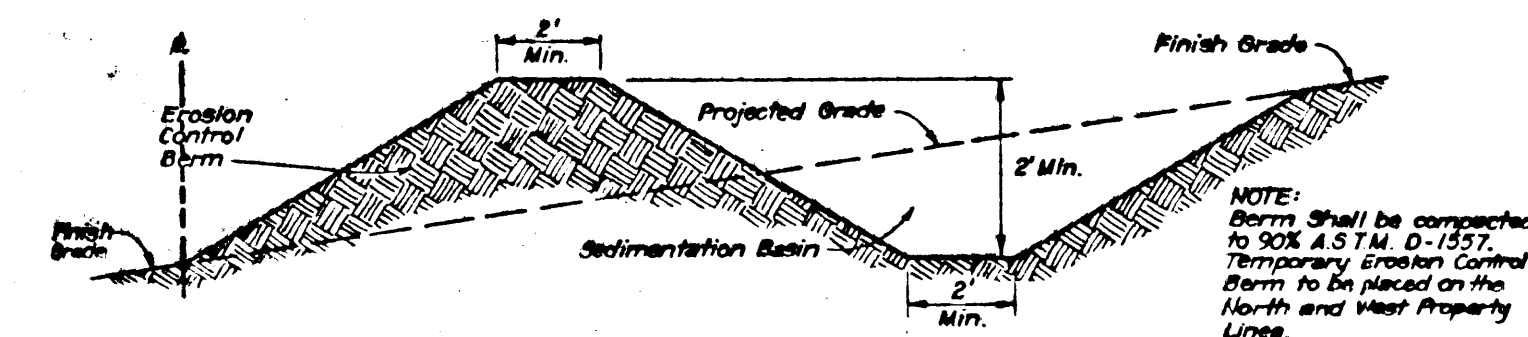
LOT 1C
 LENGTH = 100' Ft.
 EL. DIFF. = 1' Ft.
 SLOPE = .01 ft/ft
 TIME OF CONCENTRATION = 10 Min.
 RUNOFF COEFF. = .75
 AREA = .076 Acres
 P100 = 2.5 Inches
 P10 = 1.6425 Inches
 I100 = 5.2844 Inches/Hr.
 I10 = 3.4719 Inches/Hr.
 Q100 = .30702 c.f.s.
 Q10 = .20171 c.f.s.
 VOL100 = 527.26 c.f.
 VOL10 = 346.41 c.f.
 ALLOWABLE DISCHARGE = .16 c.f.s.

LOT 1E
 LENGTH = 100' Ft.
 EL. DIFF. = 1' Ft.
 SLOPE = .01 ft/ft
 TIME OF CONCENTRATION = 10 Min.
 RUNOFF COEFF. = .75
 AREA = .076 Acres
 P100 = 2.5 Inches
 P10 = 1.6425 Inches
 I100 = 5.2844 Inches/Hr.
 I10 = 3.4719 Inches/Hr.
 Q100 = .30702 c.f.s.
 Q10 = .20171 c.f.s.
 VOL100 = 527.26 c.f.
 VOL10 = 346.41 c.f.
 ALLOWABLE DISCHARGE = .16 c.f.s.



