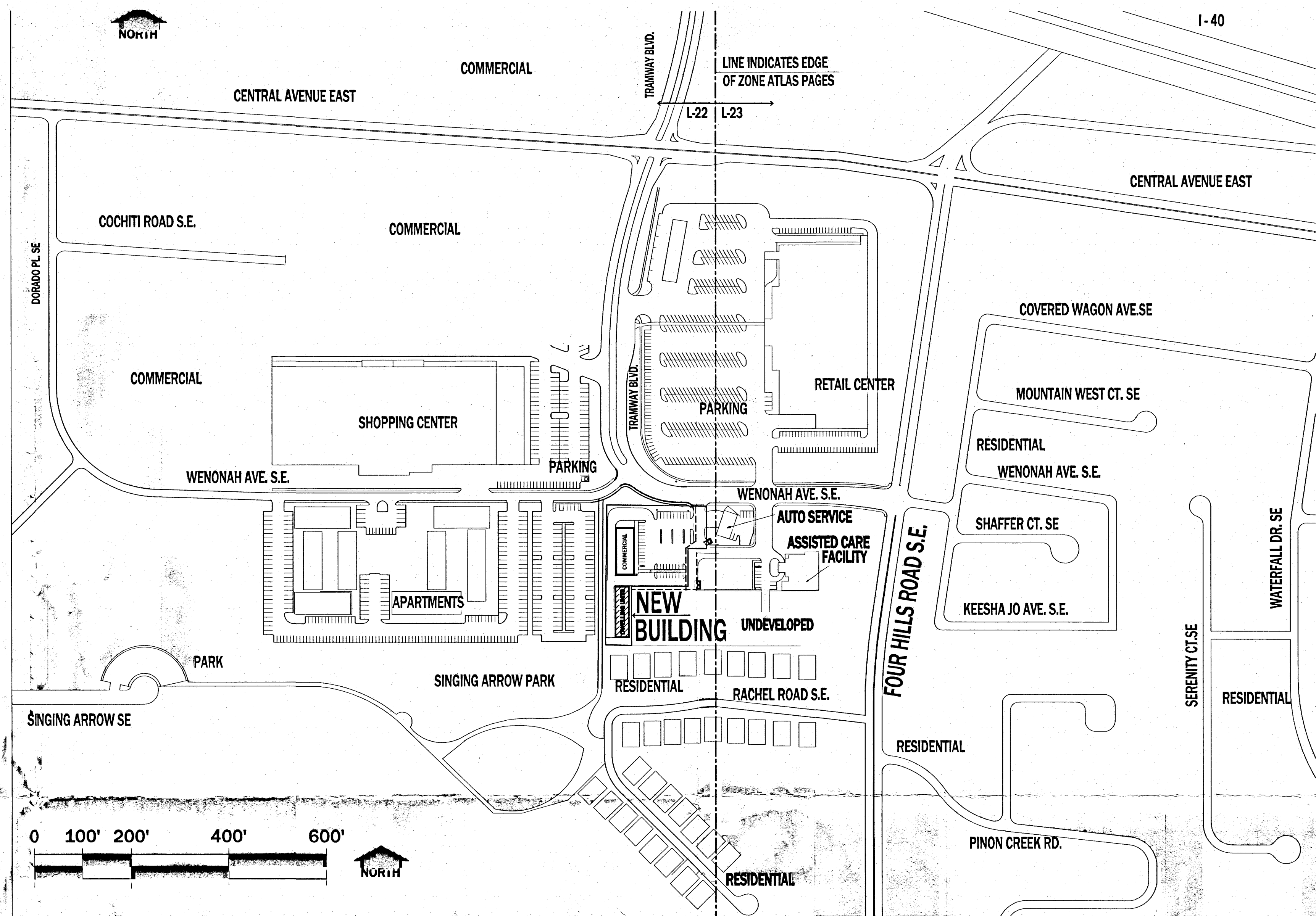
