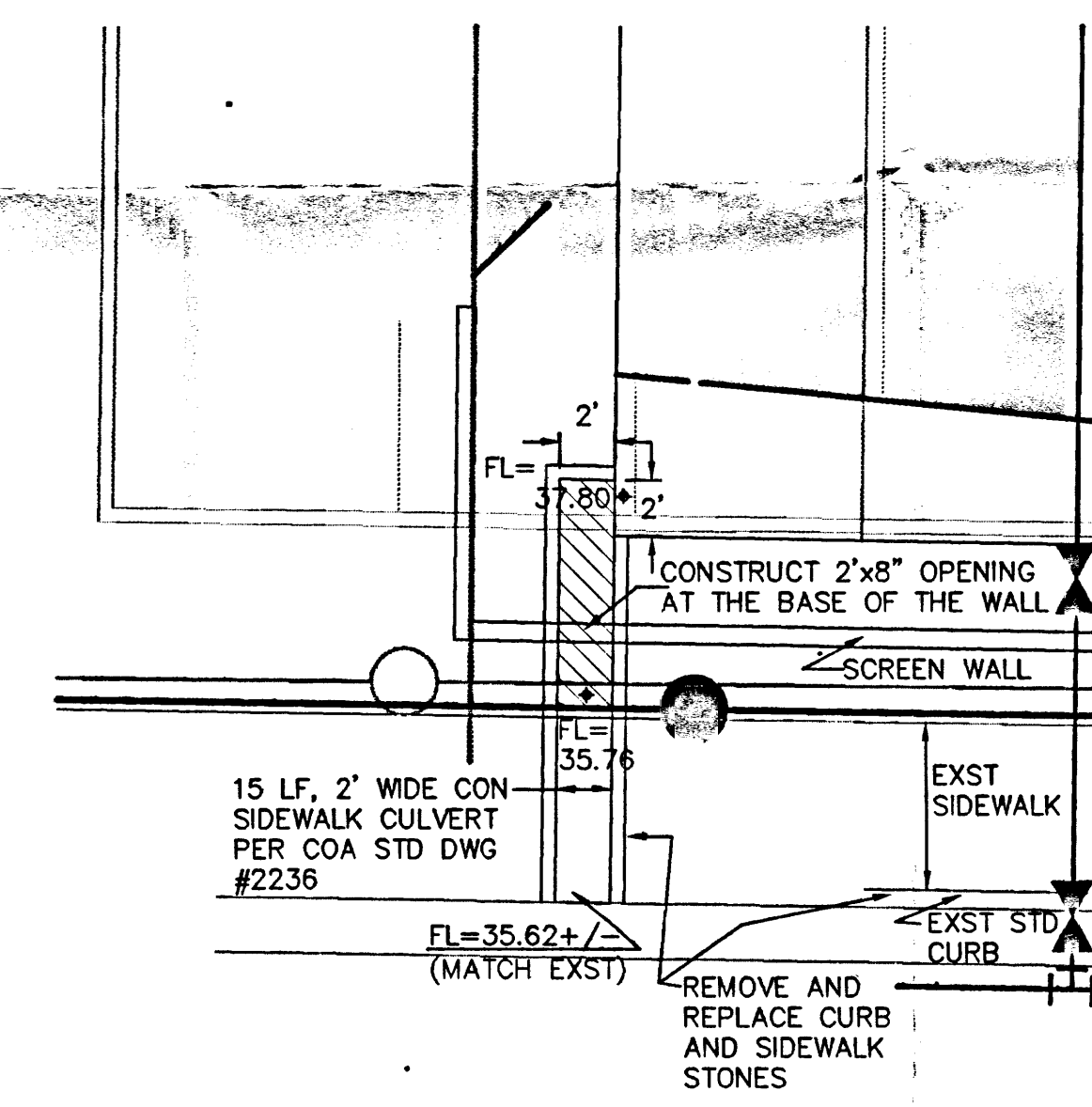


DRAINAGE BASIN MAP



SIDEWALK CULVERT DETAIL
SCALE 1"=5'

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque New Mexico
1269.1GRDDL.DWGmrj 12/04/03

ARCHICON, L.C.
Architecture & Interiors
4941 N. CENTRAL, SUITE C-100
PHOENIX, ARIZONA 85012
(602) 222-4656
FAX (602) 219-4086
WWW.ARCHICON.COM

