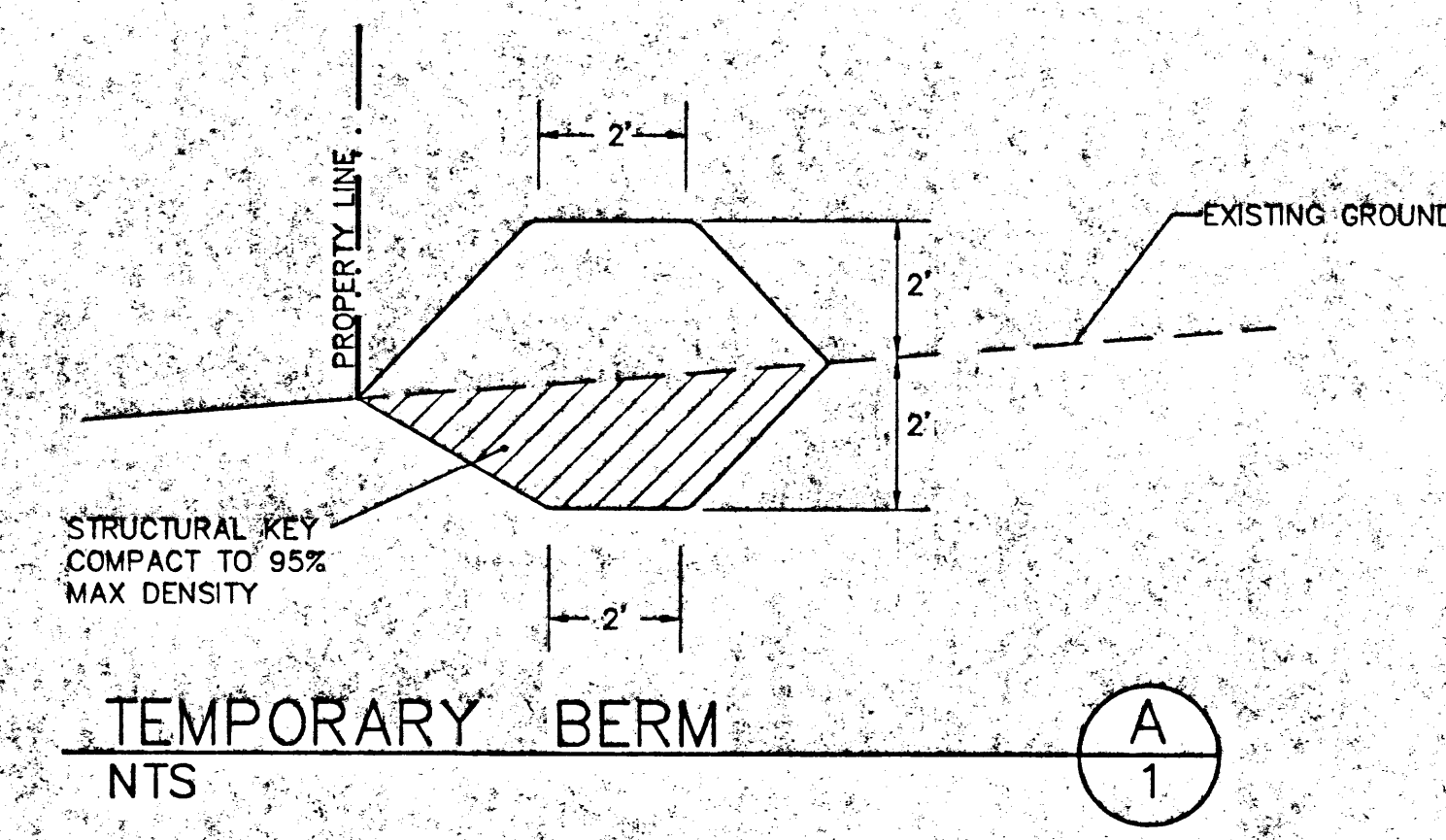
