

VICINITY MAP

M-12

SCALE 1" = 800'

BENCHMARK

ACS CAP STAMPED TOM-1978
LOCATED SOUTHEAST OF THE INTERSECTION OF
TRAMWAY AND CENTRAL. ELEV = 5711.67.

LEGEND

- 35.8 EXISTING SPOT ELEVATION
- 36.20 NEW SPOT ELEVATION
- EXISTING CONTOUR
- 35 ----- NEW CONTOUR
- SWALE
- ✓ VERIFIED ELEVATION
- 36.2 AS-BUILT ELEVATION
- BASIN BOUNDARY

DRAINAGE PLAN

THE FOLLOWING ITEMS CONCERNING THE MCDONALD'S ON CENTRAL GRADING AND DRAINAGE PLAN ARE CONTAINED HEREON:

1. VICINITY MAP
2. GRADING PLAN
3. CALCULATIONS

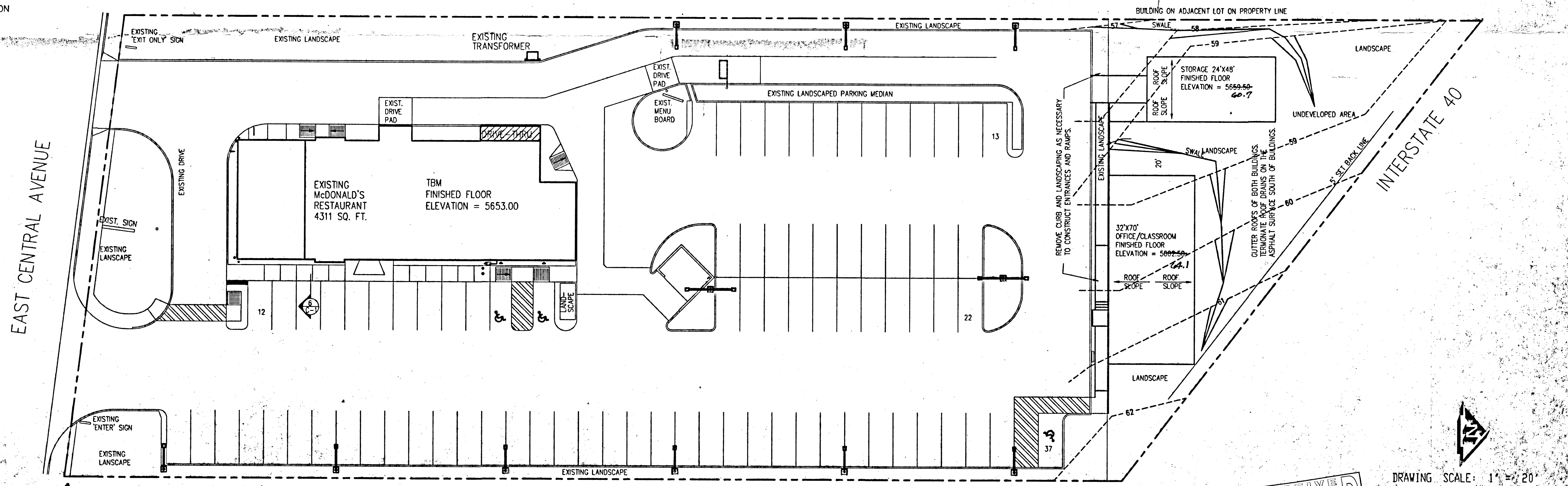
THE PROPOSED IMPROVEMENTS, AS SHOWN BY THE VICINITY MAP, ARE LOCATED ON THE NORTH SIDE OF CENTRAL AVENUE NE, WEST OF TRAMWAY BOULEVARD NE. THE MAJORITY OF THE SITE IS DEVELOPED. ONLY A SMALL TRIANGULAR PIECE OF LAND AT THE NORTH END OF THE SITE REMAINS TO BE DEVELOPED. THE SITE SLOPES FROM NORTHEAST TO SOUTHWEST. THE SITE DOES NOT LIE WITHIN A DESIGNATED FLOOD HAZARD ZONE.