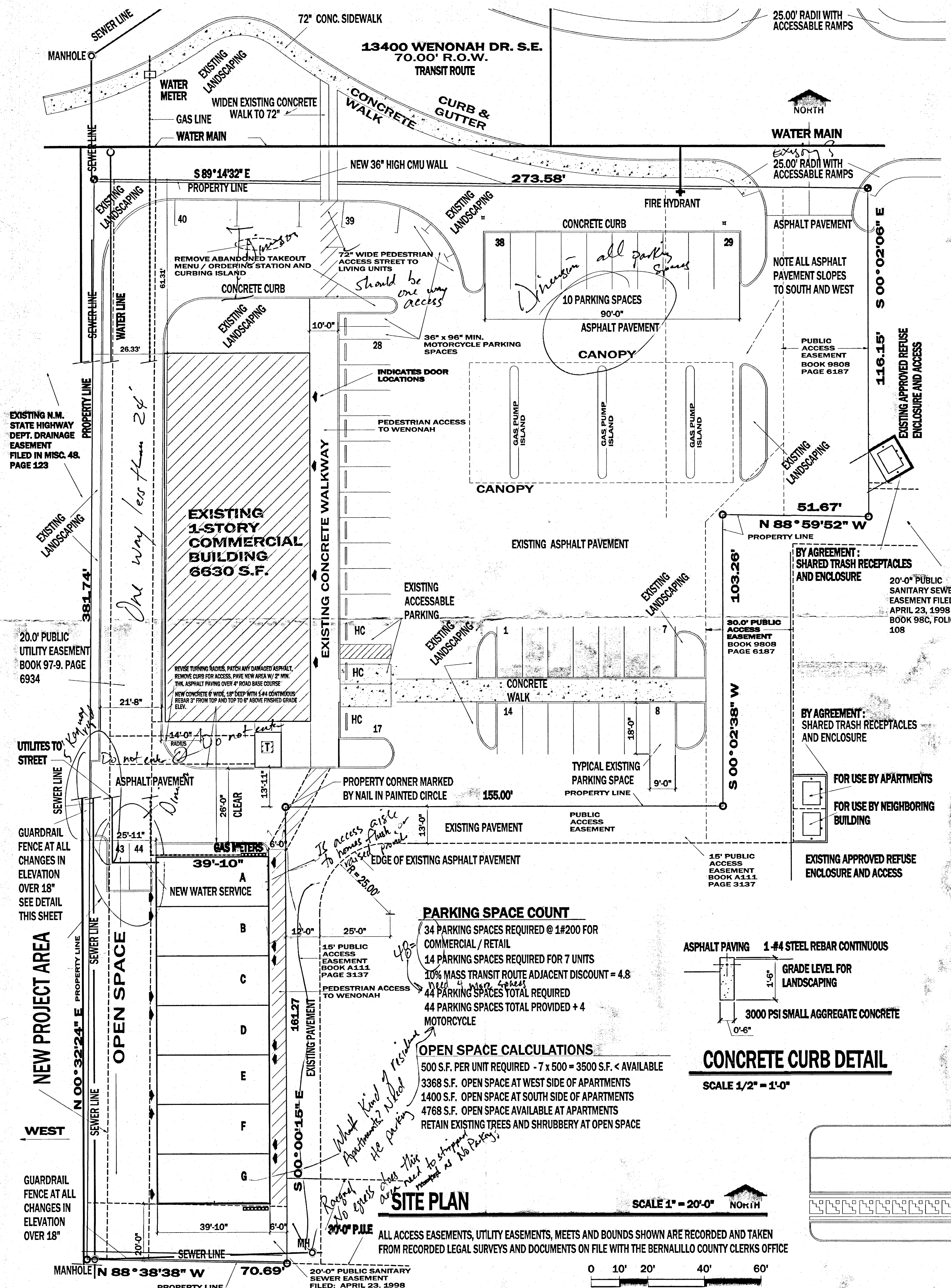