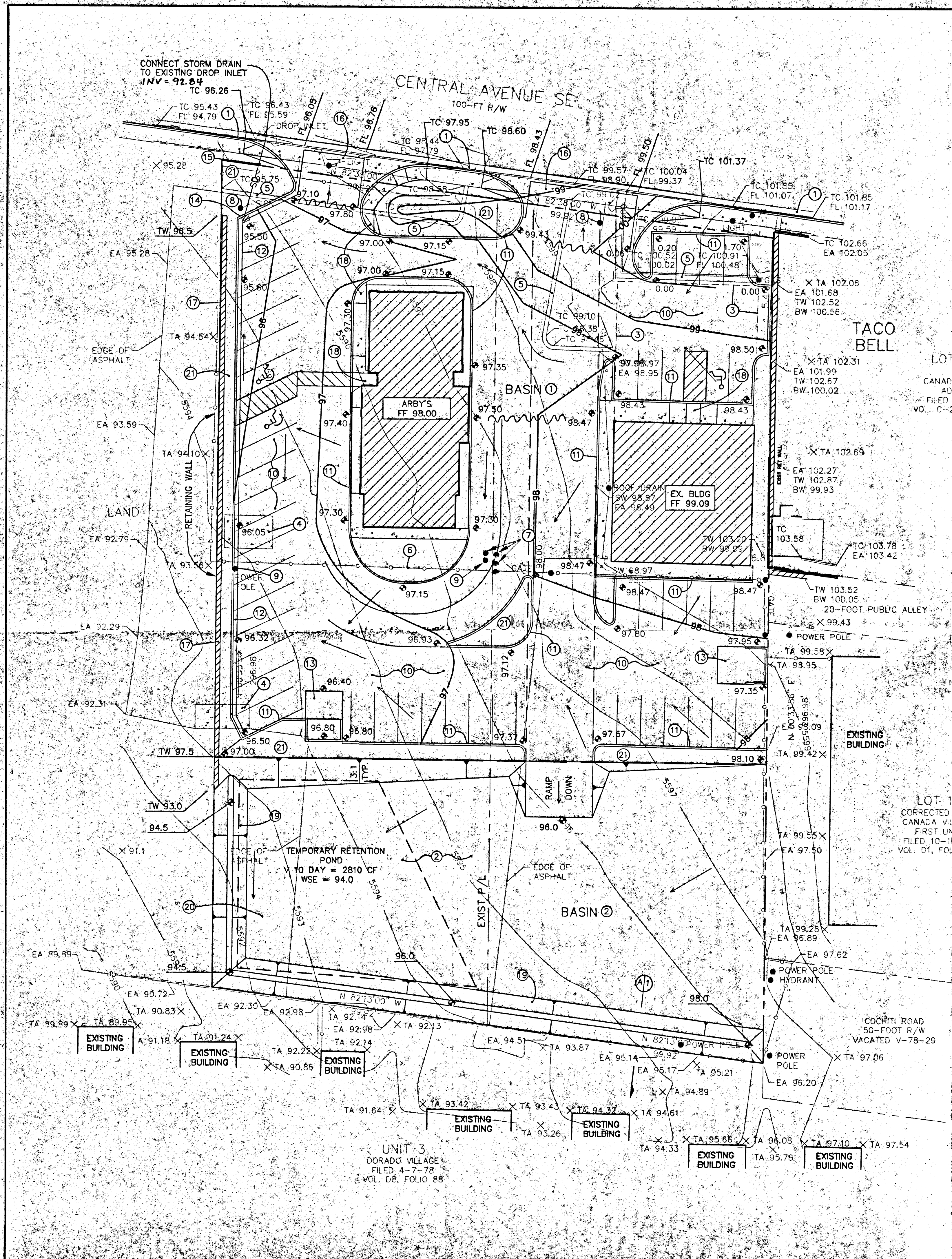




