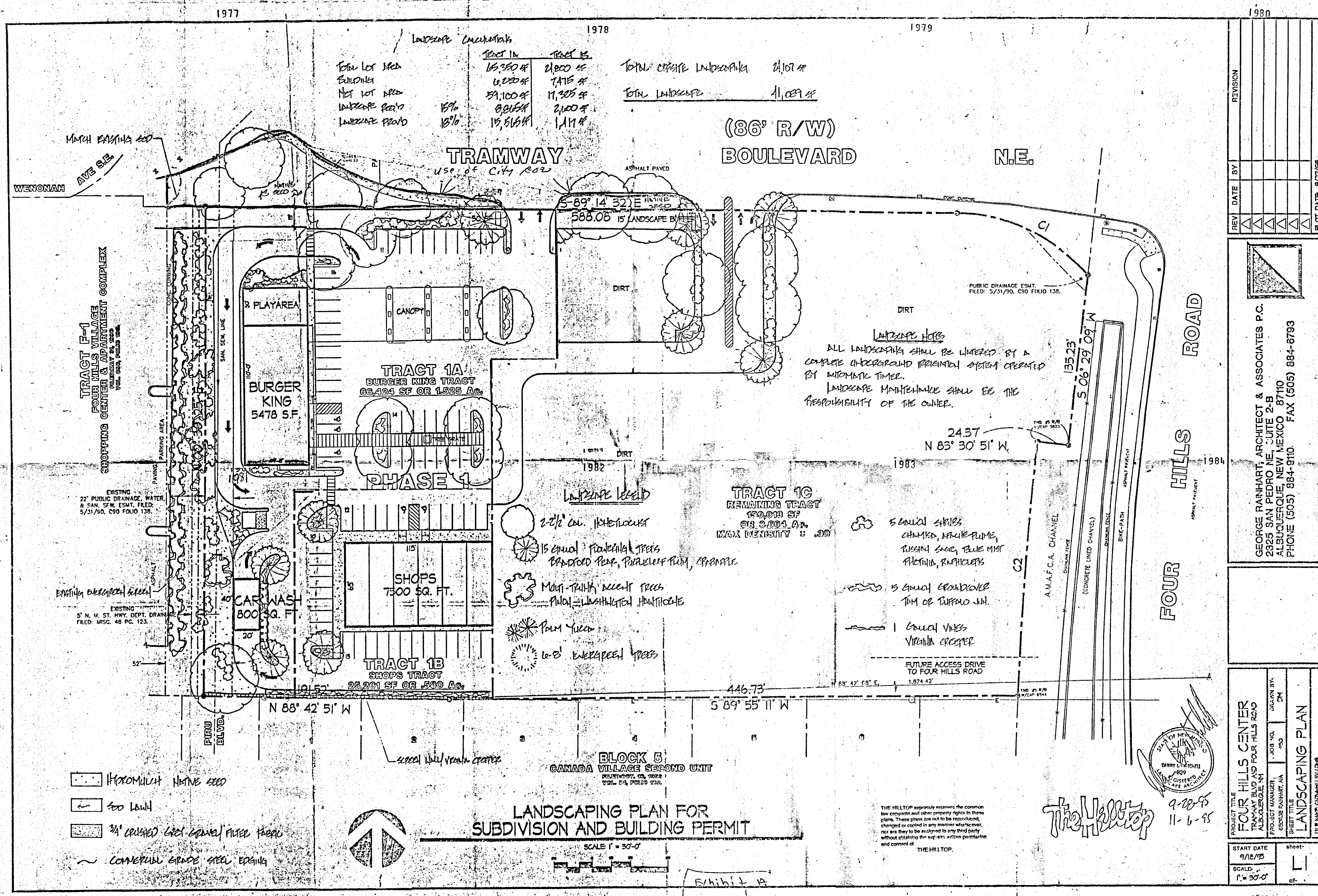




1978

LANDSCAPE CALCULATIONS

	TRACT 1A	TRACT 1B		
TOTAL LOT AREA	16,350 SF	21,000 SF	TOTAL OFFSITE LANDSCAPE	21,107 SF
BUILDING	6,250 SF	7,415 SF	TOTAL LANDSCAPE	11,089 SF
NET LOT AREA	9,100 SF	11,305 SF		
LANDSCAPE REQ'D 15%	1,365 SF	1,696 SF		
LANDSCAPE PROVIDED 18%	1,653 SF	2,035 SF		

(86' B/W

LANDSCAPE NOTES

ALL LANDSCAPING SHALL BE WATERED BY A COMPLETE UNDERGROUND IRRIGATION SYSTEM OPERATED BY AUTOMATIC TIMER.

LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.