THE PROPOSED IMPROVEMENTS CONSIST OF TWO MODULAR BUILDINGS, AN OFFICE/CLASSROOM AND A STORAGE BUILDING. THE BUILDINGS WILL BE MANUFACTURED OFF SITE, BROUGHT TO THE SITE AND PLACED ON PERS. STAIRS AND RAMPS WILL CONNECT THE BUILDINGS TO THE EXISTING ASPHALT PARKING LOT. DUE TO THE EXCESS EXISTING PARKING PLACES, NO ADDITIONAL ASPHALT WILL BE REQUIRED FOR THIS PROJECT. THE BUILDINGS WILL BE GUTTERED WITH THE ROOF DRAINS TERMINATING ON THE EXISTING ASPHALT. SWALES WILL DIVERT RUNOFF AROUND THE BUILDINGS.

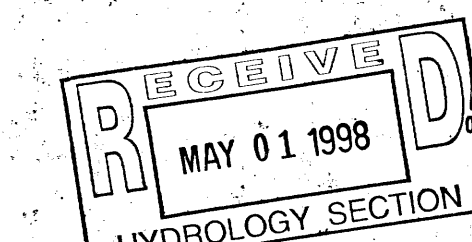
THE CALCULATIONS, WHICH APPEAR BELOW, ANALYZE THE EXISTING AND PROPOSED CONDITIONS FOR THE 6-HOUR, 100-YEAR RAINFALL EVENT. THE ANALYSIS IS IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, VOLUME II. AS SHOWN BY THESE CALCULATIONS, THE RATE AND VOLUME OF RUNOFF WILL INCREASE BY A MINOR AMOUNT.

CALCULATIONS

PRECIPITATION ZONE = 4
AREA = 1.77 ACRES
EXISTING CONDITIONS
LAND TREATMENT C = 29% D = 71%
E = 1.46+0.29+2.64+0.71 = 2.30 INCHES
V = 2.30+1.77/12 = 0.34 ACRE FEET
Q = (3.73+0.29+5.25+0.71)(1.77) = 8.51 CFS
DEVELOPED CONDITIONS
LAND TREATMENT C = 23% D = 77%
E = 1.46+0.23+2.64+0.77 = 2.37 INCHES
V = 2.36+1.77/12 = 0.35 ACRE FEET
Q = (3.73+0.23+5.25+0.77)(1.77) = 8.67 CFS
INCREASE IN RATE OF RUNOFF = 8.67 - 8.51 = 0.16 CFS
INCREASE IN VOLUME OF RUNOFF = 0.35 - 0.34 = 0.01 ACRE FEET



CERTIFICATION
THIS PROJECT WAS CONSTRUCTED IN
SUBSTANTIAL COMPLIANCE WITH THE
APPROVED DRAINAGE PLAN

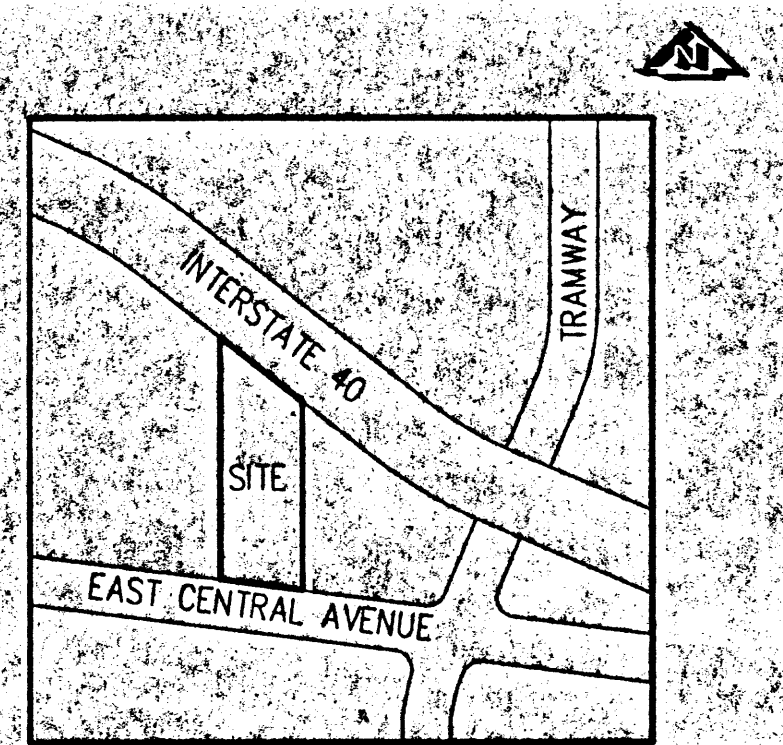


DRAWING SCALE: 1" = 20'

Engineering & Surveying Associates, Inc.

1

SHEET NO.



