

# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

March 4, 2004

Genevieve Donart, P.E.  
Isaacson & Arfman, P.A.  
128 Monroe St. NE  
Albuquerque, NM 87108

Re: Wienerschnitzel at Central and Juan Tabo, 110 Juan Tabo Blvd. NE,  
Traffic Circulation Layout  
Engineer's Stamp dated 2-19-04 (L22/D11C)

Dear Ms. Donart,

The TCL submittal received 2-17-04 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro  
Engineering Associate, Planning Dept.  
Development and Building Services

cc: file

# RESUBMITTAL

# L-22/D11C

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: Wienerschnitzel at Central & Juan Tabo  
DRB #: \_\_\_\_\_ EPC #: \_\_\_\_\_

ZONE MAP / DRG. FILE #: L-22/  
WORK ORDER #: \_\_\_\_\_

LEGAL DESCRIPTION: Lot M, Franklin Plaza  
CITY ADDRESS: 110 Juan Tabo Blvd NE

ENGINEERING FIRM: Isaacson & Arfman P.A.  
ADDRESS: 128 Monroe St. NE  
CITY, STATE: Albuquerque, NM

CONTACT: Genny Donart  
PHONE: 268-8828  
ZIP CODE: 87108

OWNER: Wienerschnitzel c/o Tricor SW Corp  
ADDRESS: 6210 E Thomas Rd Ste 204  
CITY, STATE: Scottsdale, AZ

CONTACT: Chad Hagle  
PHONE: (480) 945-5500  
ZIP CODE: 85251

ARCHITECT: Fred Fiedler & Assoc  
ADDRESS: 2232 W. Third St  
CITY, STATE: Los Angeles, CA

CONTACT: Pam Slack  
PHONE: \_\_\_\_\_  
ZIP CODE: 90057

SURVEYOR: Aldrich Land Surveying  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: Tim Aldrich  
PHONE: 884-1990  
ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

### CHECK TYPE OF SUBMITTAL:

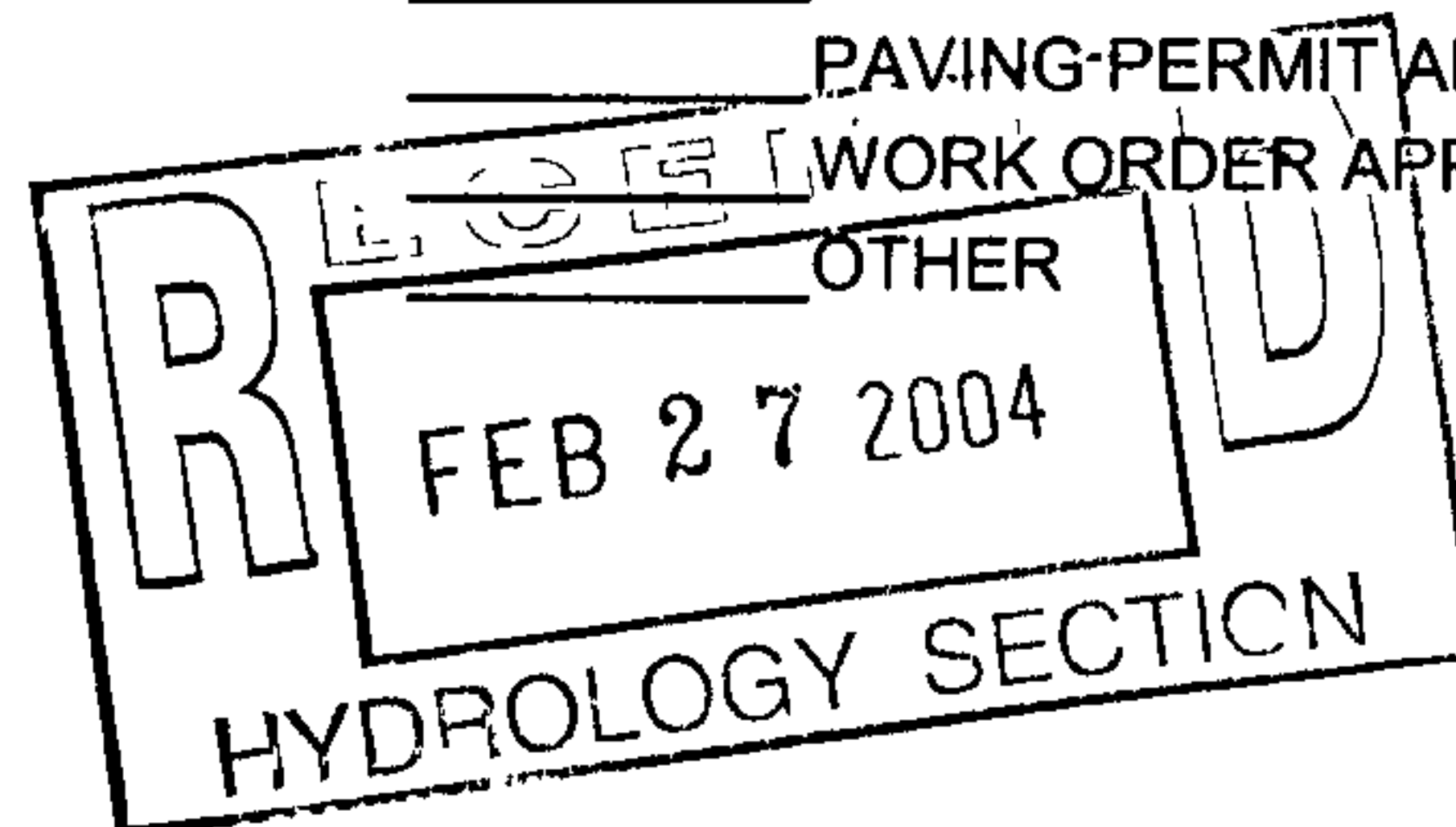
- ☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1<sup>ST</sup> *REQUIRES TCL or equal*  
☒ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL GRADING & DRAINAGE PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)  
☐ CLOMR / LOMR  
☒ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ ENGINEER'S CERTIFICATION (TCL)  
☐ ENGINEER'S CERTIFICATION (DRB APPR, SITE PLAN)  
☐ OTHER

### CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. PLAN FOR BLDG. PERMIT APPR.  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY (PERM)  
☐ CERTIFICATE OF OCCUPANCY (TEMP)  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ OTHER

### WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES  
☐ NO  
☐ COPY PROVIDED



DATE SUBMITTED: Friday, February 27, 2004 BY: Isaacson & Arfman, P.A.

Requests for approvals of Site Development Plans and / or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five acres and Sector Plans
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five acres
3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five acres or more.