- 5 CANAL SHRUBS
CHAMBERLAIN, ARCHER, BLUE MIST
RHODIA, RAPHANUS
- 5 CANAL CROCODON
TOM OF BUFFALO JAIL
- 1 CANAL VINES
VIRGINIA CREEPER

- 2 1/2" IN. HYDRANGEA
- 15 CANAL FRUITING TREES
BRADSHAW PEAR, PARADISE PLUM, CRABAPPLE
- MULTI-TRUNK ACACIA TREES
PINK, WASHINGTON HAWTHORNE
- 10-12' PALM TREES
- 6-8' EVERGREEN TREES

- HYDRANGEA NATIVE SEED
- 500 LAMM
- 3/4" CRUSHED GOLF GREEN/PUTTER FARBLO
- CORNER GRASS SEED EDITION

LANDSCAPING PLAN FOR
SUBDIVISION AND BUILDING PERMIT

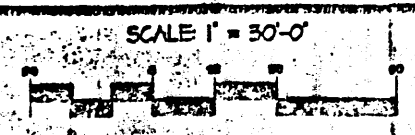


Exhibit A

REV	DATE	BY	REVISION
1			
2			
3			
4			
5			

PLOT DATE: 9/27/93

GEORGE RANHART, ARCHITECT & ASSOCIATES P.C.
2325 SAN PEDRO NE, SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 884-6793

PROJECT TITLE
FOUR HILLS CENTER
TRAMWAY BLVD AND FOUR HILLS ROAD
ALBUQUERQUE, NM

PROJECT MANAGER
JOHN W. COVILL
JOB NO. 93

DRAWN BY
DM

SHEET TITLE
LANDSCAPING PLAN

FILE NO. COVILL0293

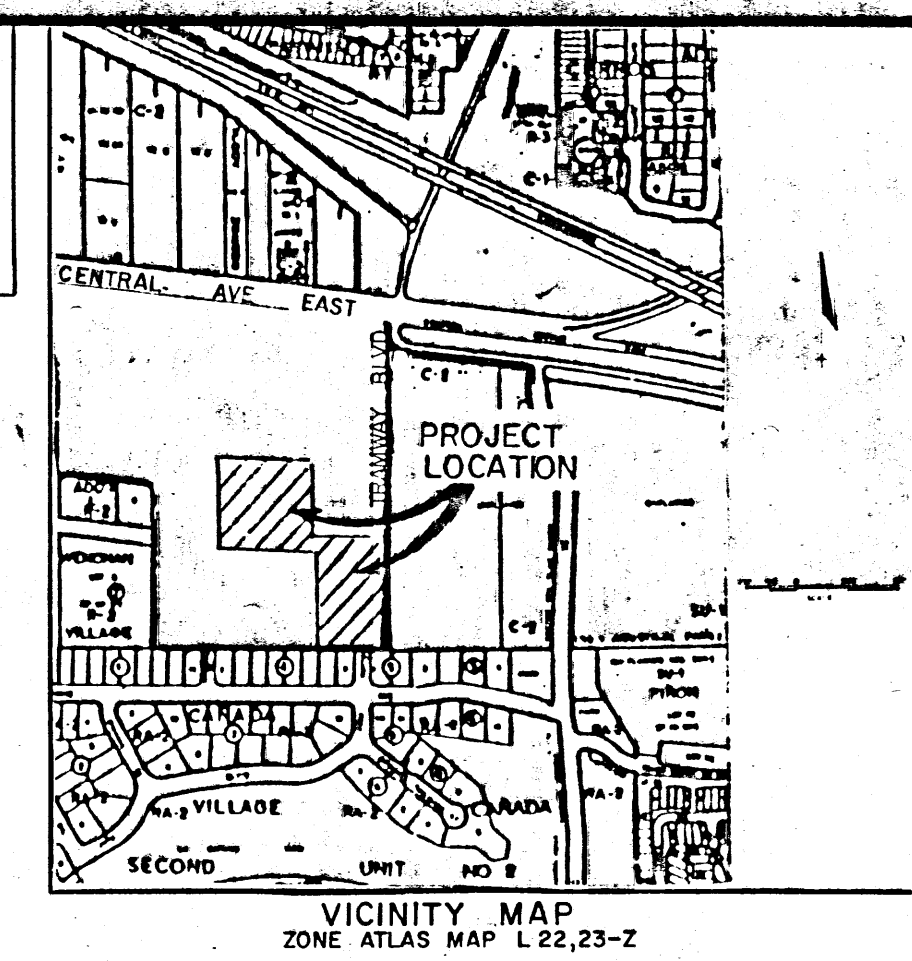
START DATE
9/18/93

SCALE
1" = 30'-0"

SHEET
1

OF
1

LEGAL DESCRIPTION
Tracts A,B,C,G & H, Four Hills Village Shopping
Center and Apartment Complex, along with the
adjacent parking lot.



