

CITY OF ALBUQUERQUE

Planning Department
Suzanne Lubar, Director



Mayor Richard J. Berry

June 16, 2016

Brian Warren, P.E.
Bohannon-Huston Inc.
7500 Jefferson St. NE Court Yard 1
Albuquerque, New Mexico 87109

**RE: Icon Samson 10 – 1 Screen Addition
13120 Central SE
Grading and Drainage Plan
Engineers Stamp Date 5/20/13 (L22D033A)**

Dear Mr. Warren,

Based upon the information provided in your submittal received 5/20/16, this plan is approved for building Permit.

PO Box 1293

Please inform the Owner/Contractor to attach a copy of this approved plan dated 5/20/16 to the construction sets in the permitting process prior to sign-off by Hydrology, which will avoid any further delays.

Albuquerque

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required. Also, before CO is accepted provide erosion protection at the bottom of the pond where rundowns are located.

New Mexico 87103

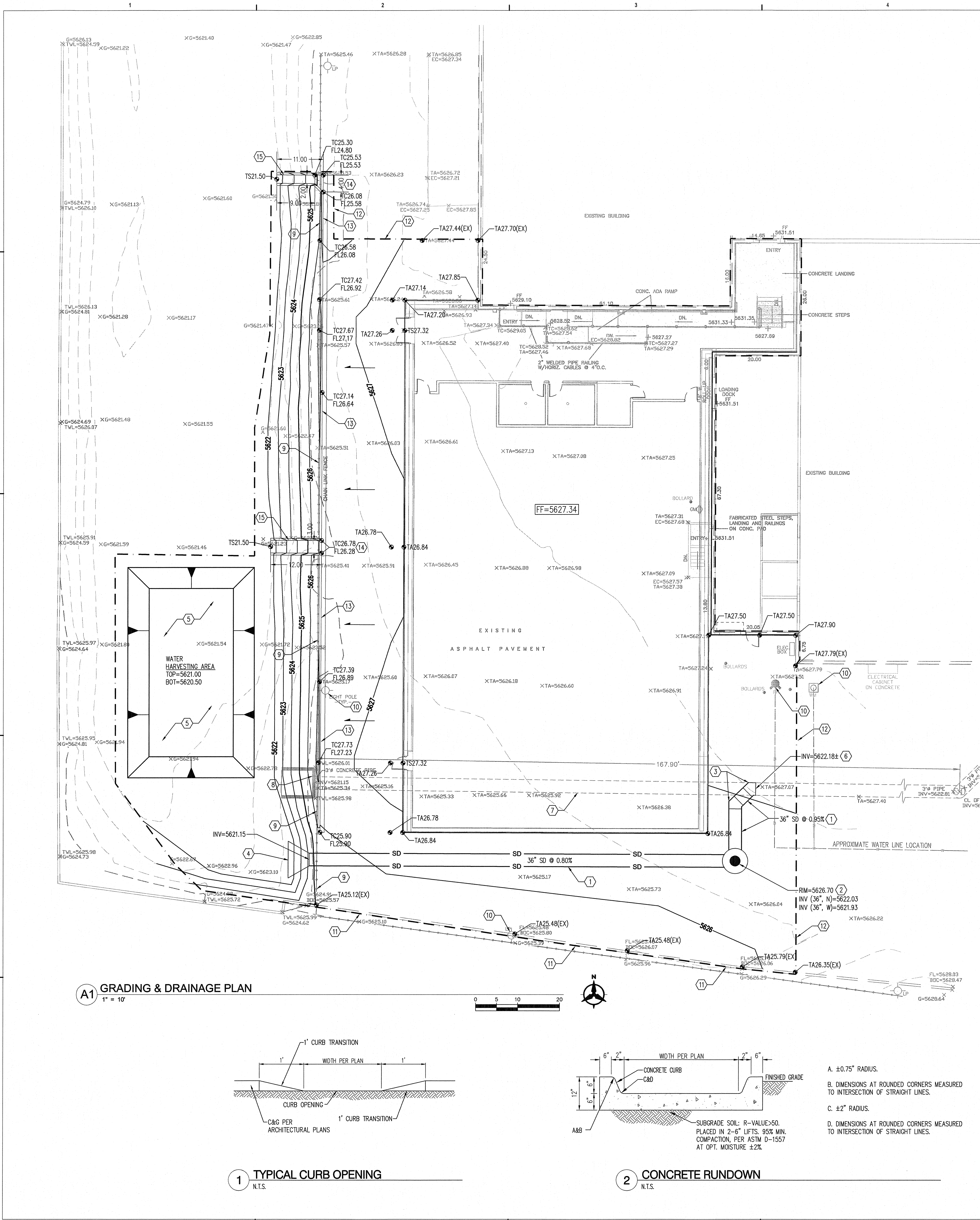
If you have any questions, please contact me at 924-3695 or Rudy Rael at 924-3977.