MARK	DATE	REVISION

ECKERD DRUG STORE
110 JUAN TABO NE. (STORE # 5404)
NEC JUAN TABO BLVD. & CENTRAL AVE.
ALBUQUERQUE, NM

REVIEW	DATE	INITIAL
PLANNING / CLIP		
CLIENT SUBMITTAL		
BLACK PRINT		
PERMIT EXIST 1		
PERMIT EXIST 2		
GENERAL		
ASSEMBLY		
CONSTRUCTION		
FOR RECORD		
DATE PRINTED		

Scale: AS SHOWN

Drawn: THOR

Checked: FCA

Drawing Date: 11/12/03

ARCHICON Job No.: 0203023

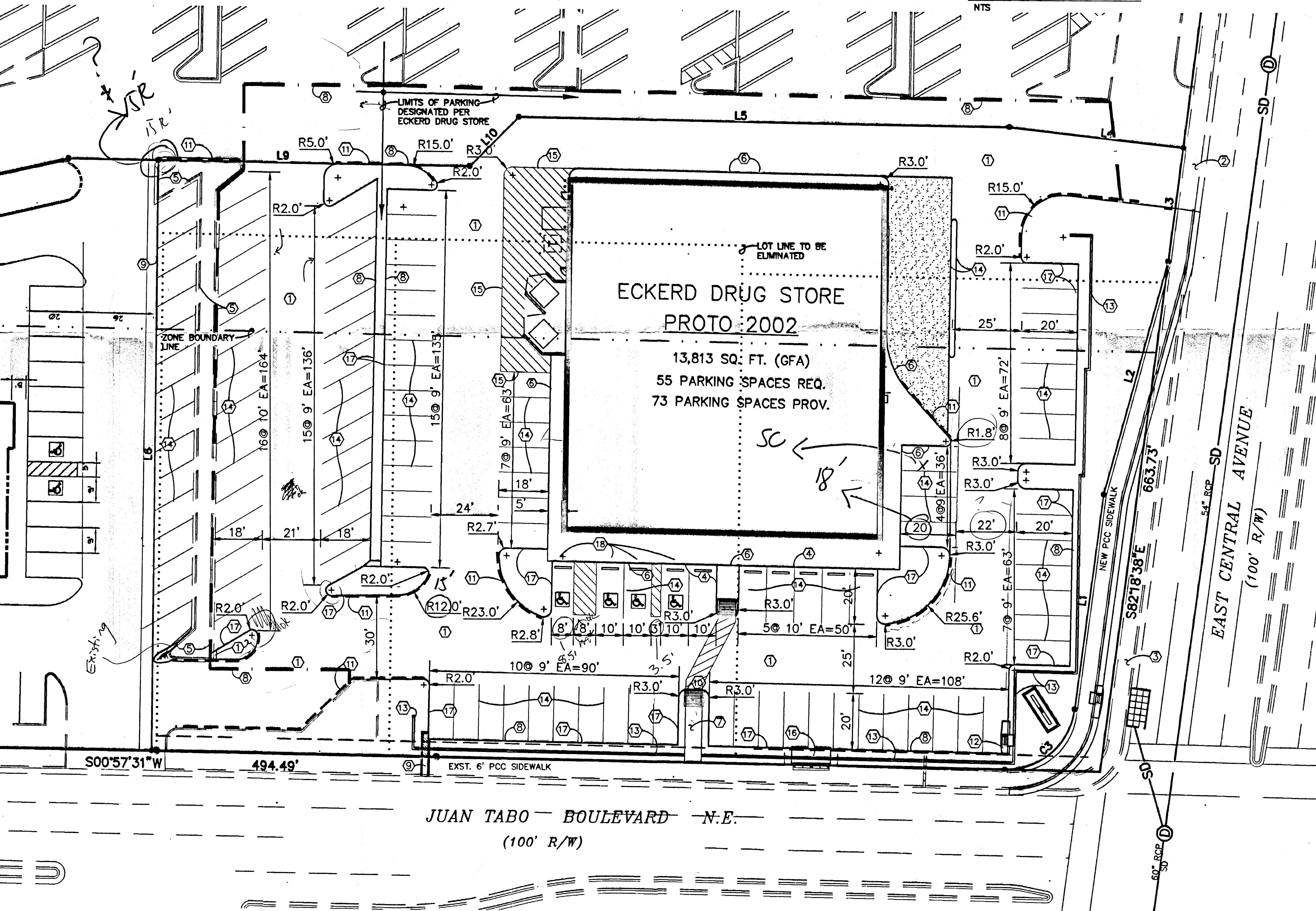
Dwg File Name:

Sheet:

GRADING & DRAINAGE PLAN

C-1-A

CURVE TABLE						
CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C3	25.00	36.33	22.22	33.22	S 40°40'34" E	0.00



- SCALE" 1"=20'