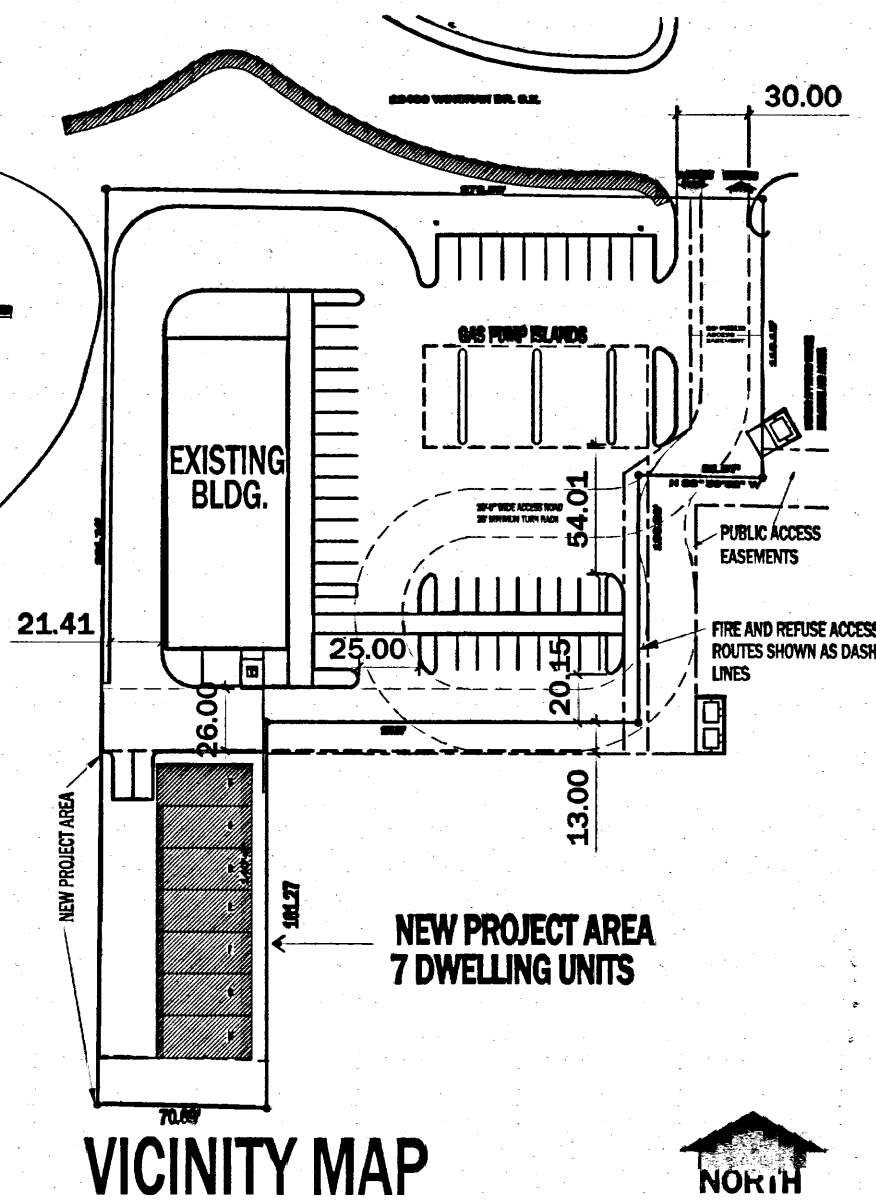
PARKING ACCESS STATEMENT

ISSUANCE OF BUILDING PERMIT CONSTITUTES EXECUTION AND AGREEMENT TO THE FOLLOWING STATEMENT BY OWNER, OWNERS, PRESENT AND FUTURE, CORPORATE OR OTHERWISE OF PRESENT PROPERTY PARCEL: ALL DWELLING OCCUPANTS SHALL ALWAYS HAVE ACCESS TO ALL VEHICULAR PARKING ON THIS PARCEL IN PERPETUITY REGARDLESS CHANGE OF USE, CONDITION OR OWNERSHIP OF ONSITE BUILDINGS AND CHATTEL

PROJECT DATA

THIS PROJECT PREPARED AS TO CONFORM WITH THE "EAST GATEWAY SECTOR DEVELOPEMENT PLAN" TO BE DWELLING UNITS IN A PARCEL ZONED SU-2/EG-CAC AS APPROVED BY C.O.A. PLANNING DEPT. DWELLING UNIT USE TO HAVE NO DIVIDING PROPERTY LINES OR PRIVATE BACKYARDS UNUSED CAR WASH BUILDING TO BE DEMOLISHED AND SITE PREPARED FOR NEW BUILDING CONCEPT: TO BUILD DWELLING UNITS IN AN UNDERUSED PORTION OF AN EXISTING LOT. THE LOCATION SEEMS WELL SUITED FOR THIS USE BY PROXIMITY AND EASE OF ACCESS TO COMMERCIAL COMMUNITY BUSINESSES. THE NEARBY OFFERRINGS OF THE COMMERCIAL ACTIVITY PROVIDE BASIC NEEDS AND ARE EASILY ACCESSABLE BY PEDESTRIAN WALKWAYS, BICYCLE USE OR MASS TRANSIT. THIS USE WILL PROVIDE CUSTOMER ACTIVITY TO THE ADJACENT COMMERCIAL BUSINESSES. IT WILL PROVIDE PARK USERS TO SINGING ARROW PARK ON THE WEST AND SOUTH. CONTINUING COUNTER CLOCKWISE IS RESIDENTIAL DEVELOPEMENT TO THE SOUTH AND EASTWARD AS A SIMILAR USE. ON THE EAST IS AN UNDEVELOPED AREA OF THE SAME ZONING DESIGNATION BEING DEVELOPED AS A GROUP RESIDENTIAL FACILITY AGAIN A SIMILAR USE

Raquel
Why is this provided?

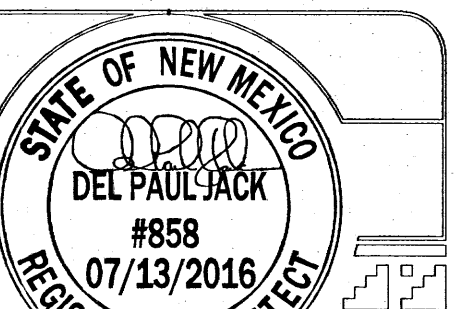


C.O.A. BUILDING PERMIT# 201593140 UPC# 102305600029920115
EAST GATEWAY SDP

EAST GATEWAY DWELLING UNITS

13400 WINONAH DR. S.E. ALBUQUERQUE, NEW MEXICO

3005 ARNO STREET N.E., ALBURQUERQUE, NUEVO MEXICO 87107 505.235.2670 DEL PAUL JACK ARCHITECT



SHEET TCL 1.0