# City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

ALBUQUERQUE, NEW MEXICO

February 6, 2004

Genevieve Donart, P.E.  
Isaacson & Arfman, P.A.  
128 Monroe St. NE  
Albuquerque, NM 87108

Re: Wienerschnitzel at Central and Juan Tabo, 110 Juan Tabo Blvd. NE,  
Traffic Circulation Layout  
Engineer's Stamp dated 2-05-04 (L22/D11C)

Dear Ms. Donart,

The TCL submittal received 2-04-04 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro  
Engineering Associate, Planning Dept.  
Development and Building Services

cc: file

L-2 / DIIC

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: Wienerschnitzel at Central & Juan Tabo  
DRB #: \_\_\_\_\_ EPC #: \_\_\_\_\_

ZONE MAP / DRG. FILE #: L-22/  
WORK ORDER #: \_\_\_\_\_

LEGAL DESCRIPTION: Lot M, Franklin Plaza

CITY ADDRESS: 110 Juan Tabo Blvd NE

ENGINEERING FIRM: Isaacson & Arfman Engineering, Assoc.  
ADDRESS: 128 Monroe St. NE  
CITY, STATE: Albuquerque, NM

CONTACT: Genny Donart  
PHONE: 268-8828  
ZIP CODE: 87108

OWNER: Wienerschnitzel c/o Tricor SW Corp  
ADDRESS: 6210 E Thomas Rd Ste 204  
CITY, STATE: Scottsdale, AZ

CONTACT: Chad Hagle  
PHONE: (480) 945-5500  
ZIP CODE: 85251

ARCHITECT: Fred Fiedler & Assoc  
ADDRESS: 2232 W. Third St  
CITY, STATE: Los Angeles, CA

CONTACT: Pam Slack  
PHONE: \_\_\_\_\_  
ZIP CODE: 90057

SURVEYOR: Aldrich Land Surveying  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: Tim Aldrich  
PHONE: 884-1990  
ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1<sup>ST</sup> *REQUIRES TCL or equal*  
☒ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL GRADING & DRAINAGE PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)  
☐ CLOMR / LOMR  
☒ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ ENGINEER'S CERTIFICATION (TCL)  
☐ ENGINEER'S CERTIFICATION (DRB APPR, SITE PLAN)  
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

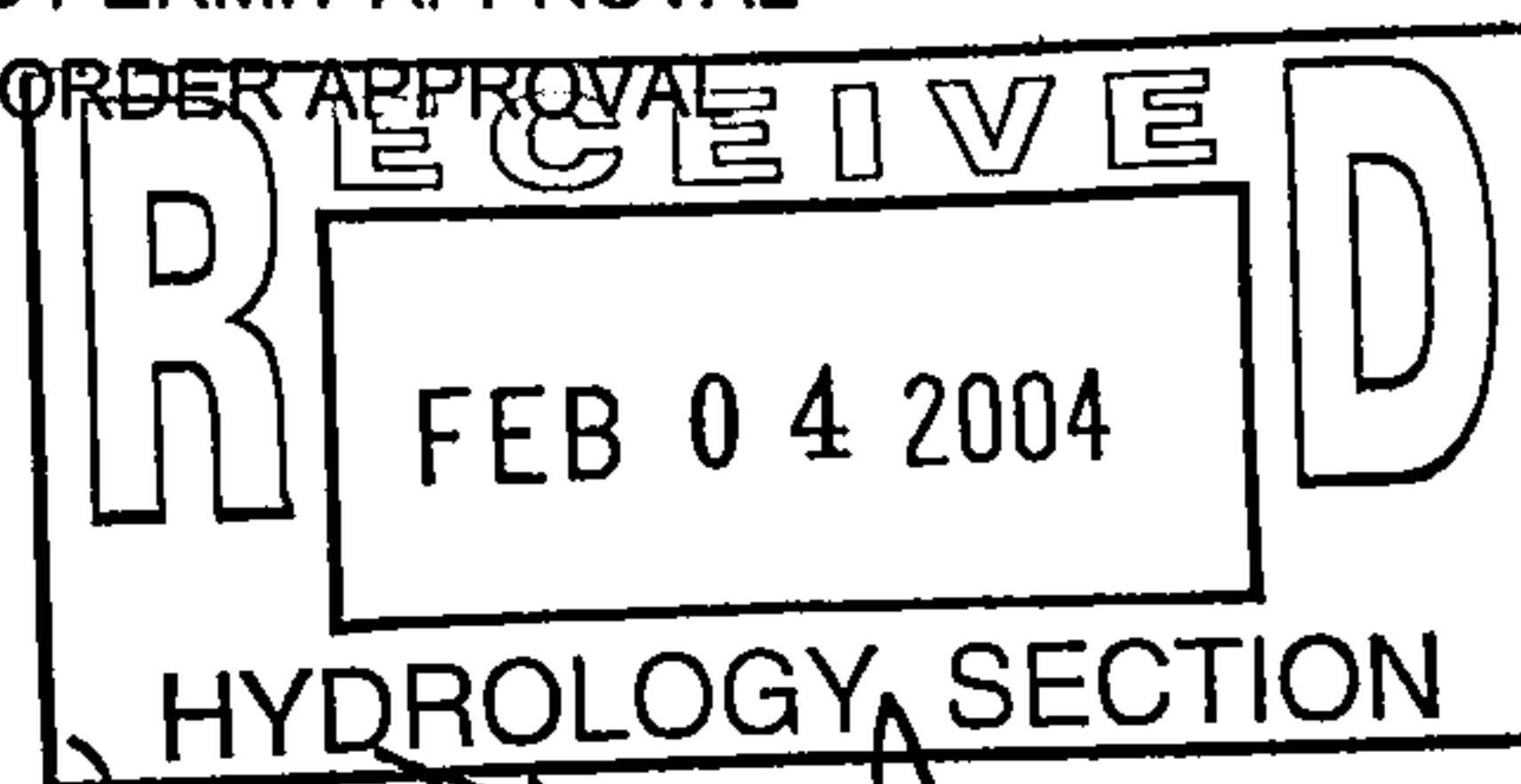
- ☐ SIA / FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. PLAN FOR BLDG. PERMIT APPR.  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION-PERMIT-APPROVAL  
☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY (PERM)  
☐ CERTIFICATE OF OCCUPANCY (TEMP)  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ OTHER

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES  
☐ NO  
☐ COPY PROVIDED

DATE SUBMITTED: Wednesday, February 04, 2004

BY: Isaacson & Arfman, P.A.



Requests for approvals of Site Development Plans and / or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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# L-22/DIIC

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: Wienerschnitzel at Central & Juan Tabo

ZONE MAP / DRG. FILE #: L-22/

DRB #: \_\_\_\_\_ EPC #: \_\_\_\_\_

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LEGAL DESCRIPTION: Lot M, Franklin Plaza

CITY ADDRESS: 110 Juan Tabo Blvd NE

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ADDRESS: 128 Monroe St. NE

CITY, STATE: Albuquerque, NM

CONTACT: Genny Donart

PHONE: 268-8828

ZIP CODE: 87108

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PHONE: \_\_\_\_\_

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SURVEYOR: Aldrich Land Surveying

ADDRESS: \_\_\_\_\_

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CONTACT: Tim Aldrich

PHONE: 884-1990

ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_

PHONE: \_\_\_\_\_

ZIP CODE: \_\_\_\_\_

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☐ DRAINAGE PLAN 1<sup>ST</sup> *REQUIRES TCL or equal*

☒ DRAINAGE PLAN RESUBMITTAL

☐ CONCEPTUAL GRADING & DRAINAGE PLAN

☐ GRADING PLAN

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☐ ENGINEER'S CERTIFICATION (HYDROLOGY)

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☒ TRAFFIC CIRCULATION LAYOUT (TCL)

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☐ SECTOR PLAN APPROVAL

☐ FINAL PLAT APPROVAL

☐ FOUNDATION PERMIT APPROVAL

☒ BUILDING PERMIT APPROVAL

☐ CERTIFICATE OF OCCUPANCY (PERM)