- ① ASPHALT PAVING PER SECTION, THIS SHEET.
REMOVE & DISPOSE OF EXISTING PAVING &
CURB/GUTTER UNLESS OTHERWISE NOTED.
- ② EXISTING 40 LF DRIVE PAD TO REMAIN
- ③ RIGHT TURN LANE PER COA WORK ORDER.
- ④ TOP OF ASPHALT TO MATCH TOP OF PCC SDWK.
GRADE.
- ⑤ PCC CURB/GUTTER TO REMAIN IN PLACE.
- ⑥ MONOLITHIC CURB PLACE W/ PCC SIDEWALK.
- ⑦ 4' WIDE 4" THICK PCC SIDEWALK PER COA STD
DWG #2430
- ⑧ SAW-CUT EXISTING ASPHALT AT LIMITS OF NEW
PAVING.
- ⑨ SEE SHEET C-1 FOR DIMENSIONING.
- ⑩ HANDICAP RAMP SURFACING ON EASTERLY 5'-0"
OF PCC SIDEWALK
- ⑪ CURB PAINTED RED WITH SAFETY WHITE LETTERING
"FIRE LANE—NO PARKING" AT
12'-0" O.C.
- ⑫ STORM INLET, SEE CIVIL DWG. C-1.
- ⑬ SCREEN WALL, SEE ARCH. PLANS.
- ⑭ ④' WIDE PAINTED (SAFETY WHITE) STRIPING.
- ⑮ CONCRETE PAVING LIMITS.
- ⑯ EXISTING BUS STOP SHELTER TO REMAIN MODIFY
AS NECESSARY TO FIT.
- ⑰ MEDIAN PCC CURB & GUTTER PER COA STD DWG
#2415.
- ⑱ SEE ARCHITECTURAL SHEET SP-3, DETAIL 6.
- ⑲ 6' PCC WHEEL STOP (TYP ALONG FRONT OF
BUILDING ONLY)

1. SEE SHEET C-1 FOR CURB & PAVING GRADES.
2. ALL PROPOSED CURB & GUTTER SHALL BE MEDIAN CURB PER COA STD DWG No 2415.

FLOOR AREA: 13,813 SF
REQUIRED PARKING: 55 SPACES
REQUIRED HANDICAP PARKING: 2 SPACES
PROPOSED PARKING: 74 SPACES TOTAL


ECKERD DRUG STORE
110 JUAN TABO NE. (STORE # 5404)
NEC JUAN TABO BLVD. & CENTRAL AVE.
ALBUQUERQUE, NM

DATE	INITIAL	REVIEW
		PLANNING / CIP
		CLIENT / SCHAUM
		BUDGET / PMT
		PERMIT REYS 1
		PERMIT REYS 2
		GENERAL BID
		ADDITION
		CONSTRUCTION
		DO NOT USE DRAWING UNLESS IT IS COMPLETED

Scale: AS SHOWN
 Drawn: THOR
 Checked: FCA
 Drawing Date: 11/12/03
 ARCHICON Job No.: 0203023

TRAFFIC CONTROL LAYOUT

C-3



ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
 128 Monroe Street N.E.
 Albuquerque New Mexico
 1269.1TCLDWGRs 08/27/03

LINE TABLE		
LINE	LENGTH	BEARING
L1	77.52	S82°18'38"E
L2	86.85	N74°22'06"W
L3	40.97	N82°18'38"W
L4	63.08	S06°25'35"W
L5	176.89	S00°48'26"W
L6	210.67	N89°17'24"W
L9	144.76	S00°39'13"W
L10	25.10	S45°00'00"E

