

# CITY OF ALBUQUERQUE



August 31, 2016

Del Paul Jack  
Del Jack  
3005 Arno St NE  
Albuquerque, NM 87123

**Re:** East Gateway Dwelling Units  
**13400 Wenonah Dr NE**  
**Traffic Circulation Layout**  
Architect's Stamp 07-13-16 (L22D033A1)

Dear Mr. Jack,

Based upon the information provided in your submittal received 08-24-16, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. The number of parking spaces provided does not match the total required. Please provide number of ADA, motorcycle and bicycle parking required and provided for this site.
2. Identify the right of way width, medians, curb cuts, and street widths on Wenonah Ave.
3. Please list the width and length for all existing and proposed parking spaces. Some dimensions are not shown.
4. Motorcycle parking spaces must be visible to the entrance of the building.
5. A bicycle rack must be provided for the dwelling units.
6. The handicap accessible spaces must be a minimum of 8.5 ft. in width.
7. The handicap accessible spaces must include an access aisle. Van accessible aisles should be 8ft wide; all others should be 5ft wide.
8. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."** Please call out detail and location of HC signs.
9. The ADA access aisles shall have the words **"NO PARKING"** in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)
10. Provide detail including dimensions for pedestrian and vehicular access to the dwelling units.
11. A 5 ft. keyway is required for dead-end parking aisles.

PO Box 1293

Albuquerque

New Mexico 87103

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12. Provide a min 6" or max 8" high concrete barrier curb or other acceptable barrier between landscaping and parking areas and/or drive aisles. Please call out detail and location of barrier curb.
13. Dimension the drive aisle on the north side of the existing building from the perpendicular parking spaces to the concrete curb.
14. All drive aisle less than 24' may only be used at one-way access.
15. One-way vehicular paths require pavement directional signage and a posted **"Do Not Enter"** sign at the point of egress. Please show detail and location of posted signs.
16. Show the clear sight triangle and add the following note to the plan:  
"Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in the clear sight triangle.
17. Please specify the City Standard Drawing Number when applicable.
18. Please include a copy of your shared access agreement with the adjacent property owner.
19. Add a note stating "All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter." A build note must be provided referring to the appropriate City Standard drawing.
20. Please include two copies of the traffic circulation layout at the next submittal.