1. Prior to grading, the existing surface to be graded shall be stripped of organic matter. These strippings may be placed in berms or landscaped areas. All other areas shall remain undisturbed.
2. After the surface to receive fill has been exposed, cleaned as appropriate, the resulting surface shall be scarified to a depth of 8 inches and recompact as for compacted fill. The contractor shall obtain approval by the Geotechnical Engineer before any fill is placed.
3. No frozen material shall be placed in fill.
4. All material placed in fill shall have been excavated on this project from an approved borrow area.
5. Do not puddle or jet backfill.
6. Site fill material shall not contain rocks or lumps greater than 6 inches in diameter. The plasticity index shall not exceed 15.
7. Fill material shall be placed in horizontal layers not to exceed 8 inches, watered as necessary, and compacted to a density of not less than 95% of maximum dry density for building pads and pavement and 90% of maximum dry density for embankments. Moisture content at the time of compaction shall be in accordance with ASTM D 4557.
8. Slopes shall not exceed 3:1 (horizontal-vertical) throughout the site.
9. Grading tolerances shall be $\pm .20'$ in areas where slopes are 2% or less and $\pm 0.30'$ in areas where slopes are greater than 2%.
10. Grading operations shall be performed in a manner which meets all current City, State and Federal dust control regulations.
11. Grading contractor must obtain a copy of the soils report entitled "Geotechnical Investigation Report Proposed Shopping Center Tramway Boulevard and Central Avenue S.E." SHB Job no. E84-1132 from Sergeant, Hauskins and Beckwith.

APPROVED FOR DRAINAGE
7/16/86
Roger A. Green, P.E. Hydrology
SIGNATURE TITLE

BENCH MARK
ACS BENCH MARK 2-L22 LOCATED AT THE INTERSECTION OF CENTRAL AVE. AND TRAMWAY BLVD. IN THE WEST MEDIAN NOSE. THE STATION IS A STANDARD BRASS TABLET CEMENTED IN A DRILL HOLE ON TOP OF A CONCRETE CURB. THE STATION IS STAMPED "2-L22, 1975 ACS" ELEVATION = 5659.963 (MSLD)

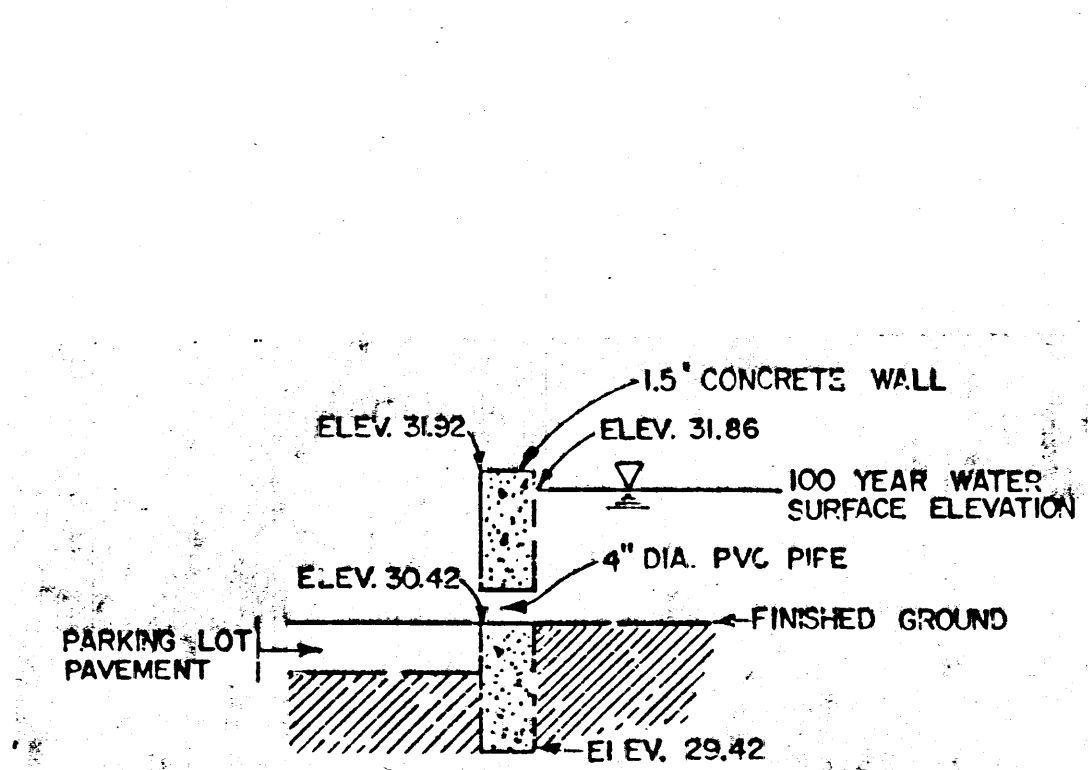
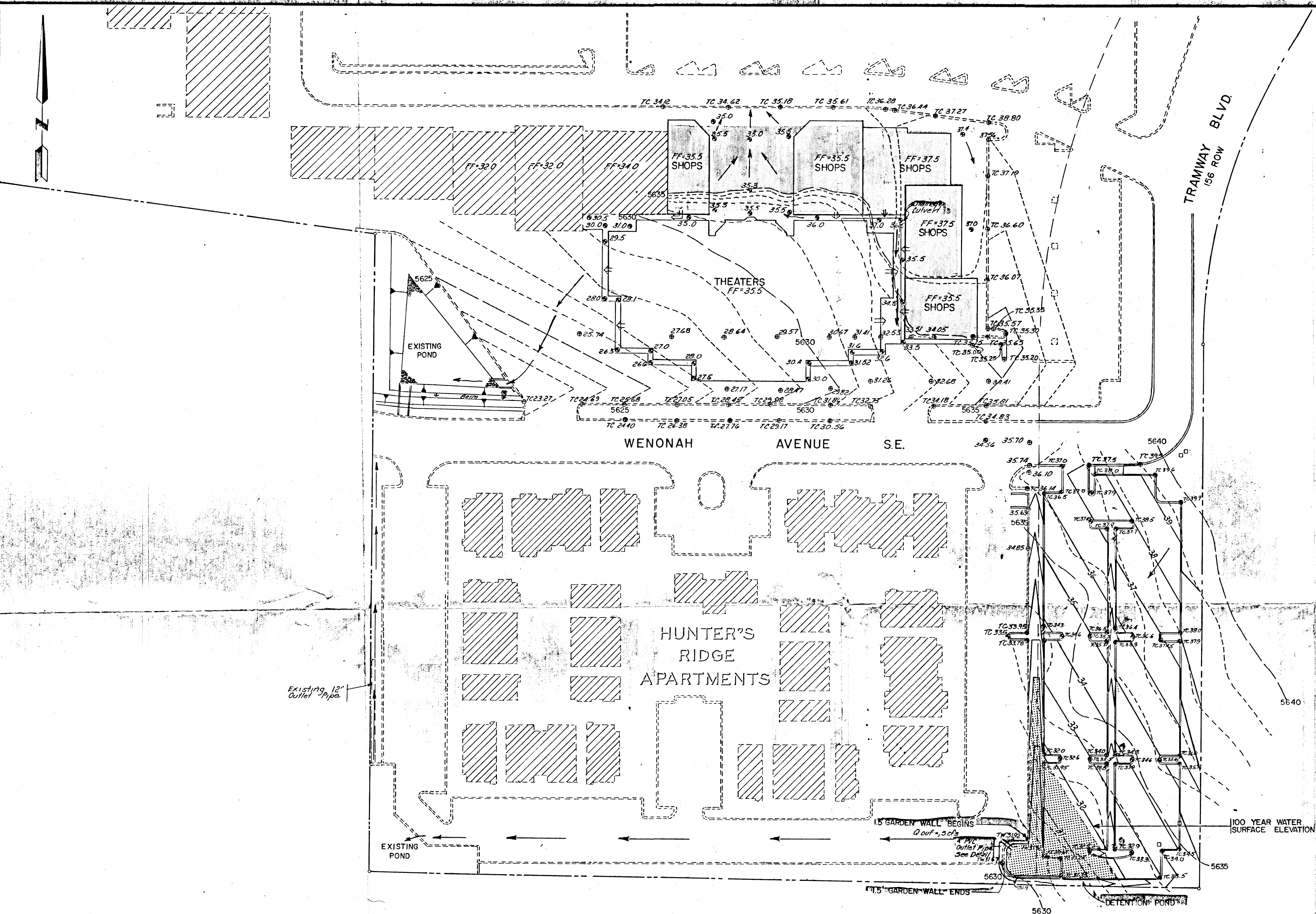
RECEIVED
JUN 30 1986
HYDROLOGY SECTION