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BENCHMARK

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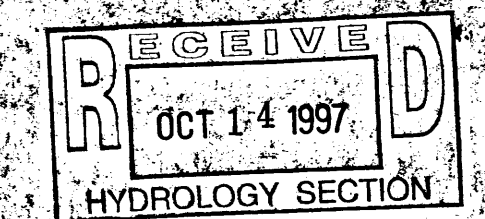
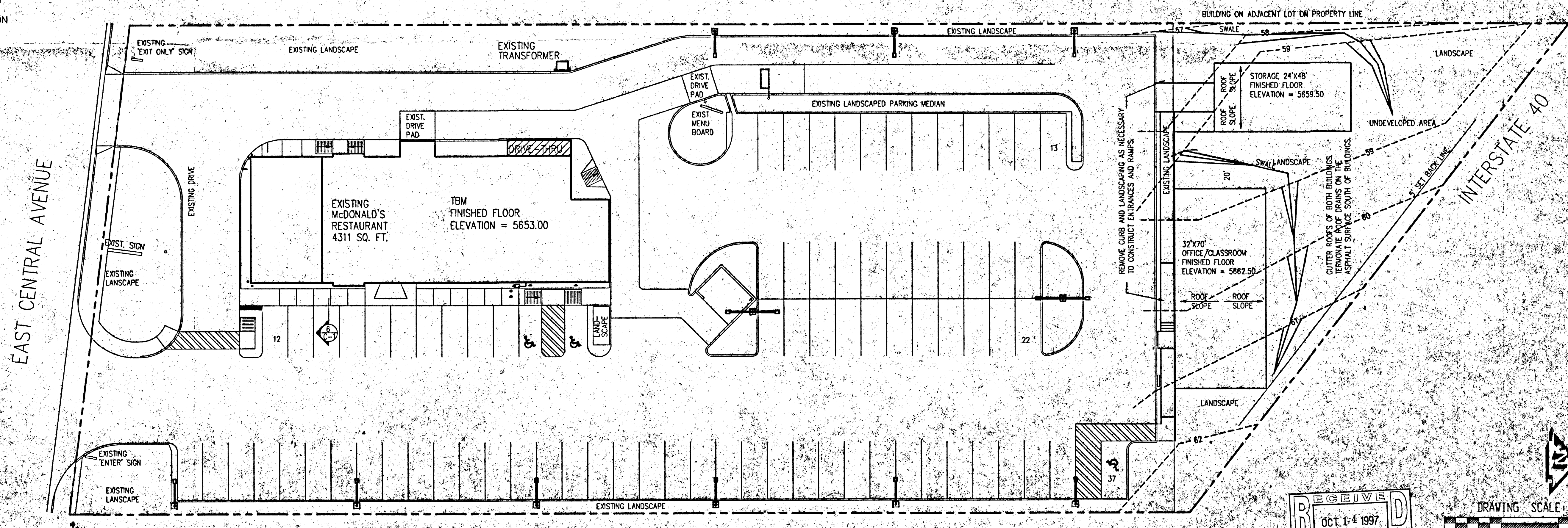
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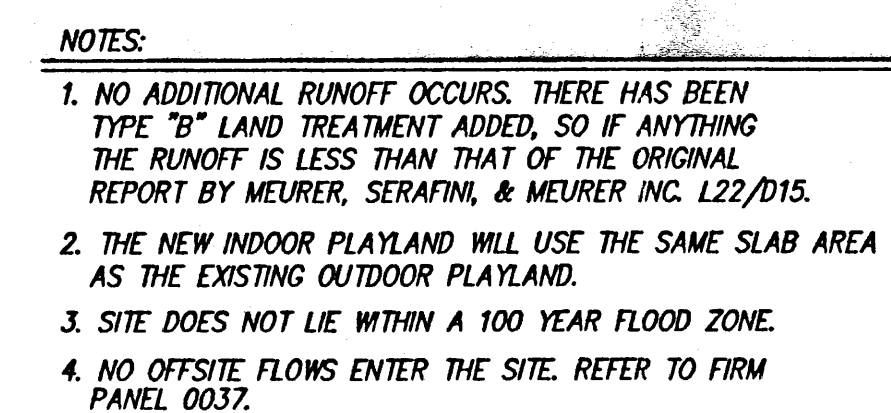
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GRADING AND DRAINAGE PLAN FOR MCDONALD'S ON CENTRAL



DRAWING SCALE: 1" = 20'