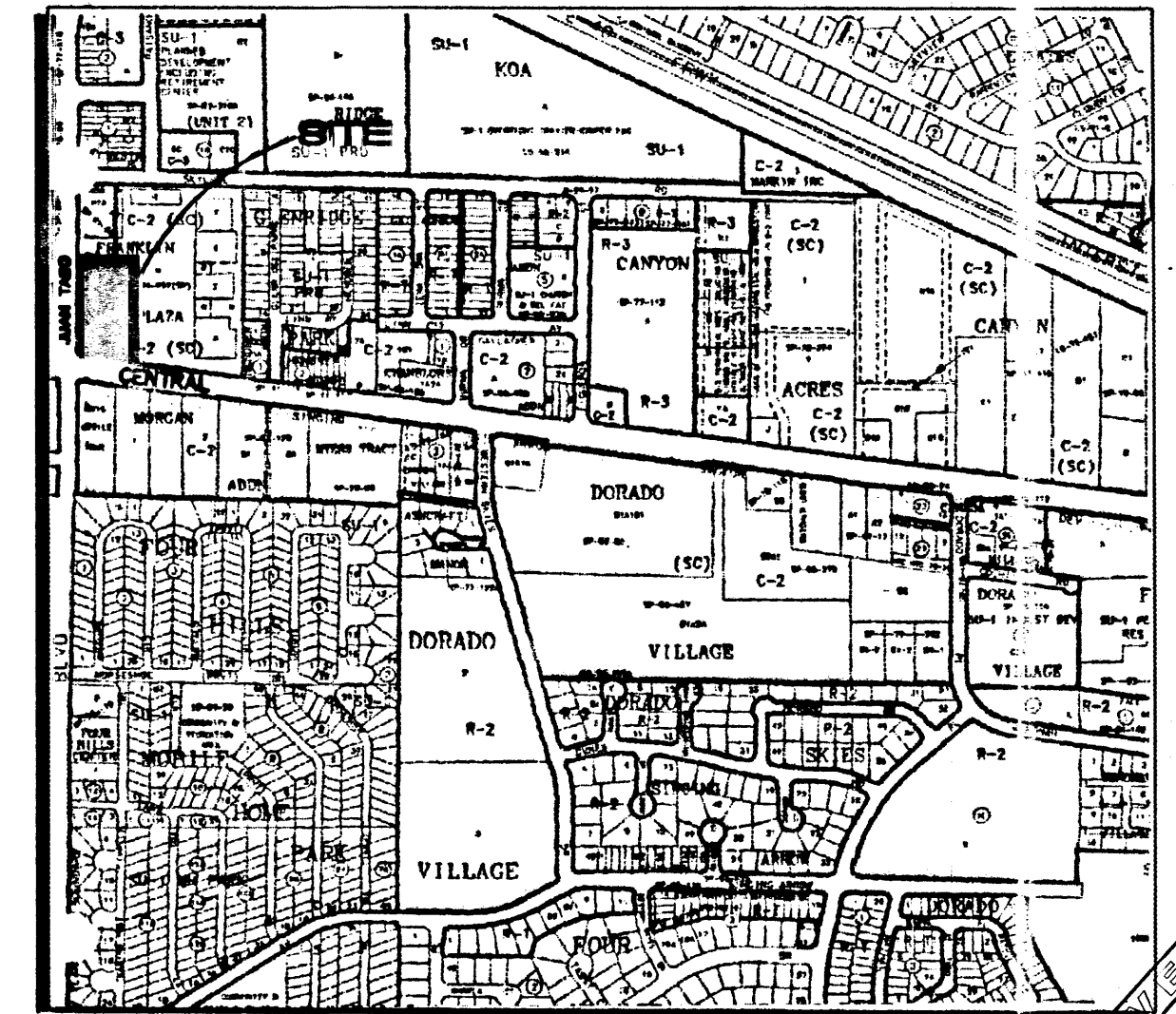
CURVE TABLE					
CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING
C3	25.00	36.33	22.22	33.22	S 40°40'34" E
					DELTA
					0.00

LEGEND

---	EXISTING CONTOUR	---	PROPOSED FLOODWALL
---	PROPOSED CONTOUR	---	PROPOSED STORM DRAIN INLET
78.3	PROPOSED SPOT ELEVATION	---	FLOWLINE ELEVATION
---	FLOW ARROW	---	STORM DRAIN MANHOLE
FF = 6581.0	FINISH FLOOR ELEVATION	---	LIMITS OF PAVING REMOVE & REPLACEMENT
---	SIDEWALK CULVERT	---	PROPOSED MEDIAN CURB & GUTTER
---	VACATED LOT LINE	---	PROPOSED WALL
TC 81.9 FL 81.4	TOP OF CURB FLOWLINE ELEVATION	---	BASIN BOUNDARY
---	PROPOSED LOT LINE	---	BASIN ID

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985, UPDATE No. 7 (SEPT, 2003).
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACK FILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.