FOUR HILLS VILLAGE
TRAMWAY BLVD. & CENTRAL AVE.

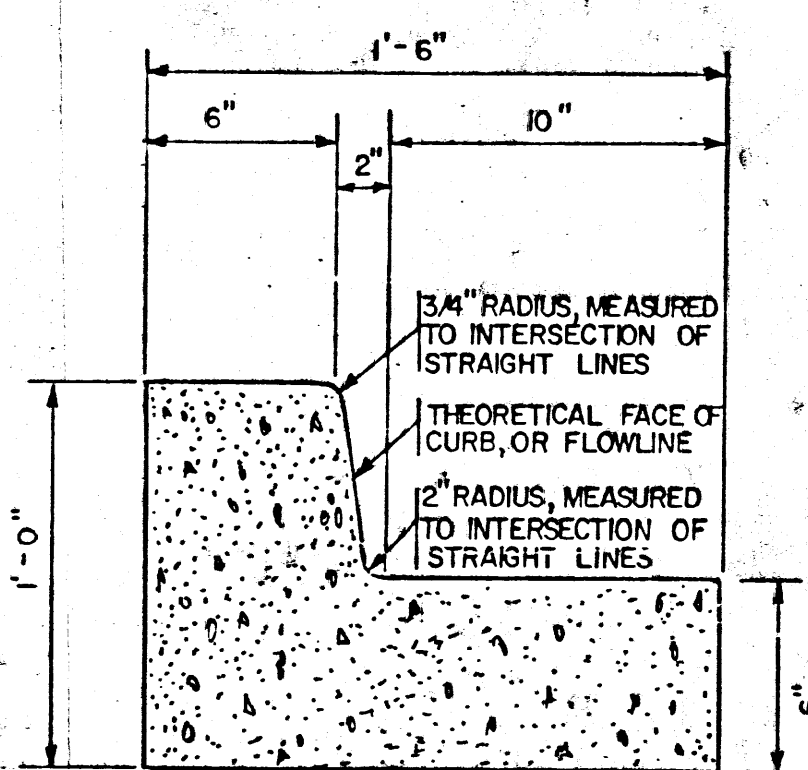
DRAINAGE/GRADING PLAN

Project No. 62092 Sheet 1 of 1
Drawn By: LAD Date: 6/86
Checked By: DBT Scale: 1" = 50'