www.cabq.gov

Sincerely,

Abiel Carrillo, P.E.
Principal Engineer, Hydrology
Planning Department

RR/AC
C: File



GRADING SHEET NOTES

- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
- ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE NMAPWA STANDARD SPECIFICATIONS FOR PUBLIC WORKS.
- EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL PER THE GEOTECHNICAL REPORT UNLESS SHOWN OTHERWISE.
- IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY.
- A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
- ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR MEDANS AND ISLANDS.
- VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.
- SIDEWALK CROSS-SLOPES SHALL BE AT A MINIMUM OF 1.0% AND A MAXIMUM OF 2.0%.
- HOPPE PIPE AND FITTINGS SHALL BE INSTALLED AND BACKFILLED PER MANUFACTURER SPECIFICATIONS. CONNECTIONS TO CONCRETE MANHOLES AND CONCRETE DROP INLETS SHALL USE WATER STOP GASKETS AND SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.

DRAINAGE MANAGEMENT PLAN

SITE LOCATION AND BACKGROUND

THE PROPOSED PROJECT IS A ONE SCREEN ADDITION TO THE ICON THEATER IN FOUR HILLS PLAZA. THE SHOPPING CENTER IS LOCATED ON THE SOUTH WEST CORNER OF THE TRAMWAY BLVD AND CENTRAL AVE INTERSECTION. THE ADDITION TO THE EXISTING THEATER IS APPROXIMATELY 9500 SF. DRAINAGE ANALYSIS WAS PERFORMED AND CONFORMS TO THE APPROVED DRAINAGE PLAN, HYDRO FILE L22/D33A. THE EXISTING AREA OF THE SITE THAT IS BEING REDEVELOPED IS AN ASPHALT PARKING LOT. THE SITE SLOPES FROM THE EXISTING BUILDING WEST TO A DETENTION POND. A PORTION OF THE EXISTING PLAZA DISCHARGES TO THIS DETENTION POND VIA STORM DRAIN SYSTEM AND SURFACE DRAINAGE.

PROPOSED CONDITIONS

THE DRAINAGE FROM THE PROPOSED BUILDING WILL MATCH THE EXISTING DRAINAGE PATTERNS THAT ARE CURRENTLY ESTABLISHED ON SITE. THE EXISTING SITE IS COVERED WITH ASPHALT (100% LAND TREATMENT TYPE 'D'). THE PROPOSED BUILDING ADDITION WILL MAINTAIN THE IMPERVIOUS AREA AND SURFACE DISCHARGE TO THE DETENTION POND. A WATER HARVESTING ARE WILL BE CONSTRUCTED IN THE EXISTING DETENTION POND TO CAPTURE THE FIRST FLUSH DISCHARGE FROM THE PROPOSED BUILDING FOOTPRINT.

FIRST FLUSH CALCULATION

IMPERVIOUS AREA: 9500 SF (ROOF AREA) 6950 SF (PAVED AREA)
RAINFALL DEPTH: 0.44" (ROOF) 0.34" (PAVING)
* INITIAL ABSTRACTION OF 0.1" WAS USED FOR PAVED AREAS PER DPM CHAPTER 22, TABLE A-7

VOLUME REQUIRED: 550 CF
VOLUME PROVIDED: 575 CF

CONCLUSION

THE PROPOSED CONDITIONS PEAK DISCHARGE FROM THE SITE IS EQUIVALENT TO THAT OF THE EXISTING CONDITION. THE DRAINAGE PATTERNS FROM THE PROPOSED CHANGES IS SIMILAR TO THE EXISTING DRAINAGE PATTERNS. THE IMPLEMENTATION OF THESE GRADING CONCEPTS AND CONSTRUCTION OF THE WATER HARVESTING AREA WOULD RESULT IN THE SAFE PASSAGE OF THE 100 YEAR STORM EVENT AS WITH THE EXISTING CONDITIONS. WITH THIS PLAN WE REQUEST APPROVAL FOR BUILDING PERMIT.