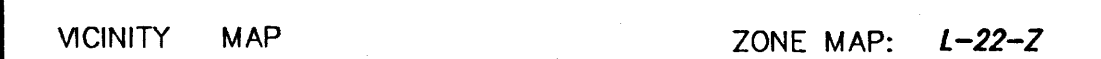
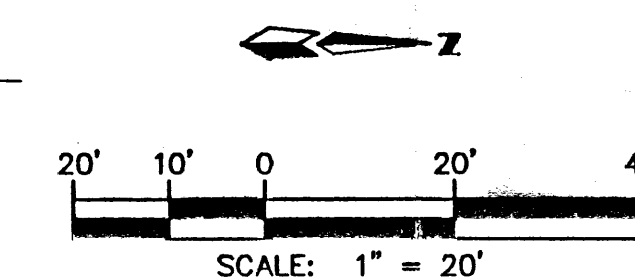


I hereby certify that the information contained on this drawing has been revised in accordance with information furnished by the surveyor, Precision Surveys, and reflects the construction as actually accomplished. This plan as constructed is in substantial compliance with the Approved Plan.

ained on this drawing has b
by the supervisor. Precision 6
ompleted. This plan is ad
oved Plan.

11829

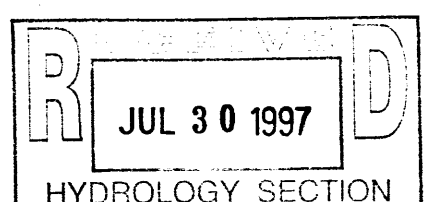
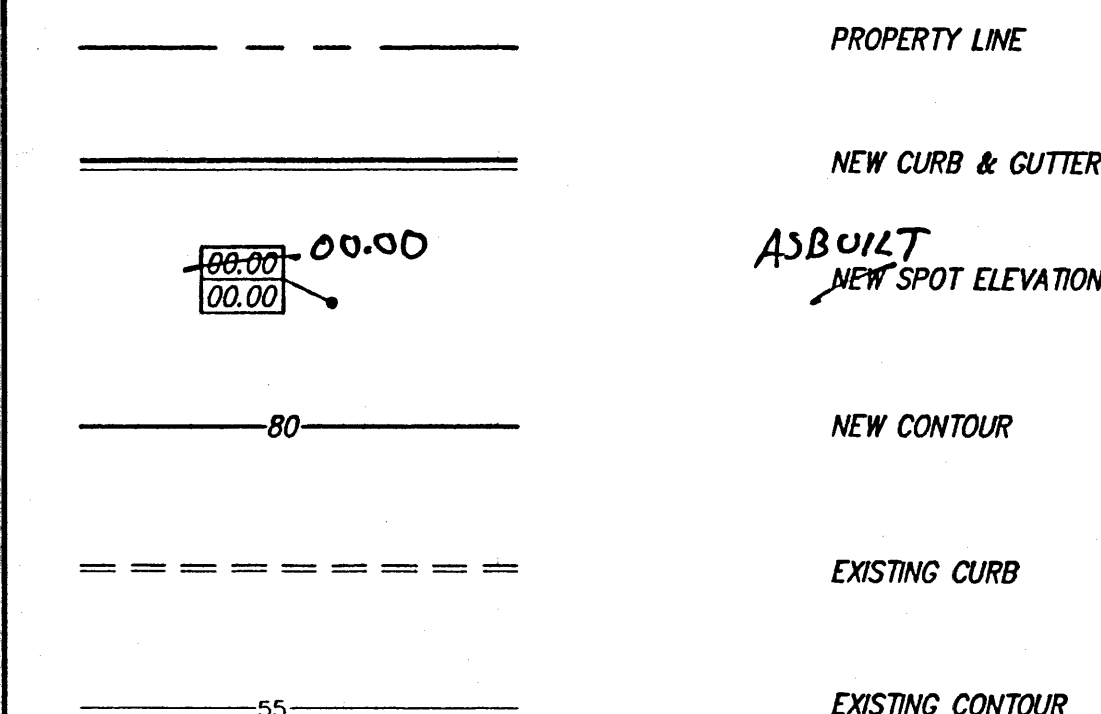
REGISTERED PROFESSIONAL ENGINEER



ACS BENCHMARK

STANDARD ACS BRASS TABLET STAMPED "TOM-1978".