☐ CERTIFICATE OF OCCUPANCY (TEMP)

☐ GRADING PERMIT APPROVAL

☐ PAVING PERMIT APPROVAL

☐ WORK ORDER APPROVAL

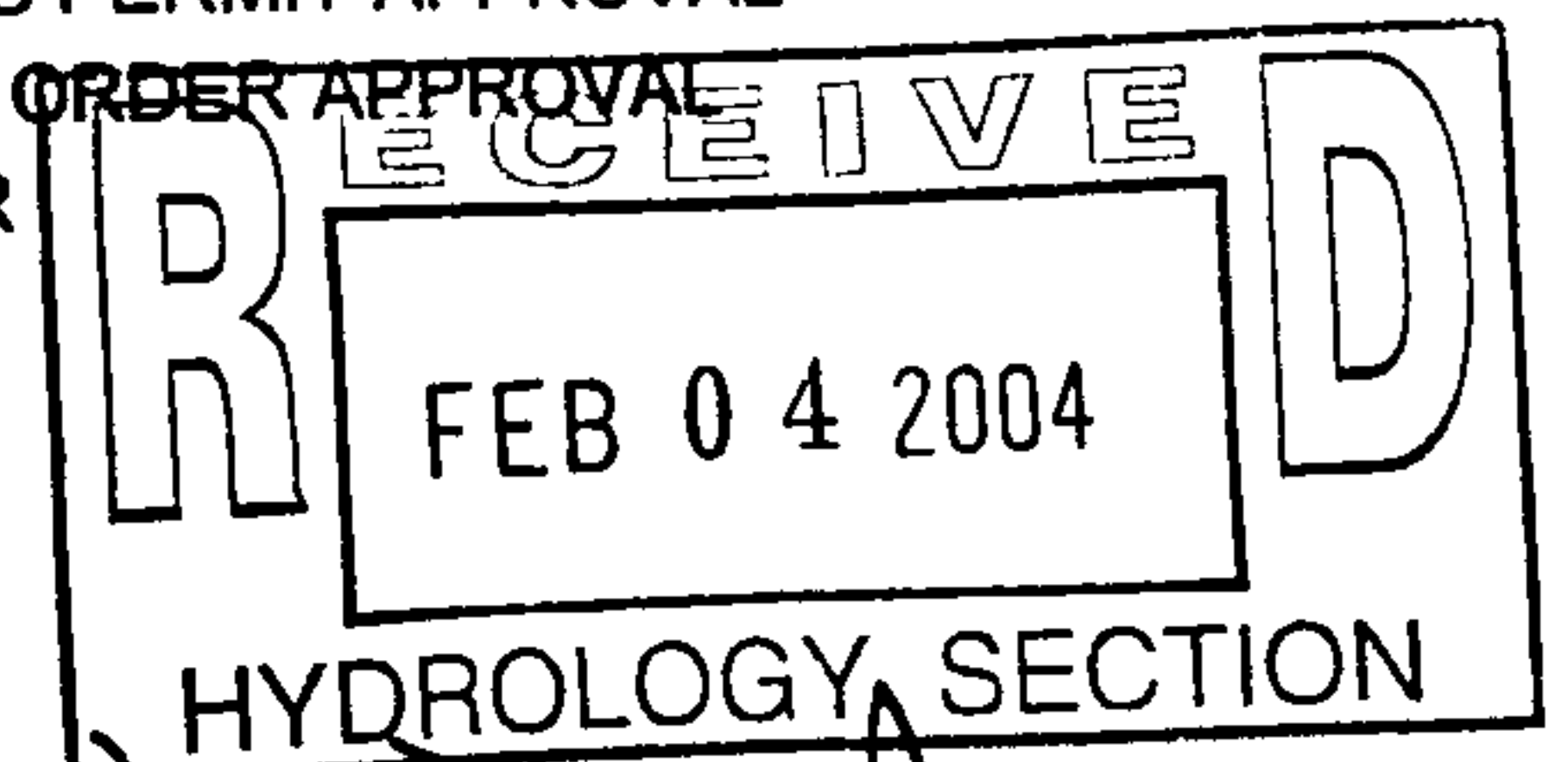
☐ OTHER

### WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES

☐ NO

☐ COPY PROVIDED



DATE SUBMITTED: Wednesday, February 04, 2004

BY: Isaacson & Arfman, P.A.

Requests for approvals of Site Development Plans and / or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

February 5, 2004

Genevieve Donart, P.E.  
Isaacson & Arfman, P.A.  
128 Monroe St. NE  
Albuquerque, NM 87108

**Re: Weinerschnitzel, 110 Juan Tabo Blvd. NE, Building Permit Fee (L22/D11C)**

Dear Ms. Donart,

On February 4, 2004, your firm paid a \$50 application fee for the above referenced site. Since your original submittal was received before January 1, 2004, this fee should not have been charged. Therefore, your firm now has a \$50 credit to be applied to your next submittal. Please bring a copy of this letter to your next submittal to avoid confusion.

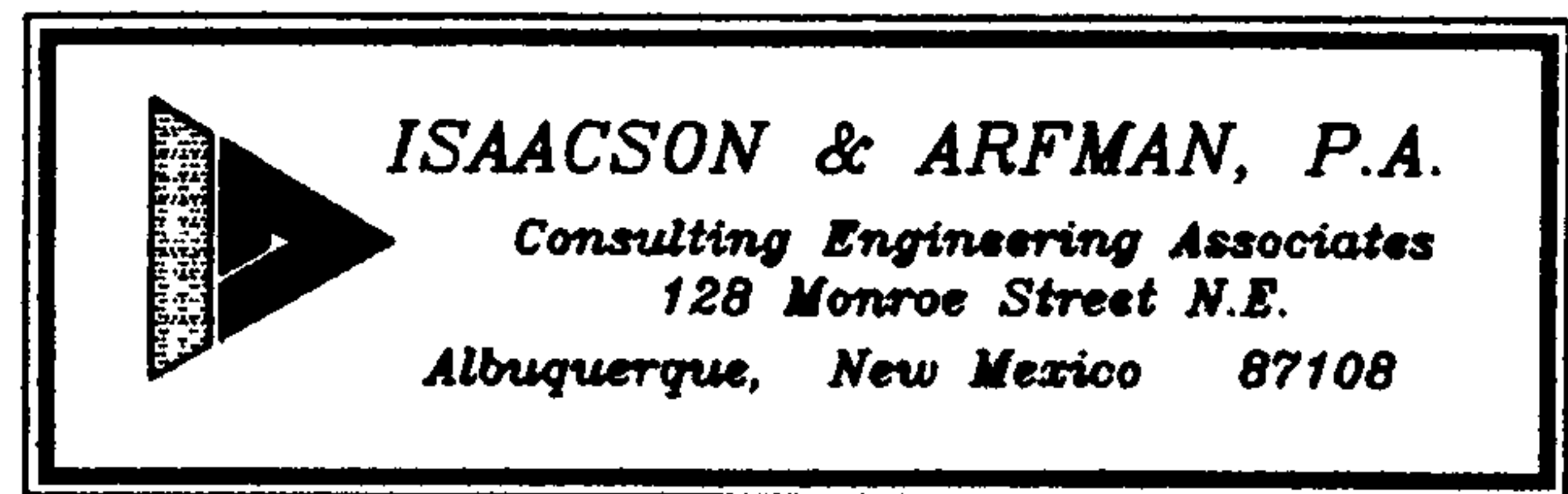
If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro  
Engineering Associate, Planning Dept.  
Development and Building Services