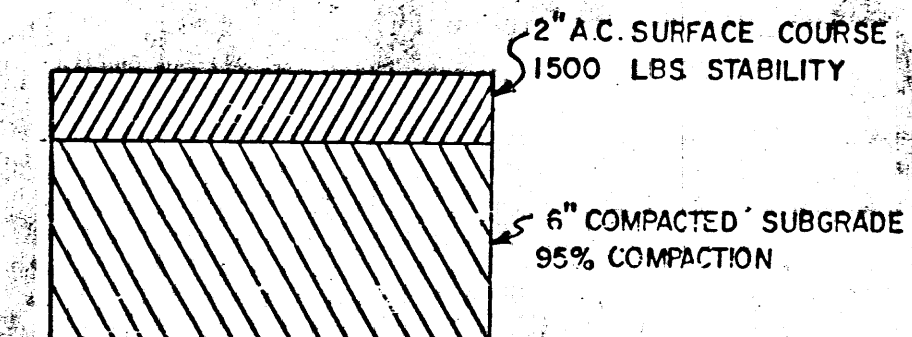
- LEGEND
- PROPERTY LINE
 - EXISTING CONTOUR
 - EXISTING CURB & GUTTER
 - PROPOSED CURB & GUTTER
 - DIRECTION OF DRAINAGE FLOW
 - EXISTING SPOT ELEVATION
 - PROPOSED SPOT ELEVATION
 - EXISTING BUILDING
 - PREVIOUS PROPOSED PAD
 - EXISTING WATER VALVE
 - PROPOSED 1' WIDE CURB CUT
 - ROOF DRAIN



OUTLET PIPE DETAIL
NOT TO SCALE



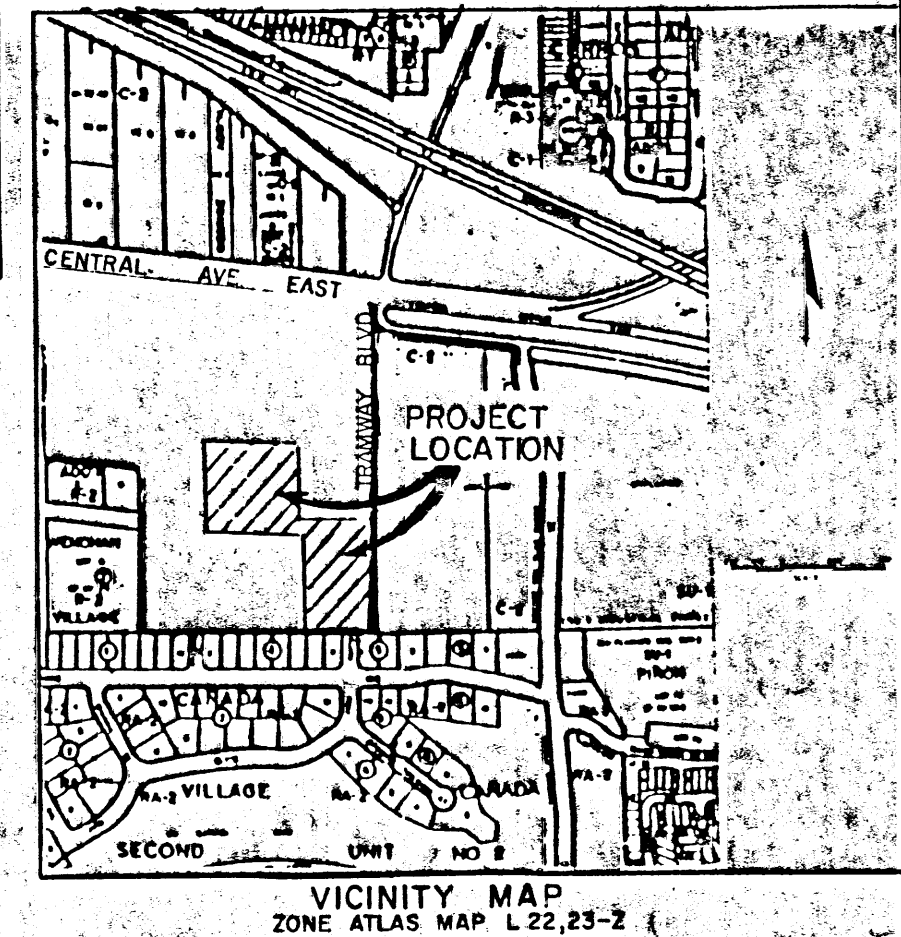
MEDIAN CURB DETAIL
NOT TO SCALE



PARKING LOT PAVEMENT DETAIL
NOT TO SCALE

BRUNING 44-132 64256

LEGAL DESCRIPTION
Tracts A,B,C,G & H, Four Hills Village Shopping Center and Apartment Complex, along with the adjacent parking lot.