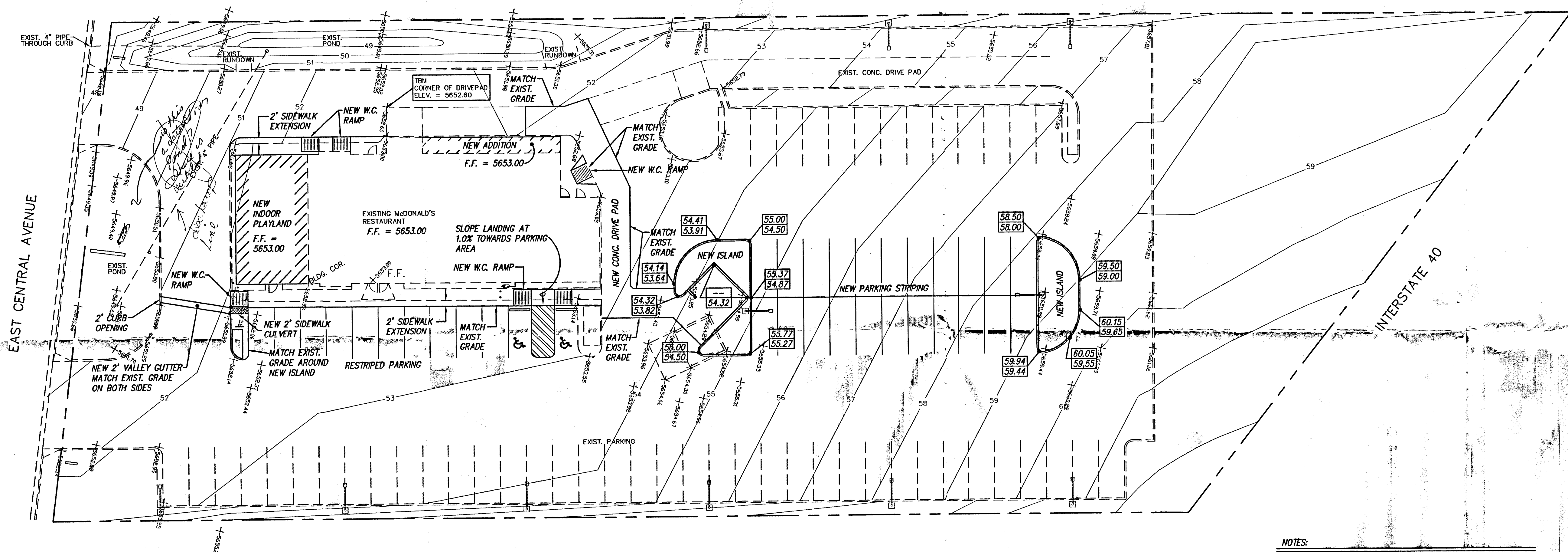
LEGEND



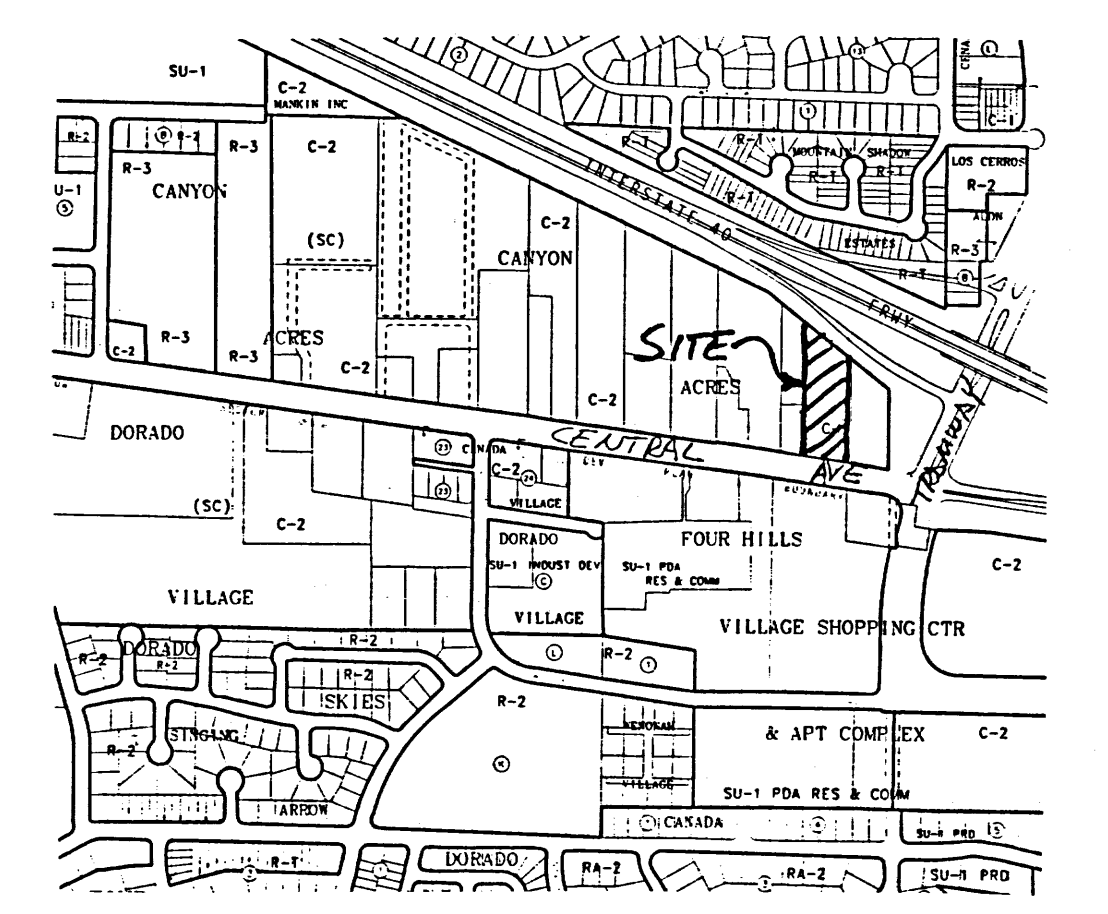
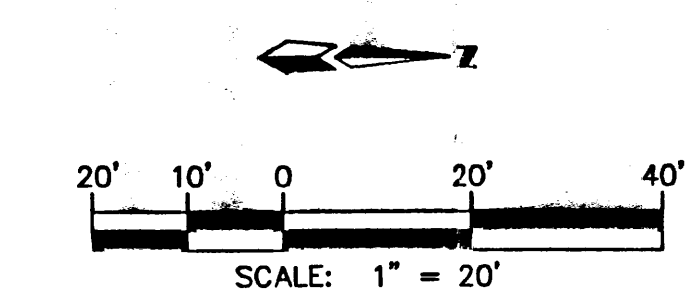
McDONALD'S – EAST CENTRAL AVENUE
GRADING & DRAINAGE PLAN

dmg D. MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS & SURVEYORS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 345-2010

Designed: <i>GJK</i>	Drawn: <i>DBC</i>	Checked: <i>DMG</i>	Sheet 1 of 1
Scale: 1" = 20'	Date: 8/96	Job: 96112	



- NOTES:**
1. NO ADDITIONAL RUNOFF OCCURS. THERE HAS BEEN TYPE "B" LAND TREATMENT ADDED, SO IF ANYTHING THE RUNOFF IS LESS THAN THAT OF THE ORIGINAL. REPORT BY MEURER, SERAFINI, & MEURER INC. L22/D15.
 2. THE NEW INDOOR PLAYLAND WILL USE THE SAME SLAB AREA AS THE EXISTING OUTDOOR PLAYLAND.