VICINITY MAP

LEGAL DESCRIPTION: LOTS N&P, FRANKLIN PLAZA (07-12-79, B16-15-3)
AREA: 1.7801 Ac. (77.543 SF)
FLOODPLAIN DESIGNATION: NO PORTION OF THIS SITE LIES WITHIN A FLOODPLAIN AS DESIGNATION ON PANEL 359 OF 825 OF THE FEMA FLOOD INSURANCE RATE MAP DATED SEPTEMBER 20, 1996

EXISTING CONDITIONS: THIS SITE IS A FULLY DEVELOPED FAST FOOD RESTAURANT AND PARKING AREA SUPPORTING THE FRANKLIN PLAZA SHOPPING CENTER AND THE WEINER-SCHNITZEL FACILITY. THE SITE DRAINS WEST AT AN APPROXIMATELY 0.5% SLOPE. OFFSITE FLOWS OF 8.4 CFS FROM THE PARKING LOT TO THE EAST CROSS THE NORTH END OF THE SITE AND JOIN WITH THE 8.8 CFS OF STORM WATER GENERATED ONSITE. A TOTAL OF 15.2 CFS OF STORM WATER FREELY DISCHARGES FROM THE SITE AT ONE OF TWO LOCATIONS: A 4" PVC DRAIN THAT OUTLETS TO JUAN TABO BLVD NEAR THE SOUTH SIDE OF THE PARKING LOT; OR AN EXISTING 36" WIDE DRIVEWAY ENTRANCE ONTO JUAN TABO BLVD ON THE NORTH SIDE OF THE PROPOSED IMPROVEMENTS. ONCE FLOWS ENTER JUAN TABO, THEY ARE DIRECTED NORTH AND CAPTURED BY THE JUAN TABO STORM DRAIN SYSTEM. MINOR FLOWS FROM LANDSCAPING ALONG THE NORTH SIDE OF CENTRAL AVE ENTER THE EXISTING STORM DRAIN IN CENTRAL AVE.

EXISTING HYDROLOGY:
(PER THE METHOD DESCRIBED IN THE C.O.A. D.P.M. SECT. 22.2)
PRECIPITATION ZONE: 3
LAND TREATMENTS: 9% TYPE B
91% TYPE D

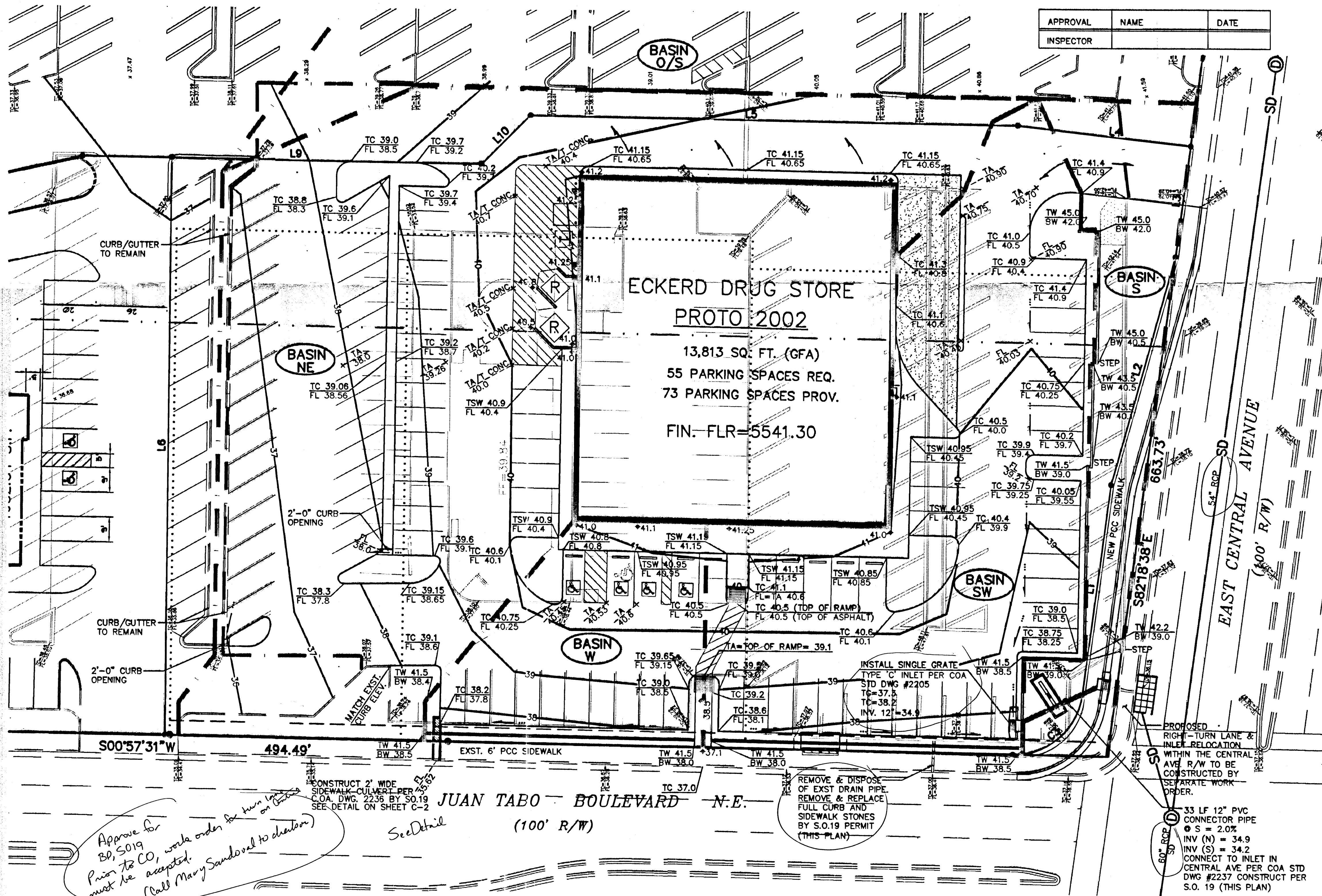
ONSITE BASIN:
AREA = 1.84 AC
 $Q_p = 1.84 [(0.09 \times 2.60) + (0.91 \times 5.02)] = 8.8 \text{ CFS}$
BASIN O/S:
AREA = 1.33 AC
 $Q_p = 1.33 [(0.09 \times 2.60) + (0.91 \times 5.02)] = 6.4 \text{ CFS}$