GRADING NOTES

1. Prior to grading, the existing surface to be graded shall be stripped of organic matter. These strippings may be placed in berms or in landscaped areas. All other areas shall remain undisturbed.
2. After the surface to receive fill has been exposed, cleaned as appropriate, the resulting surface shall be scarified to a depth of 8 inches and recompacted as for compacted fill. The contractor shall obtain approval by the Geotechnical Engineer before any fill is placed.
3. No frozen material shall be placed in fill.
4. All material placed in fill shall have been excavated on this project from an approved borrow area.
5. Do not puddle or jet backfill.
6. Site fill material shall not contain rocks or lumps greater than 6 inches in diameter. The plasticity index shall not exceed 15.
7. Fill material shall be placed in horizontal layers not to exceed 8 inches, watered as necessary, and compacted to a density of not less than 95% of maximum dry density for building pads and pavement and 90% of maximum dry density for embankments. Moisture content at the time of compaction shall be in accordance with ASTM D 1557.
8. Slopes shall not exceed 3:1 (horizontal-vertical) throughout the site.
9. Grading tolerances shall be $\pm .20'$ in areas where slopes are 2% or less and $\pm 0.30'$ in areas where slopes are greater than 2%.
10. Grading operations shall be performed in a manner which meets all current City, State and Federal dust control regulations.
11. Grading contractor must obtain a copy of the soils report entitled "Geotechnical Investigation Report Proposed Shopping Center Tramway Boulevard and Central Avenue S.E." SHB Job no. E84-1132 from Sergeant, Hauskins and Beckwith.

SEE LANDSCAPING PLANSHEET L-1 FOR TRIANGULAR TREE PLANTERS

1' Sidewalk Culvert as per COA Std. Dwg. K-16

100 YEAR WATER SURFACE ELEVATION 31.86

1' Sidewalk Culvert as per COA Std. Dwg. K-16

BENCH MARK

ACS BENCH MARK 2-L22 LOCATED AT THE INTERSECTION OF CENTRAL AVE. AND TRAMWAY BLVD. IN THE WEST MEDIAN NOSE. THE STATION IS A STANDARD BRASS TABLET CEMENTED IN A DRILL HOLE ON TOP OF A CONCRETE CURB. THE STATION IS STAMPED "2-L22, 1975 ACS" ELEVATION = 5659.963 (MSLD)

RECEIVED
JAN 23 1987
HYDROLOGY SECTION

REVISED DEC 30, 1986

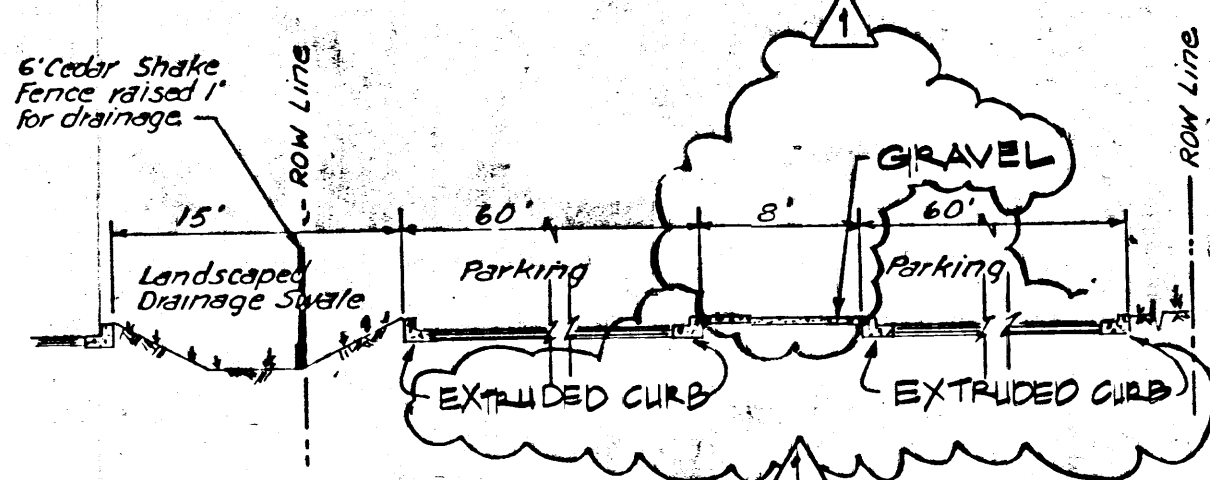
FOUR HILLS VILLAGE
TRAMWAY BLVD & CENTRAL AVE.