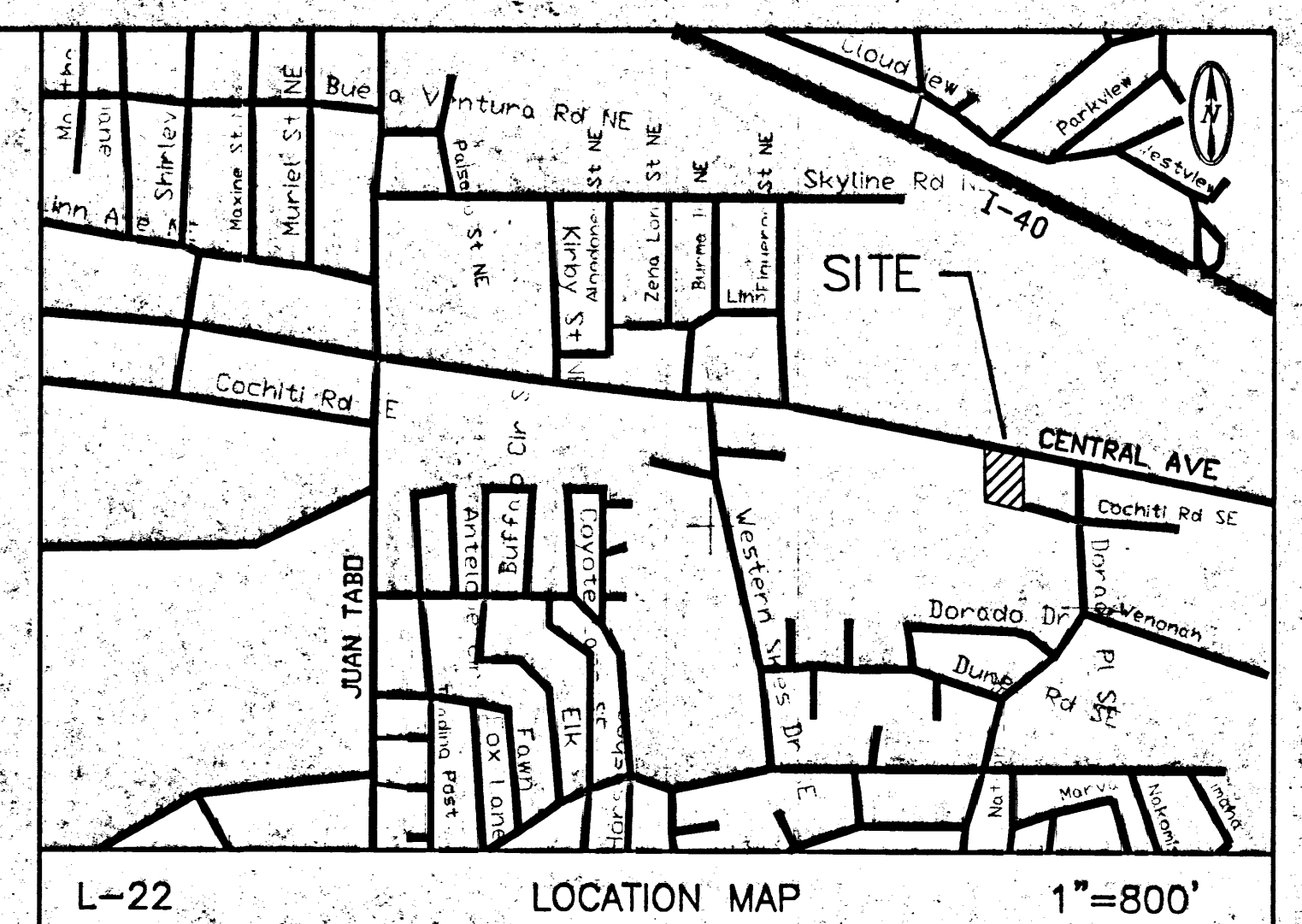
- KEYED NOTES**
- EXISTING STANDARD CURB & GUTTER
 - EXISTING ASPHALT PAVEMENT TO BE REMOVED
 - EXISTING BUILDING TO BE REMOVED
 - EXISTING CONCRETE SLAB TO BE REMOVED
 - EXISTING CONCRETE CURB TO BE REMOVED
 - EXISTING CHAINLINK TO BE REMOVED
 - EXISTING BOLLARDS TO BE REMOVED
 - EXISTING SIGNS TO BE REMOVED
 - EXISTING POWER POLE TO BE RELOCATED BY PNM
 - REMOVE EXISTING ASPHALT PAVEMENT REPLACE PER PLAN AND SPECS.
 - NEW 6" CONCRETE CURB
 - NEW 6" CONCRETE CURB AND GUTTER
 - CONSTRUCT STANDARD CITY REFUSE ENCLOSURE
 - CONSTRUCT 1-TYPE 'D' INLET PER CITY STANDARD
 - CONSTRUCT 18" STORM DRAIN, CONNECT TO EXISTING INLET
 - REMOVE AND DISPOSE EXISTING CONCRETE CURB & GUTTER AND SIDEWALK. CONSTRUCT VALLEY GUTTER PER CITY STANDARD
 - CONSTRUCT CMU RETAINING WALL
 - CONSTRUCT HANDICAP ACCESS RAMP
 - CONSTRUCT TEMPORARY BERM
 - CONSTRUCT TEMPORARY RETENTION POND
 - PROPOSED LANDSCAPING