C: file

# Letter of Transmittal



To: COA  
PLAZA DEL SOL

Date: 2/4/04  
Job No. 1294

Attn: HYDROLOGY / TCL REVIEWERS

Reference: WIENERSCHNITZEL

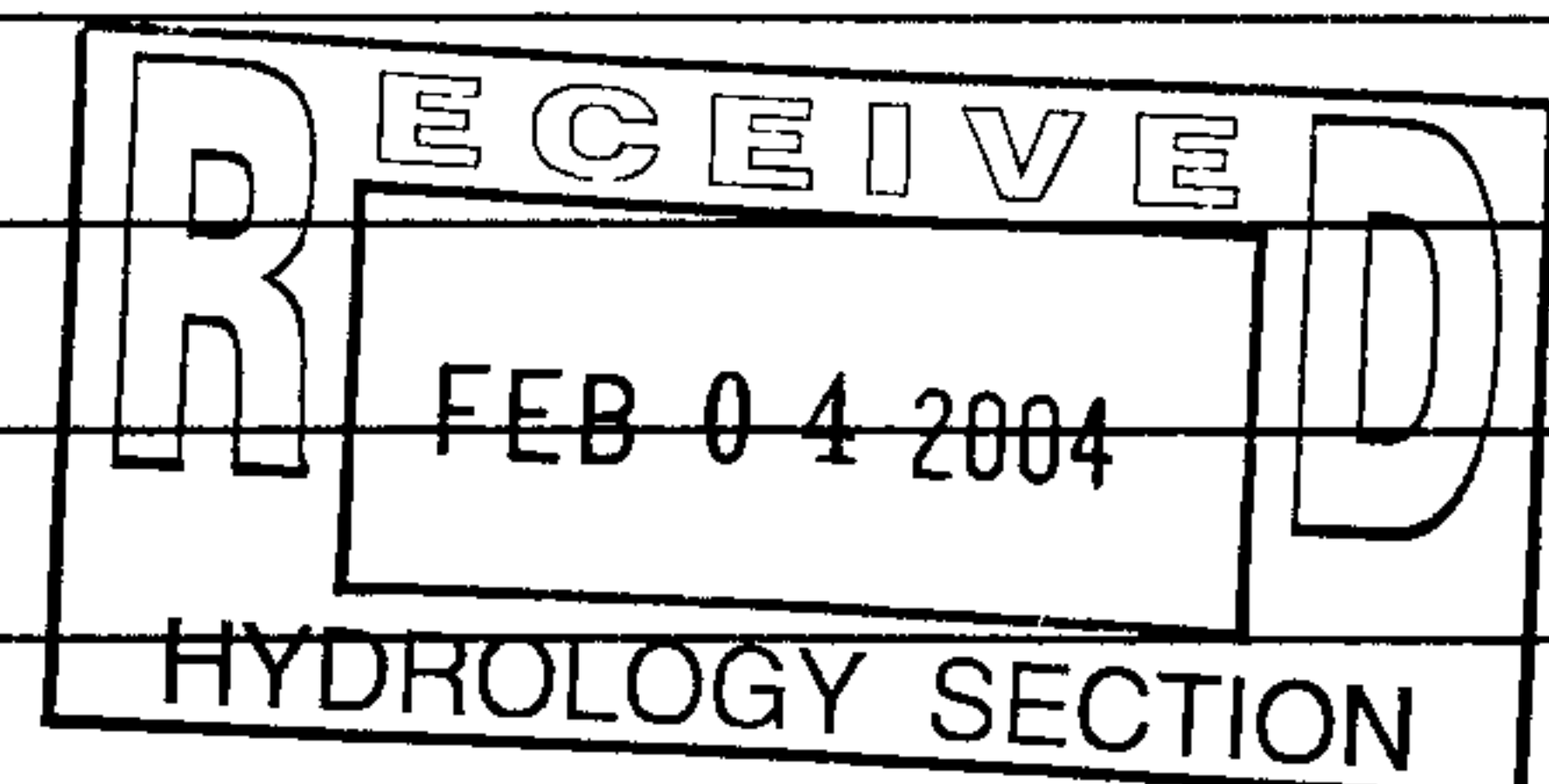
We transmit to you 1 copy(ies) of the following:

- |  |  |   |
|--|--|---|
| <input type="checkbox"/> Revised             | Plats  | <input type="checkbox"/> Specifications |
| <input checked="" type="checkbox"/> G+D, TCL | Plans  | <input type="checkbox"/> Submittals     |
| <input type="checkbox"/>                     | Disks  | <input type="checkbox"/> Shop Drawings  |
| <input type="checkbox"/>                     | Report   | <input type="checkbox"/> Copy of Letter |
| <input checked="" type="checkbox"/>          | <u>CROSS-LOT EASEMENT FOR FRANKLIN PLAZA (FOR TCL)</u> |   |
| <input type="checkbox"/>                     |  |   |

This information is transmitted:

- |  |   |
|--|---|
| <input type="checkbox"/> As per your request                   | <input type="checkbox"/> For your files           |
| <input checked="" type="checkbox"/> For your review & approval | <input type="checkbox"/> For your use             |
| <input type="checkbox"/> For your information                  | <input type="checkbox"/> Please review & return   |
| <input type="checkbox"/> For your attention                    | <input type="checkbox"/> For return to your files |
| <input type="checkbox"/> For your signature                    | <input type="checkbox"/> Please advise            |
| <input type="checkbox"/>                                       |   |
| <input type="checkbox"/>                                       |   |

Remarks: \_\_\_\_\_



By: GENNY DONART

Copies to: \_\_\_\_\_



# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

March 4, 2004

Genevieve Donart, P.E.  
Isaacson & Arfman, P.A.  
128 Monroe St. NE  
Albuquerque, NM 87108

**Re: Weinerschnitzel, 110 Juan Tabo Blvd. NE, Grading and Drainage Plan  
Engineer's Stamp dated 2-19-04 (L22/D11C)**

Dear Ms. Donart,

Based upon the information provided in your submittal received 2-27-04, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro  
Engineering Associate, Planning Dept.  
Development and Building Services

*Bub*

C: file



# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

December 5, 2003

Genevieve Donart, P.E.  
Isaacson & Arfman, P.A.  
128 Monroe St. NE  
Albuquerque, NM 87108

**Re: Weinerschnitzel, 110 Juan Tabo Blvd. NE, Grading and Drainage Plan  
Engineer's Stamp dated 11-07-03 (L22/D11C)**

Dear Ms. Donart,

Based upon the information provided in your submittal received 11-07-03, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro  
Engineering Associate, Planning Dept.  
Development and Building Services

*BLB*

C: file

INGRESS AND EGRESS EASEMENT AGREEMENT

THIS AGREEMENT is made this 26th day of March, 1981, by and between MARTIN B. WEINBERG, a married man, individually, and MARTIN B. WEINBERG, Trustee under Declaration of Trust dated May 10, 1978 as Trustee for Edith L. Rehnborg, collectively hereinafter referred to as "Grantor," and SAFEWAY STORES, INCORPORATED, a Maryland corporation, hereinafter referred to as "Grantee."