DRAINAGE/GRADING PLAN

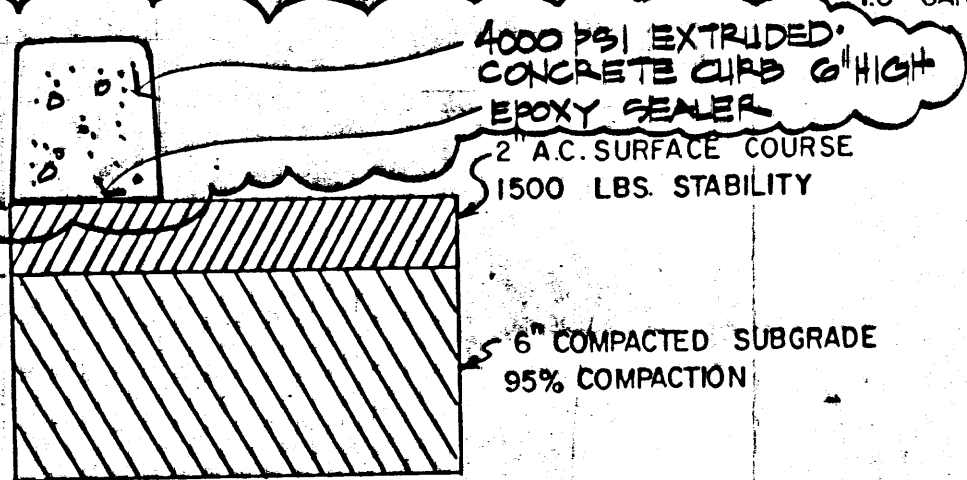
Project No.	62092	Sheet	1	Of	1
Drawn By	LAD	Date	6/86		
Checked By	DBT	Scale	1"=50'		

- LEGEND
- PROPERTY LINE
 - - - EXISTING CONTOUR
 - - - EXISTING CURB & GUTTER
 - - - PROPOSED CURB & GUTTER
 - DIRECTION OF DRAINAGE FLOW
 - EXISTING SPOT ELEVATION
 - PROPOSED SPOT ELEVATION
 - EXISTING BUILDING
 - PREVIOUS PROPOSED PAD
 - EXISTING WATER VALVE
 - PROPOSED 1' WIDE CURB CUT
 - ROOF DRAIN