- DRAINAGE PLAN NOTES**
- BLI recommends that the Owner obtain a Geotechnical Evaluation of the on-site soils prior to foundation/structural design.
- This Plan recommends positive drainage away from all structures to prohibit ponding of runoff which may cause structural settlement. Future alteration of grades adjacent to the proposed structures is not recommended.
 - Irrigation within 10 feet of any proposed structure is not recommended. Introduction of irrigation water into subsurface soils adjacent to the structure could cause settlement.
 - This Plan is prepared to establish on-site drainage and grading criteria only. BLI assumes no responsibility for subsurface analysis, foundation/structural design, or utility design.
 - Local codes may require all footings to be placed in natural undisturbed soil. If the Contractor plans to place footings on engineered fill, a certification by a registered Professional Engineer will be required. If the contractor wishes BLI to prepare the Certification, we must be notified PRIOR to placement of the fill.
 - BLI recommends that the Owner obtain the services of a Geotechnical Engineer to test and inspect all earthwork aspects of the project.
 - The property boundary shown on this Plan is given for information only to describe the project limits. Property boundary information shown hereon does not constitute a boundary survey. A boundary survey performed by a licensed New Mexico Registered Professional Surveyor is recommended prior to construction.

DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY

- NOTICE TO CONTRACTOR**
- An excavation/construction permit will be required before any work within City right-of-way. An approved copy of these plans must be submitted at the time of application for this permit.
 - All work detailed on these plans to be performed, except as otherwise stated or provided hereon, shall be constructed in accordance with the "City of Albuquerque Standard Specifications, Public Works Construction", 1986 Edition, with Update No. 5, and amendments through September 8, 1994.
 - Two working days prior to any excavation, the contractor must contact Line Locating Service, 260-1990, for location of existing utilities.
 - Prior to construction, the contractor shall excavate and verify the horizontal and vertical locations of all constructions. Should a conflict exist, the contractor shall notify the Engineer so that the conflict can be resolved with a minimum amount of delay.
 - Backfill compaction shall be according to arterial street use.
 - Maintenance of the facility shall be the responsibility of the owner of the property being served.

APPROVALS	NAME	DATE
HYDROLOGY		
INSPECTOR		
ACE FIELD		



- LEGEND**
- 6001 — EXISTING CONTOUR ELEVATION
 - 02.5 x — EXISTING SPOT ELEVATION
 - 01 — PROPOSED CONTOUR ELEVATION
 - — — — — PROPERTY LINE
 - 01.5 — PROPOSED SPOT ELEVATION
 - ← — DIRECTION OF FLOW
 - — — — — DRAINAGE SWALE
 - — — — — DRAINAGE BASIN DIVIDE

PROPERTY ADDRESS

12910 Central Avenue SE

LEGAL DESCRIPTION

Tracts A-1 and A-2
Lands of Richard F. Rust

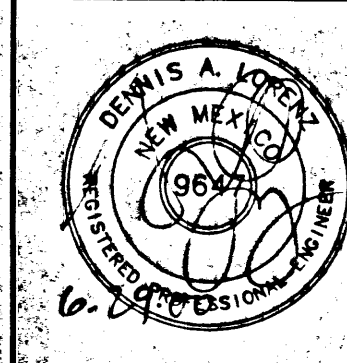
PROJECT BENCHMARK

COA BM NO. 4-L22: A 3 1/4" aluminum cap set flush in the curb and stamped, 4-L22, 1986. It is at the southwest corner of Central Avenue SE and the Whispering Sands access road. Elev. 5583.831.

SURVEY

Topographic map based on measurements made by Brasher and Lorenz, Inc., 8-19-99.

ARBY'S RESTAURANT
12910 CENTRAL AVE. S.E.
GRADING & DRAINAGE



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Consulting Engineers
2201 San Pedro NE Building 1 Suite 220
Albuquerque, New Mexico 87110
Ph: 505-888-6088 Fax: 505-888-6188

DRAWN BY: M.D.B.II	DATE: JUNE, 2000
CHECKED BY: D.L.	
FILE: 99558-GD.DWG	SHEET 2 OF 2