PROPOSED CONDITIONS: A 13,813 SF FREE-STANDING DRUG STORE AND 74 PARKING SPACES ARE PROPOSED FOR THIS SITE. THE EXISTING WEINER-SCHNITZEL WILL BE DEMOLISHED WITH THIS PROJECT AND RELOCATED TO THE NORTH BY ANOTHER PLAN. EXISTING CURB AND PAVING WILL BE REMOVED AND NEW CURB AND PAVING INSTALLED. FLOWS WILL FOLLOW THE EXISTING DRAINAGE PATTERNS. INCREASED LANDSCAPING AREAS HAS DECREASED THE TOTAL FLOWS FROM THE SITE FROM 15.2 CFS TO 14.9 CFS, SO DOWNSTREAM CAPACITY IS NOT INCREASED.
BASIN S: THIS BASIN CONSISTS OF PROPOSED LANDSCAPE AREAS ALONG THE SOUTH BOUNDARY AND PORTIONS OF THE RIGHT-TURN LANE THAT WILL BE CREATED BY SEPARATE WORK ORDER. 0.5 CFS OF FLOWS FROM THIS BASIN DRAIN SOUTH INTO CENTRAL AVE, WHERE THEY ARE CAPTURED BY THE STORM INLET THAT WILL BE RELOCATED WITH THE RIGHT-TURN LANE PLANS.
BASIN SW: THIS BASIN INCLUDES THE SOUTHERLY PARKING AND PORTIONS OF THE WESTERLY PARKING AREAS. 2.2 CFS OF FLOWS SHEET TO A SINGLE-GRATE TYPE 'C' INLET AT THE SOUTHWEST CORNER OF THE PROPERTY. A 12" PVC PIPE WILL CONNECT THIS INLET TO THE INLET IN CENTRAL AVE. THE EXISTING 4" PVC DRAIN THAT CURRENTLY DISCHARGES WATER TO JUAN TABO WILL BE REMOVED.
BASIN W: THIS BASIN INCLUDES THE REMAINING PORTION OF THE WESTERLY PARKING LOT. A 2" WIDE SIDEWALK CULVERT DISCHARGES 0.7 CFS TO JUAN TABO.
BASIN NE: THIS BASIN INCLUDES THE NORTHERN PARKING AREAS AND THE ENTIRETY OF THE PROPOSED BUILDING. (ALL ROOF FLOWS DISCHARGE TO THE REAR OF THE BUILDING). 5.1 CFS OF FLOWS SHEET NORTH AND WEST TO THE EXISTING DRIVEWAY ENTRANCE, AND DISCHARGE TO JUAN TABO. THE 6.4 CFS OF OFFSITE FLOWS FROM BASIN O/S ENTER THIS BASIN FROM THE EAST AND ARE ADDED TO THE PROPOSED FLOWS.