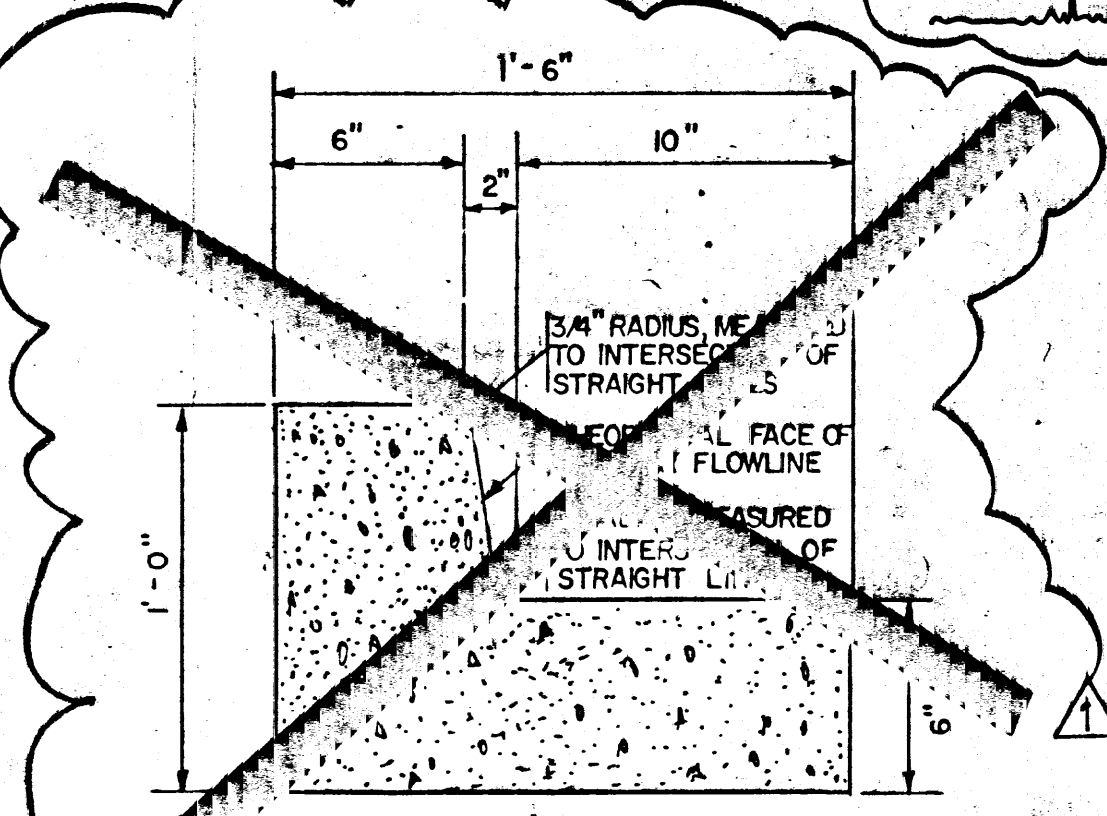
SECTION A-A
NOT TO SCALE



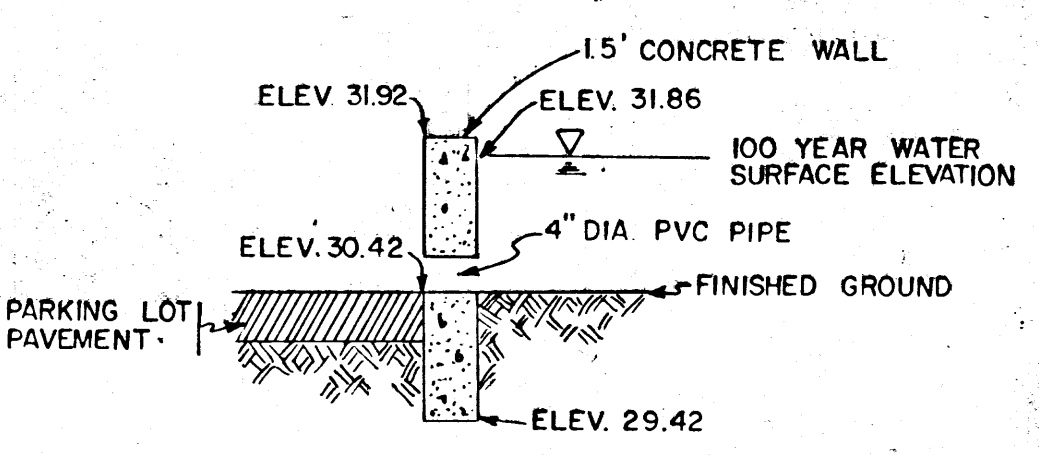
PARKING LOT
PAVEMENT DETAIL.
NOT TO SCALE



MEDIAN CURB DETAIL
NOT TO SCALE

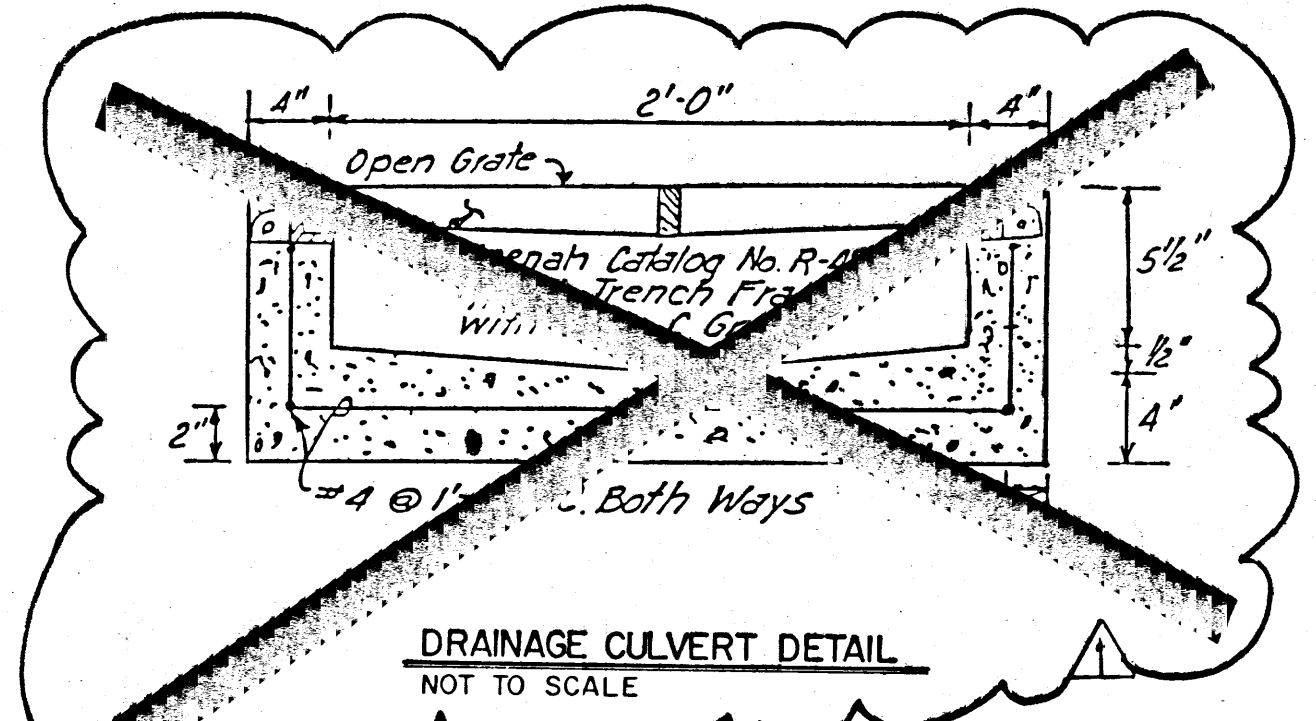


OUTLET PIPE DETAIL
NOT TO SCALE



NOTE: DRAINAGE CULVERT WILL BE CONSTRUCTED DURING PHASE III

DRAINAGE CULVERT DETAIL
NOT TO SCALE



WENONAH AVENUE S.E.

HUNTER'S
RIDGE
APARTMENTS

TRAMWAY BLVD.
156 ROW

THEATERS
FF=35.5

FF=35.5
SHOPS

FF=35.5
SHOPS

FF=37.5
SHOPS

FF=35.5
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