W I T N E S S E T H:

WHEREAS, Grantor is the owner of certain real property situate in the City of Albuquerque, County of Bernalillo, State of New Mexico, described in Exhibit "A" attached hereto and made a part hereof, which property is hereinafter referred to as Parcel I; and

WHEREAS, Grantor is the owner of certain real property situate in the City of Albuquerque, County of Bernalillo, State of New Mexico, described in Exhibit "B" attached hereto and made a part hereof, which property is hereinafter referred to as Parcel II; and

WHEREAS, Grantee is leasing a portion of Parcel I from Grantor pursuant to Shopping Center Lease dated December 29, 1972, as from time to time modified; and

WHEREAS, Grantee is, or is about to, ground lease Parcel II from Grantor and may be developing said Parcel II as additional parking for its tenants, customers, employees and invitees; and

WHEREAS, it is the desire of the parties hereto that Grantor grant to Grantee, its tenants, customers, employees and invitees, non-exclusive rights of vehicular and pedestrian ingress and egress over the driveways of Parcel I, as such driveways may from time to time exist, to Parcel II.

NOW, THEREFORE, in consideration of the mutual covenants and agreements herein contained and in further consideration of the payment by Grantee to Grantor of the sum of \$10.00, the receipt and sufficiency of which is hereby acknowledged, and for other good and valuable consideration, the parties hereto do hereby covenant and agree to and with each other as follows:

FIRST: Grantor does hereby grant, bargain, sell, convey, transfer and deliver to Grantee, its tenants, customers, employees and invitees, a non-exclusive vehicular and pedestrian ingress and egress easement and right-of-way over the drive aisles of Parcel I, as they may from time to time exist, for the benefit of ingress and egress to Parcel II.

SECOND: The easement rights granted to Grantee herein shall continue until such time as Grantee no longer has an interest in Parcel II as either owner or tenant thereof.

THIRD: Nothing herein contained shall be deemed to give Grantee any interest in any award or payment to Grantor in connection with any exercise of eminent domain or transfer, in lieu thereof, affecting said easement area or to give the public or any governmental party any rights in said easement area. This, however, does not affect any such rights Grantee may have by virtue of its lease agreements with Grantor.

Store No. 950 Div. El Paso  
 Location Albuquerque, New Mexico  
 Document Date March 26, 1981  
 Page 1 of 2 Pages

FOURTH: Each and all of the covenants, terms and agreements of this agreement shall extend to and bind and inure to the benefit of the respective heirs, personal representatives, successors and/or assigns of said parties hereto for so long as this easement agreement remains in effect; herein the singular number includes the plural and one gender includes all other gender.

FIFTH: Grantee does hereby grant, bargain, sell convey, transfer and deliver to Grantor, its tenants, customers, employees and invitees, a non-exclusive vehicular and pedestrian ingress and egress easement and right-of-way over the drive aisles of Parcel II, as they may from time to time exist, for the benefit of ingress and egress to Parcel I.

IN WITNESS WHEREOF, the parties hereto have executed this Ingress and Egress Easement Agreement as of the day and year first above written.

*Martin B. Weinberg* ✓

MARTIN B. WEINBERG

Individually and as Trustee under Declaration of Trust dated May 10, 1978 as Trustee for Edith L. Rehnborg.

(Grantor)

SAFEWAY STORES, INCORPORATED  
(a Maryland corporation)

By *Gary J. Scott*  
Its Assistant Vice President

By *James B. Holden*  
Its Assistant Secretary

(Grantee)



Store No. 950 Div. El Paso  
Location Albuquerque, New Mexico  
Document Date March 26, 1981  
Page 2 of 2 Pages

A certain parcel of land situate in the City Limits of the City of Albuquerque, New Mexico, being identified as Portion of Lots numbered Fourteen (14) through Eighteen (18) of the Morgan Addition to the City of Albuquerque, New Mexico, as the same are shown and designated on the plat of said Addition filed in the office of the County Clerk of Bernalillo County, New Mexico, on January 28, 1928, together with a Portion of Unplatted Land in Section 27, Township 10 North, Range 4 East, New Mexico Principal Meridian, Bernalillo County, New Mexico, and being more particularly described by metes and bounds as follows:

Beginning at the Southeast corner of the parcel herein described, being a point on the Northerly right-of-way line of Central Avenue East, said point being identical to the Southeast corner of Lot numbered Fourteen (14) of the Morgan Addition to the City of Albuquerque, New Mexico, as the same is shown and designated on the plat of said Addition filed in the office of the County Clerk of Bernalillo County, New Mexico, on January 28, 1928; thence,

N 83° 08' 40" W, 485.95 feet distance along the said Northerly right-of-way line of Central Avenue East to a point; thence,

N 00° 10' 40" E, 195.49 feet distance to a point; thence,

N 89° 49' 20" W, 175.00 feet distance to a point on the

Easterly right-of-way line of Juan Tabo Boulevard NE; thence,

N 00° 10' 40" E, 434.46 feet distance along the said Easterly right-of-way line of Juan Tabo Boulevard NE to a point; thence,

S 89° 49' 20" E, 175.00 feet distance to a point; thence,

N 00° 10' 40" E, 100.00 feet distance to a point on the Southerly right-of-way line of Skyline Road NE; thence,

S 89° 24' 50" E, 480.25 feet distance along the said Southerly right-of-way line of Skyline Road NE to the Northeast corner of the parcel herein described, being a point on the Easterly Boundary of Lot 14 of Morgan Addition; thence,

South, 781.80 feet distance to the Southeast corner and place of beginning.

A certain parcel of land situate in Section 27, Township 10 North, Range 4 East, New Mexico Principal Meridian, and being identified as Lot L-1 of the Amended Replat of Lots K, L and Part of Lot M of Franklin Plaza, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof filed in the office of the County Clerk of Bernalillo County, New Mexico, on July 12, 1979, and being more particularly described by metes and bounds as follows:

Beginning at the Southwest corner of the parcel herein described, being a point identical to the Southwest corner of Lot L-1 of the Franklin Plaza, as the same is shown and designated on said filed plat, also being the point of intersection of the Northerly right-of-way line of Central Avenue NE with the Easterly right-of-way line of Juan Tabo Boulevard NE; thence,

N 00° 10' 40" E, 131.52 feet distance along the Easterly right-of-way line of Juan Tabo Boulevard NE to the Northwest corner of the parcel herein described; thence,

East, 175.13 feet distance to the Northeast corner of the parcel herein described; thence,

South, 152.62 feet distance to the Southeast corner of the parcel herein described, being a point on the Northerly right-of-way line of Central Avenue NE; thence,