 3. SITE DOES NOT LIE WITHIN A 100 YEAR FLOOD ZONE.
 4. NO OFFSITE FLOWS ENTER THE SITE. REFER TO FIRM PANEL 0037.



VICINITY MAP ZONE MAP: L-22-Z

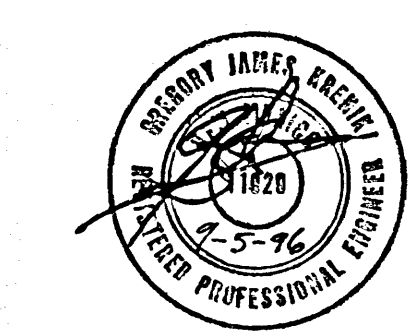
TBM (TEMPORARY BENCHMARK)
SOUTHWEST CORNER OF CONCRETE DRIVE PAD AT END OF DRIVE THROUGH.
ELEV. = 5652.60

ACS BENCHMARK
STANDARD ACS BRASS TABLET STAMPED "TOM-1978".

LEGAL DESCRIPTION
LOT 1, CANYON ACRES.

LEGEND

	PROPERTY LINE
	NEW CURB & GUTTER
	NEW SPOT ELEVATION
	NEW CONTOUR
	EXISTING CURB
	EXISTING CONTOUR



SEP - 5 1998

**McDONALD'S - EAST CENTRAL AVENUE
GRADING & DRAINAGE PLAN**

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6112MCD/GD20/9-4