PROPOSED HYDROLOGY:
BASIN S:
LAND TREATMENTS: 71.5% TYPE B
28.5% TYPE D
AREA = 0.15 AC
 $Q_p = 0.15 [(0.715 \times 2.60) + (0.285 \times 5.02)] = 0.5 \text{ CFS}$
BASIN SW:
LAND TREATMENTS: 8% TYPE B
92% TYPE D
AREA = 0.46 AC
 $Q_p = 0.46 [(0.08 \times 2.60) + (0.92 \times 5.02)] = 2.2 \text{ CFS}$
BASIN W:
LAND TREATMENTS: 5% TYPE B
95% TYPE D
AREA = 1.15 AC
 $Q_p = 0.15 [(0.5 \times 2.60) + (0.95 \times 5.02)] = 0.7 \text{ CFS}$
BASIN NE:
LAND TREATMENTS: 12% TYPE B
88% TYPE D
AREA = 1.08 AC
 $Q_p = 1.08 [(0.12 \times 2.60) + (0.88 \times 5.02)] = 5.1 \text{ CFS}$

Why did these values change?

APPROVAL	NAME	DATE
INSPECTOR		



Approve for 30, 5019
Prior to CO, work order for turn in must be accepted.
(Call Mary Sandoval to check)

See Detail

REMOVE & DISPOSE OF EXIST DRAIN PIPE. REMOVE & REPLACE FULL CURB AND SIDEWALK STONES BY S.O.19 PERMIT (THIS PLAN)

PROPOSED RIGHT-TURN LANE & INLET RELOCATION WITHIN THE CENTRAL AVE R/W TO BE CONSTRUCTED BY SEPARATE WORK ORDER.
33 LF 12" PVC CONNECTOR PIPE
 $\phi S = 2.02$
INV (N) = 34.9
INV (S) = 34.2
CONNECT TO INLET IN CENTRAL AVE PER COA STD DWG #2237 CONSTRUCT PER S.O. 19 (THIS PLAN)

SCALE 1" = 20'

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87102
(505) 223-4086
FAX (505) 279-4086
www.isaacson.com

ECKERD DRUG STORE
110 JUAN TABO NE. (STORE # 5404)
NEC JUAN TABO BLVD. & CENTRAL AVE.
ALBUQUERQUE, NM

GRADING & DRAINAGE PLAN

C-1

L-22/D11B

LINE TABLE		
LINE	LENGTH	BEARING
L1	77.52	S82°18'38"E
L2	86.85	N74°22'06"W
L3	40.97	N82°18'38"W
L4	63.08	S06°25'35"W
L5	176.89	S00°48'26"W
L6	210.67	N89°17'24"W
L9	144.76	S00°39'13"W
L10	25.10	S45°00'00"E

CURVE TABLE					
CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING
C3	25.00	36.33	22.22	33.22	S 40°40'34" E
					0.00

PARKING STALL

1 1/2" RESIDENTIAL
ASPHALT-1500# STAB.
TYPE B GRADATION

12" SUBGRADE SOIL,
R-VALUE >50
COMPACTED TO 95%

SUBGRADE COMPACTED
TO 90%

ACCESS ISLES

2" RESIDENTIAL
ASPHALT-1500# STAB.
TYPE B GRADATION

2" RESIDENTIAL
ASPHALT-1500# STAB.
TYPE A GRADATION

12" SUBGRADE SOIL,
R-VALUE >50
COMPACTED TO 95%

ASPHALT PAVING SECTIONS

NTS

SEE SITE
PLAN FOR
CONSTRUCTION
JOINT
PATTERN.

4" PCC W/ 6x6
W6xW6 WWF

8" A.G.G.
BASE COURSE

12" SUBGRADE SOIL
COMPACTED TO 95%

SUBGRADE COMPACTED
TO 90%

CONCRETE PAVING SECTION

NTS

LEGEND

- | | |
|--------------------------|-------------------------------|
| — CURB AND GUTTER | △ TRAFFIC LIGHT |
| ▨ CONCRETE/SIDEWALK | □ TRAFFIC OR ELECTRIC PULLBOX |
| — WALL OR HEAD WALL | ■ ELECTRICAL OUTLET |
| — GUARDRAIL | ⊠ ELECTRIC TRANSFORMER |
| — CHAINLINK FENCE | ⊙ TELEPHONE PEDESTAL |
| • BOLLARD | ⊙ GAS METER |
| • SIGN | ⊙ DROP INLETS |
| • TREE | ⊙ HANDICAPPED PARKING |
| • SANITARY SEWER MANHOLE | • CLEANOUT |
| • WATER VALVE | LS LANDSCAPING |
| • FIRE HYDRANT | WC WHEELCHAIR RAMP |
| • WATER METER | SB SPEED BUMP |
| • SPRINKLER CONTROL | ⊙ CABLE PEDESTAL |
| • LOT LIGHT | — WATER LINE |
| • YARD LIGHT | — STORM DRAIN LINE |
| | — SANITARY SEWER LINE |

SCALE 1"=20'