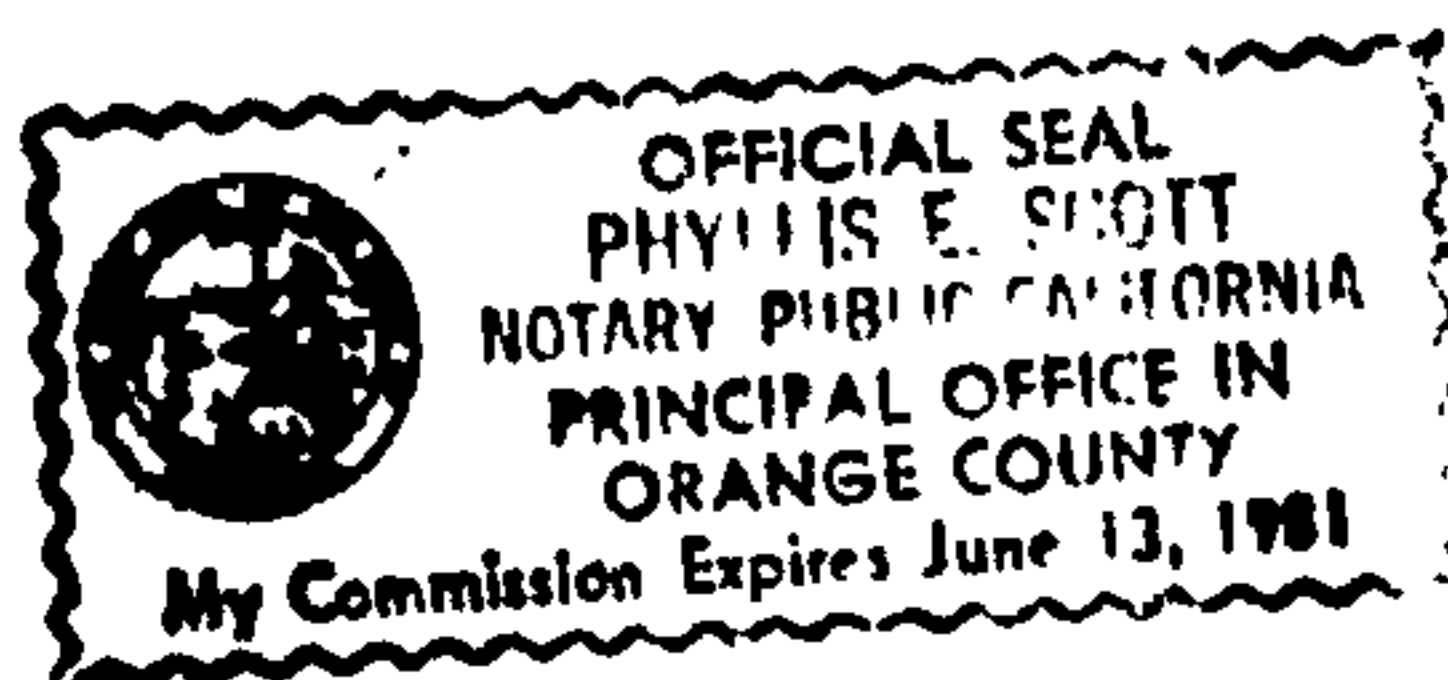
N 83° 08' 40" W, 176.80 feet distance along the Northerly right-of-way line of Central Avenue NE to the place of beginning and containing 0.5719 acre, more or less.

STATE OF California  
COUNTY OF Orange : ss.

On this 21st day of April, 1981, before me personally appeared MARTIN B. WEIMBERG, to me personally known, who being by me duly sworn, did say that he is the individual who signed said instrument, and acknowledged said instrument to be his free act and deed.

WITNESS my hand and seal the day and year first above written.

(Notarial Seal)



Phyllis E. Scott  
NOTARY PUBLIC

Orange County,  
State of California

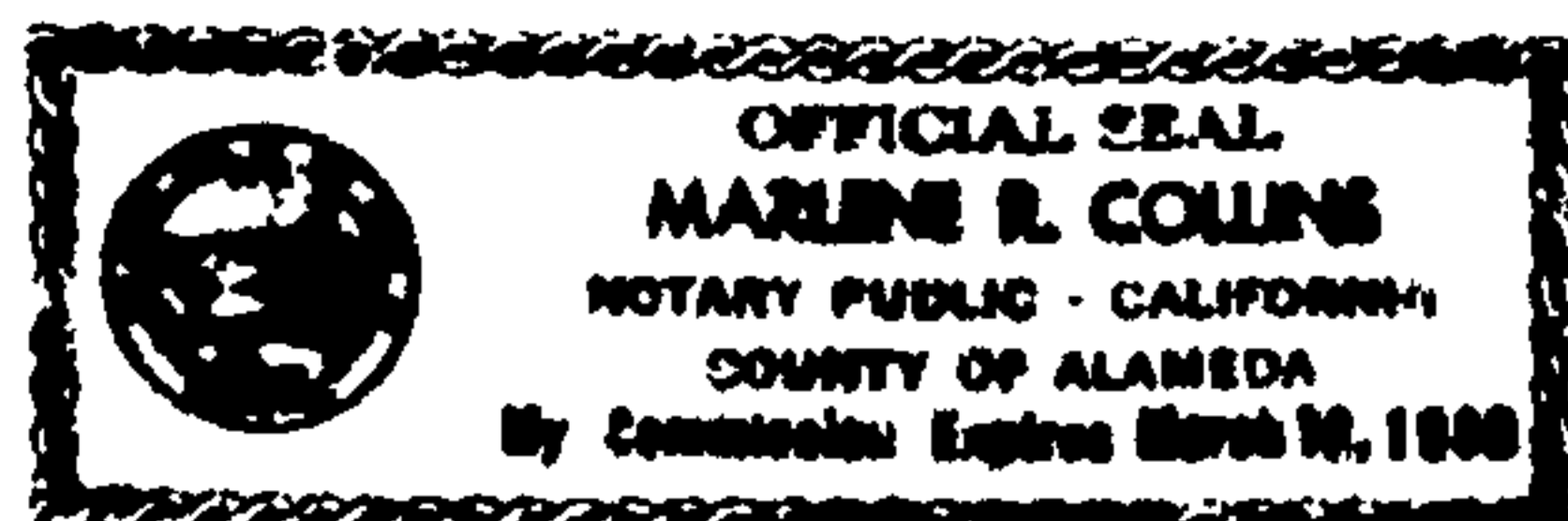
My Commission expires: 6-13-81

STATE OF CALIFORNIA }  
COUNTY OF ALAMEDA } ss.

On this 30th day of March, 1981, before me personally appeared GARY D. SCOTT and JAMES B. BOLEN, JR., to me personally known, who being by me duly sworn, did say that they are the Assistant Vice President and Assistant Secretary, respectively, of SAFEWAY STORES, INCORPORATED, a corporation organized under the laws of the State of Maryland, and that the seal affixed to said instrument is the corporate seal of said corporation, and that said instrument was signed and sealed in behalf of said corporation by authority of its Board of Directors, and said GARY D. SCOTT and JAMES B. BOLEN, JR. acknowledged said instrument to be the free act and deed of said corporation.

WITNESS my hand and seal the day and year first above written.

(Notarial Seal.)



Marlene R. Collins  
MARLENE R. COLLINS  
NOTARY PUBLIC in and for the State  
of California, with principal office  
in the County of Alameda.

My commission expires: March 18, 1983

New Mexico acknowledgment.



# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

December 8, 2003

Genevieve Donart, P.E.  
Isaacson & Arfman, P.A.  
128 Monroe St. NE  
Albuquerque, NM 87108

**Re: Weinerschnitzel, 110 Juan Tabo Blvd. NE, Traffic Circulation Layout  
Engineer's Stamp dated 11-07-03 (L22/D11C)**

Dear Ms. Donart,

Based upon the information provided in your submittal received 11-07-03, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

- 1. List the width of all drivepads.
- 2. Provisions for service vehicles are required; please detail these provisions on the plan.
- 3. Please show a vicinity map.
- 4. Please list the width and length for all parking spaces.
5. Is there an existing sidewalk?
- 6. The parking information notes list 74 proposed spaces. Where are these spaces? If spaces from other lots are utilized, written permission from the lot owners must be provided.
- 7. Is there a median break at the site?
8. Please state your design vehicle.
9. For passenger vehicles, the minimum end island radius is 15 feet.
10. Please include a copy of your shared access agreement with the adjacent property owner.
11. The handicapped spaces must have one van accessible aisle of 8 feet in width.
12. Where is the wheelchair ramp?

If you have any questions, you can contact me at 924-3991.

Sincerely,

Wilfred A. Gallegos, P.E.  
Traffic Engineer, Planning Dept.  
Development and Building Services

C: file

L-22 / 011C

# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: WEINERSCHNITZEL

ZONE MAP/DRG. FILE #: L-22 / 011C

DRB #: \_\_\_\_\_ EPC#: \_\_\_\_\_

WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: LOT M, FRANKLIN PLAZA

CITY ADDRESS: 110 JUAN TABO BLVD NE

Genevieve dated 11/7/03

ENGINEERING FIRM: Isaacson & Arfman, P.A.

ADDRESS: 128 Monroe Street NE

CITY, STATE: Albuquerque, NM

CONTACT: GENNY DONART

PHONE: (505) 268-8828

ZIP CODE: 87108

OWNER: WEINERSCHNITZEL C/O TRICOR SW CORP

ADDRESS: 6210 E. THOMAS RD STE 209

CITY, STATE: SCOTTSDALE, AZ

CONTACT: CHAD HAGLE

PHONE: (480) 945-5500

ZIP CODE: 85251

ARCHITECT: FRED FIEDLER & ASSOC

ADDRESS: 2232 W. THIRD ST

CITY, STATE: LOS ANGELES, CA

CONTACT: PAM SLACK

PHONE: \_\_\_\_\_

ZIP CODE: 90057

SURVEYOR: ALDRICH LAND SURVEYING

ADDRESS: \_\_\_\_\_

CITY, STATE: \_\_\_\_\_

CONTACT: TIM ALDRICH

PHONE: 889-1990

ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_

PHONE: \_\_\_\_\_

ZIP CODE: \_\_\_\_\_

## CHECK TYPE OF SUBMITTAL:

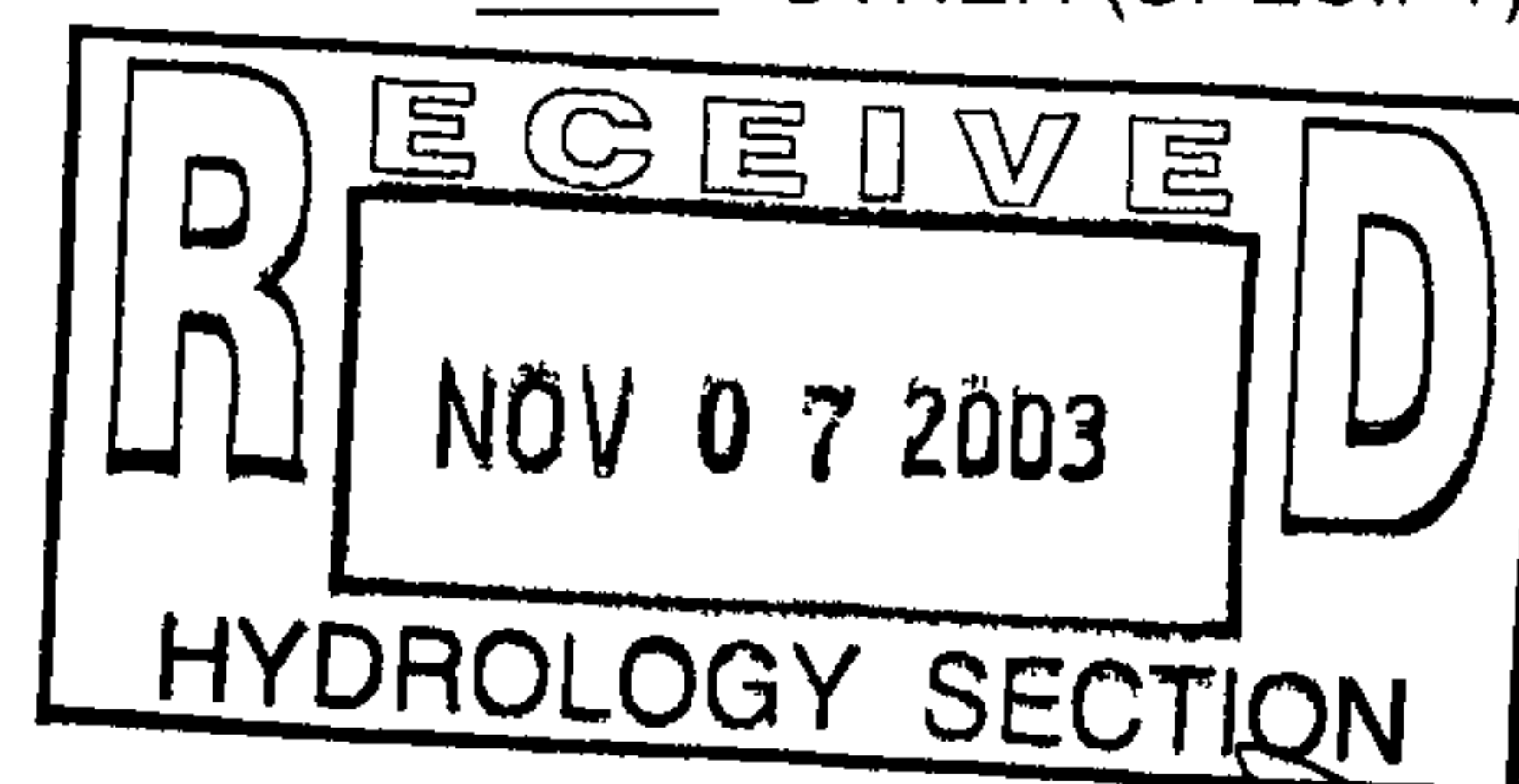
- ☒ DRAINAGE REPORT
- ☒ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL, **REQUIRES TCL or equal**
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☒ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

## CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☒ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

## WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED



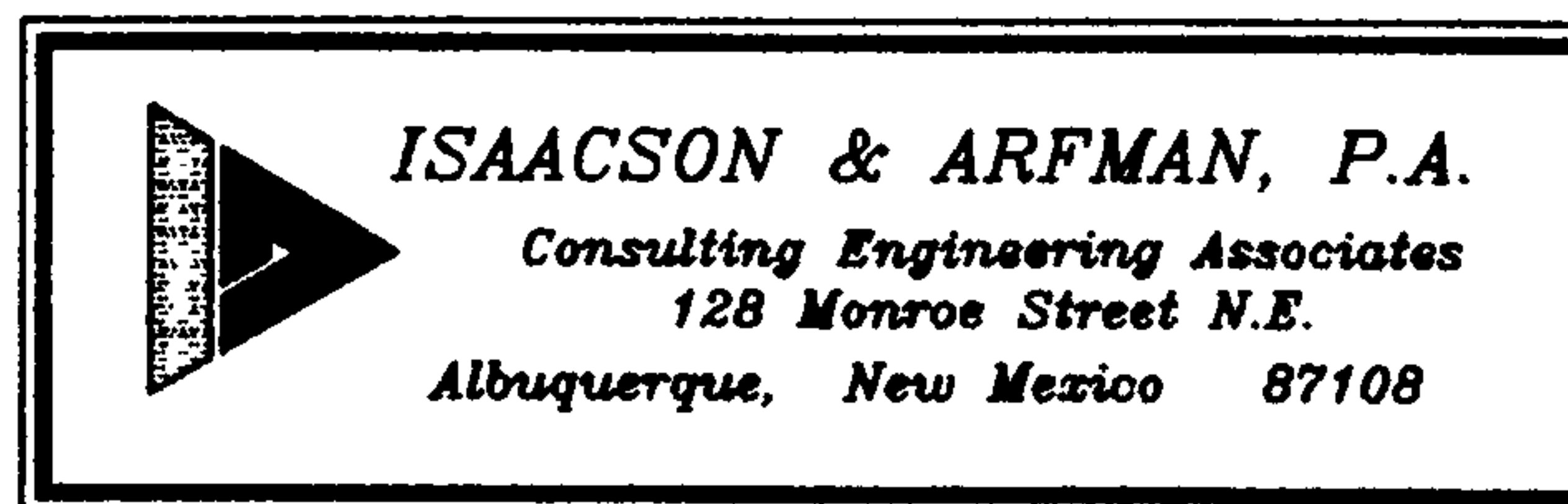
DATE SUBMITTED: 11/6/03

BY: Genevieve Donart

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

# Letter of Transmittal



To: COA Date: 11/7/03  
ONE-STOP 1<sup>st</sup> FLR Job No. 1294

Attn: HYDROLOGY REVIEWER

Reference: DERWEINERSCHNITZEL

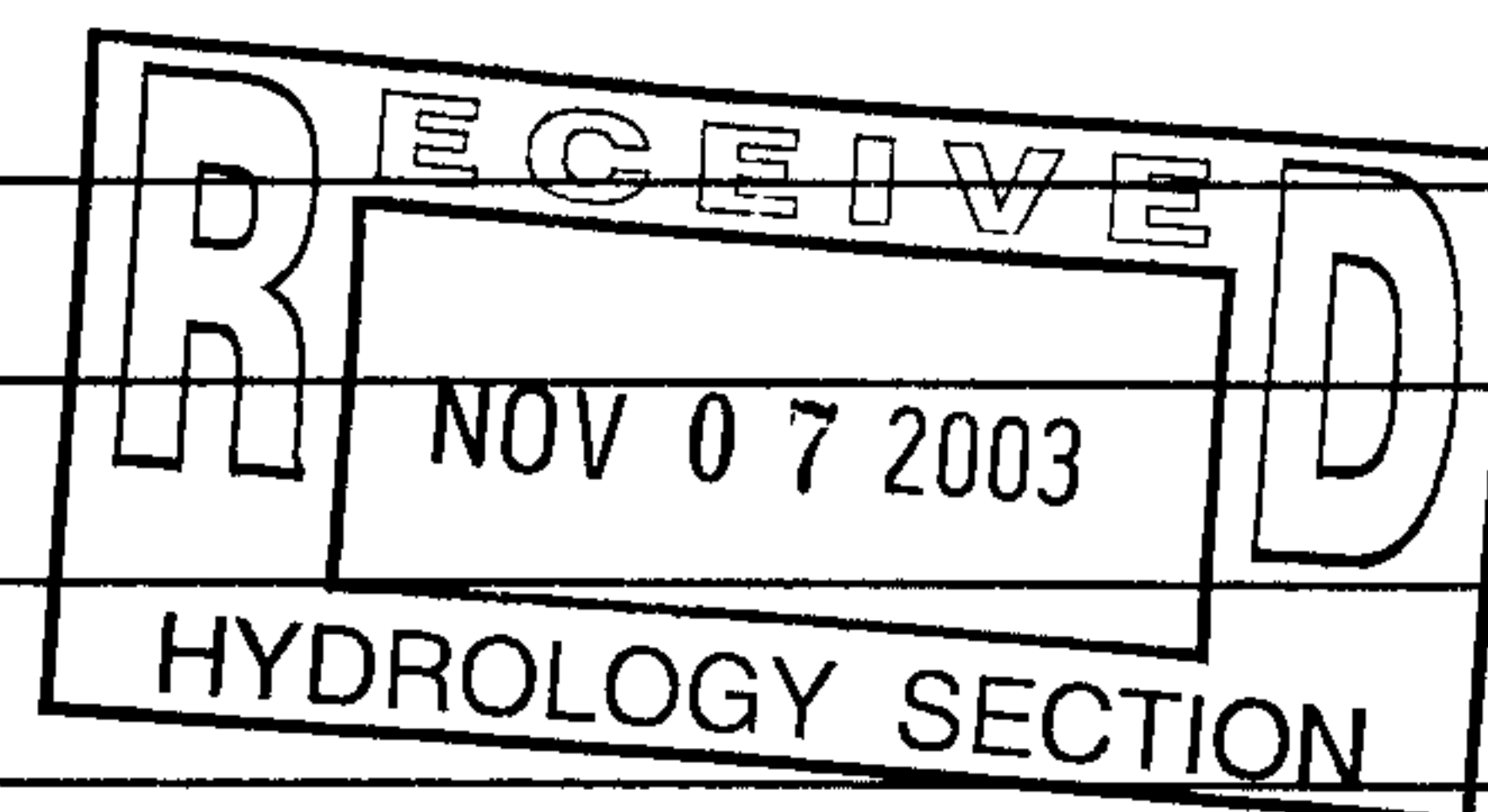
We transmit to you 1 copy(ies) of the following:

- |   |   |
|---|---|
| <input type="checkbox"/> _____ Plats                                    | <input type="checkbox"/> Specifications |
| <input checked="" type="checkbox"/> <u>GRADING &amp; DRAINAGE</u> Plans | <input type="checkbox"/> Submittals     |
| <input type="checkbox"/> _____ Disks                                    | <input type="checkbox"/> Shop Drawings  |
| <input type="checkbox"/> _____ Report                                   | <input type="checkbox"/> Copy of Letter |
| <input checked="" type="checkbox"/> <u>TRAFFIC CONTROL LAYOUT</u>       |   |
| <input type="checkbox"/> _____  |   |

This information is transmitted:

- |  |   |
|--|---|
| <input type="checkbox"/> As per your request                   | <input type="checkbox"/> For your files           |
| <input checked="" type="checkbox"/> For your review & approval | <input type="checkbox"/> For your use             |
| <input type="checkbox"/> For your information                  | <input type="checkbox"/> Please review & return   |
| <input type="checkbox"/> For your attention                    | <input type="checkbox"/> For return to your files |
| <input type="checkbox"/> For your signature                    | <input type="checkbox"/> Please advise            |
| <input type="checkbox"/> _____                                 |   |
| <input type="checkbox"/> _____                                 |   |

Remarks: \_\_\_\_\_



By: GENNY DONART

Copies to: \_\_\_\_\_