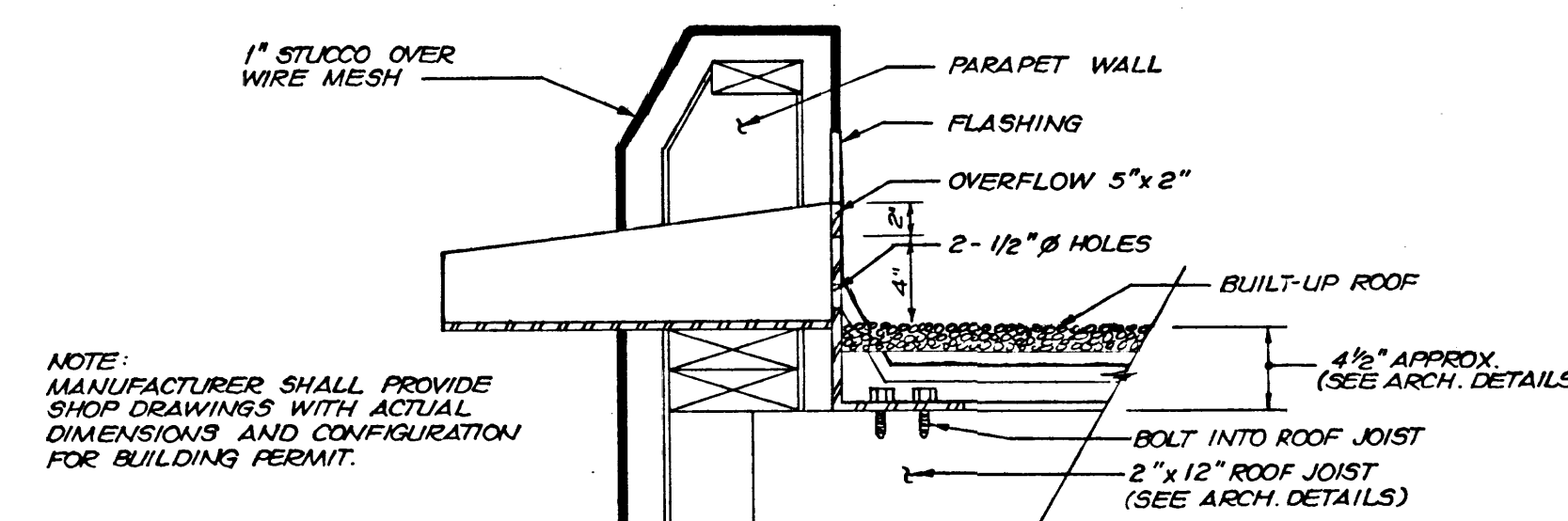
CANALE DETAIL

NO SCALE



TEMPORARY EROSION CONTROL BERM

NO SCALE



TYPICAL SECTION 'A'

NO SCALE

PROJECT BENCH MARK

ACS BENCH MARK N.M. BER 4. THE STATION IS LOCATED IN THE SOUTH-EAST QUADRANT OF THE INTERSECTION OF CENTRAL AVE AND WESTERN SKIES DR. SE. 105 FEET SOUTH OF THE E. OF CENTRAL AVE AND 60 FT. EAST OF THE E. OF WESTERN SKIES DR. SE. THE STATION MARK IS A STANDARD USDA BRASS TABLET STAMPED "N.M. BER 4, 1934 EL. 5560", SET IN THE TOP OF A CONCRETE POST PROJECTING 0.4 FT. ELEVATION = 5560.114 FEET (MSLD)

LEGEND

- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- EXISTING CONTOUR
- PROPOSED CONTOUR
- SWALE
- DIRECTION OF FLOW
- CONCRETE (NEW)
- EXISTING BLOCK WALL
- PROPERTY LINE
- CENTERLINE OF STREET
- WOODEN FENCE (EXISTING)
- EXISTING CURB & GUTTER
- EASEMENT LINE
- NEW BUILDING
- ROOF DRAIN (CANALES)
- 6' HIGH WOODEN FENCE (PROPOSED)

LEGAL DESCRIPTION

REPLAT OF LOTS 1 & 20 OF BLOCK 3, FOUR HILLS ADDITION; NOW COMPOSING LOTS 1A, 1B, 1C, 1D & 1E OF BLOCK 3, FOUR HILLS ADDITION.

ADDRESS

- 500 WESTERN SKIES DR. - LOT 1A
- 504 WESTERN SKIES DR. - LOT 1B
- 508 WESTERN SKIES DR. - LOT 1C
- 512 WESTERN SKIES DR. - LOT 1D
- 516 WESTERN SKIES DR. - LOT 1E

RECEIVED
 FEB 20 1985
 HYDROLOGY SECTION

NO.	REVISIONS	BY	DATE
1	GRADING AND DRAINAGE PLAN LOTS 1A, 1B, 1C, 1D, 1E OF BLK. 3 FOUR HILLS ADDITION		
<div> <div> </div> <div> ESPEY, HUSTON & ASSOC., INC. Engineering & Environmental Consultants 4801 INDIAN SCHOOL ROAD, N.E. SUITE 204 ALBUQUERQUE, NEW MEXICO 87110 PHONE (505) 255-1625 </div> </div>			
DESIGNED BY	P.C.	DATE	2/18/85
DRAWN BY	R.D.M/FB	#	35
CHECKED BY	D.L.	JOB NO.	6164-03
APPROVED BY	W.F.C.		
SHEET NO.	1	SHEETS	1