20 15 10 5 0 20 40 FEET

KEYED CONSTRUCTION NOTES

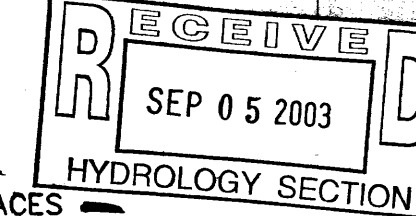
- ASPHALT PAVING PER SECTION, THIS SHEET. REMOVE & DISPOSE OF EXISTING PAVING & CURB/GUTTER UNLESS OTHERWISE NOTED.
- EXISTING 40 LF DRIVE PAD TO REMAIN
- RIGHT TURN LANE PER COA WORK ORDER N6.00000000
- TOP OF ASPHALT TO MATCH TOP OF PCC SIDEWALK GRADE.
- PCC CURB/GUTTER TO REMAIN IN PLACE.
- MONOLITHIC CURB PLACE W/ PCC SIDEWALK.
- 4" WIDE 4" THICK PCC SIDEWALK PER COA STD DWG #2430
- SAW-CUT EXISTING ASPHALT AT LIMITS OF NEW PAVING.
- NOT USED
- HANDICAP RAMP SURFACING ON EASTERLY 5'-0" OF PCC SIDEWALK
- CURB PAINTED RED WITH SAFETY WHITE LETTERING "FIRE LANE-NO PARKING" AT 12'-0" O.C.
- STORM INLET, SEE CIVIL DWG. C-1.
- SCREEN WALL, SEE ARCH. PLANS.
- 4' WIDE PAINTED (SAFETY WHITE) STRIPING.
- CONCRETE PAVING LIMITS.
- EXISTING BUS STOP SHELTER TO REMAIN.
- MEDIAN PCC CURB & GUTTER PER COA STD DWG #2415.
- SEE ARCHITECTURAL SHEET SP-3, DETAIL 6.
- 6' PCC WHEEL STOP (TYP ALONG FRONT OF BUILDING ONLY)

GENERAL NOTES

- SEE SHEET C-1 FOR CURB & PAVING GRADES.
- ALL PROPOSED CURB & GUTTER SHALL BE MEDIAN CURB PER COA STD DWG No 2415.

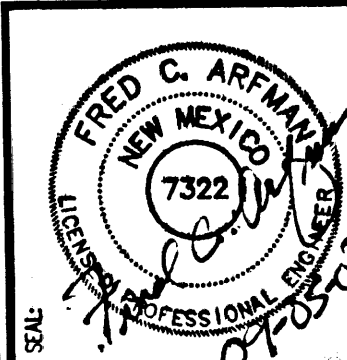
PARKING INFORMATION

FLOOR AREA: 13,813 SF
REQUIRED PARKING: 55 SPACES
REQUIRED HANDICAP PARKING: 2 SPACES
PROPOSED PARKING: 74 SPACES TOTAL



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1269.1TCLDWG

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REVISION	DATE	BY	CHKD
1			
2			
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ECKERD DRUG STORE
JUAN TABO BLVD. & CENTRAL AVE.
ALBUQUERQUE, NM

REVIEW	DATE	INITIAL
DESIGNED		
CHECKED		
PERMIT		
SEAL		
APPROVED		
CONSTRUCTION		

Scale: Drawn: JTS
Checked: FCA
Drawing Start Date: 2/4/03
ARCHICON Job No.: 0310183-01
Dwg File Name:

Sheet:

TRAFFIC
CONTROL
LAYOUT

C-3

LINE TABLE				
LINE	LENGTH	BEARING		
L1	77.52	S82°18'38"E		
L2	86.85	N74°22'06"W		
L3	40.97	N82°18'38"W		
L4	63.08	S06°25'35"W		
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CURVE TABLE						
CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C3	25.00	36.33	22.22	33.22	S 40°40'34" E	0.00

LEGEND

---	EXISTING CONTOUR	---	PROPOSED FLOODWALL
---	PROPOSED CONTOUR	②	AREA DRAIN
◆ 78.3	PROPOSED SPOT ELEVATION	INV=72.5	INVERT ELEVATION
→	FLOW ARROW	---	DRAIN LINE WITH SIZE
FF = 6881.0	FINISH FLOOR ELEVATION	---	STORM DRAIN MANHOLE
---	SIDEWALK CULVERT	---	LIMITS OF PAVING REMOVE & REPLACEMENT
.....	VACATED LOT LINE	---	
TC 81.9 FL 81.4	TOP OF CURB ELEVATION	---	
---	FLOWLINE	---	

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 2005.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACK FILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL	NAME	DATE
INSPECTOR		