SHEET KEYED NOTES

- INSTALL 36" HOPE (N12 WT, OR APPROVED EQUAL) STORM DRAIN PIPE.
- INSTALL 6' DIA STORM DRAIN MANHOLE PER NMAPWA STD DWG 2101.
- INSTALL 45' STORM DRAIN BEND WITH WATER-TIGHT GASKETS.
- INSTALL 36" CMP END SECTION.
- INSTALL WATER HARVESTING AREA.
- CONNECT TO EXISTING STORM DRAIN LINE. CONTRACTOR TO VERIFY INVERT/LOCATION PRIOR TO INSTALLATION AND CONTRACT ENGINEER WITH ANY DISCREPANCIES.
- REMOVE AND DISPOSE OF EXISTING STORM DRAIN.
- REMOVE AND DISPOSE OF EXISTING CONCRETE HEADWALL.
- REMOVE AND REPLACE CHANLINK FENCE/GATE.
- EXISTING UTILITY POLE, APPARATUS, METER, ETC.; PROTECT IN PLACE.
- EXISTING CONCRETE CURB; PROTECT IN PLACE.
- SAW CUT EXISTING ASPHALT TO A CLEAN EDGE. MATCH EXISTING GRADE; CONTACT ENGINEER WITH ANY DISCREPANCIES.
- INSTALL 6" MEDIAN CURB AND GUTTER PER COA STD DWG 2415B.
- INSTALL CURB OPENING PER DETAIL 1, THIS SHEET.
- INSTALL CONCRETE RUNDOWN PER DETAIL 2, THIS SHEET.

GENERAL SHEET NOTES

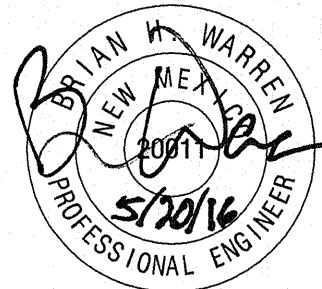
- ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT, WHERE APPLICABLE, NMAPWA PUBLIC WORKS STANDARDS SHALL APPLY.
- THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
- ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
- CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
- OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
- THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E. BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, DRIVEWAY PERMITS, ETC.).
- ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
- THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE TRAFFIC ENGINEERING DEPARTMENT PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
- ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
- THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES.
- THE PROJECT MUST CONFORM WITH THE EROSION AND SEDIMENT REQUIREMENTS OF THE EPA CONSTRUCTION GENERAL PERMIT OR LOCAL STANDARDS & CODES WHICHEVER IS MORE STRINGENT.

LEGEND

---	PROPERTY LINE
---	LIMITS OF GRADING
---	EXISTING INDEX CONTOUR
---	EXISTING INTERMEDIATE CONTOUR
● 5025.25	EXISTING GROUND SPOT ELEVATION
---	PROPOSED INDEX CONTOUR
---	PROPOSED INTERMEDIATE CONTOUR
● 26.75	PROPOSED FINISHED GRADE SPOT ELEVATION
---	TO-TOP OF CURB, FL=FLOW LINE, TS=TOP OF SIDEWALK, FG=FINISH GROUND HIGH, FGL=FINISH GROUND LOW
---	DIRECTION OF FLOW
---	WATER BLOCK/GRADE BREAK
---	PROPOSED STORM DRAIN LINE
●	PROPOSED STORM DRAIN MANHOLE
---	PROPOSED STORM DRAIN INLETS

Bohannon **Huston**
Courtard | 7500 Jefferson St. NE
Albuquerque, NM 87109 (505) 823-1000

ENGINEER



PROJECT

ICON SAMSON 10
1 SCREEN ADDITION
13120 CENTRAL AVENUE, SE
ALBUQUERQUE, NM 87123

DRAWN BY BHW

REVIEWED BY JLM

DATE MAY 20, 2016

PROJECT NO. 14060.03

DRAWING NAME

PROPOSED
GRADING &
DRAINAGE
PLAN

SHEET NO.

C1.00
OF