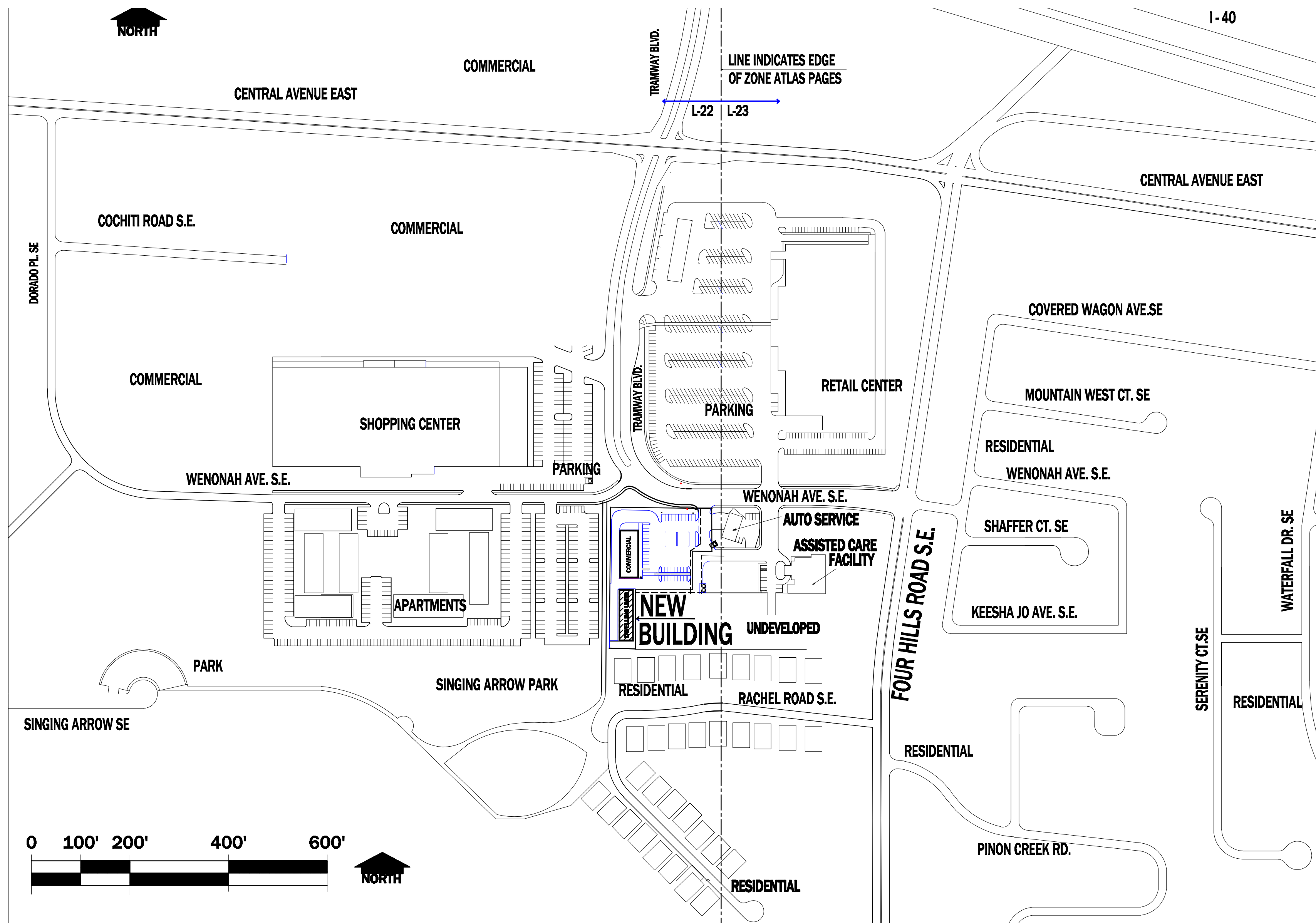
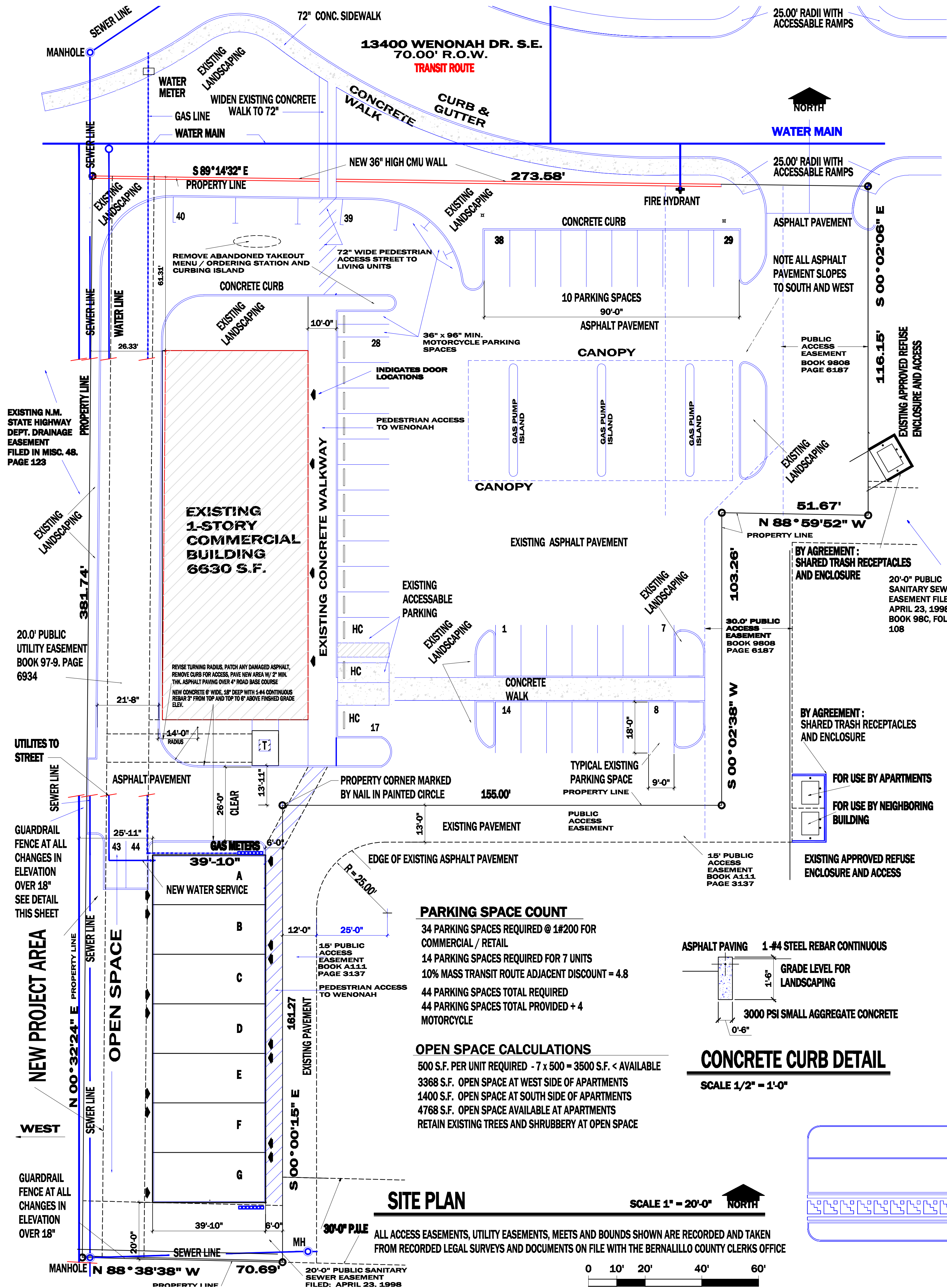
Resubmit a revised plan along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. PDF copies of the plans and submittal package must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) at time of resubmittal. If you have any questions, please contact Monica Ortiz (505) 924-3981 or me at 924-3991.

Sincerely,

Racquel M. Michel, P.E.  
Traffic Engineer, Planning Dept.  
Development Review Services

mao via: email  
C: File

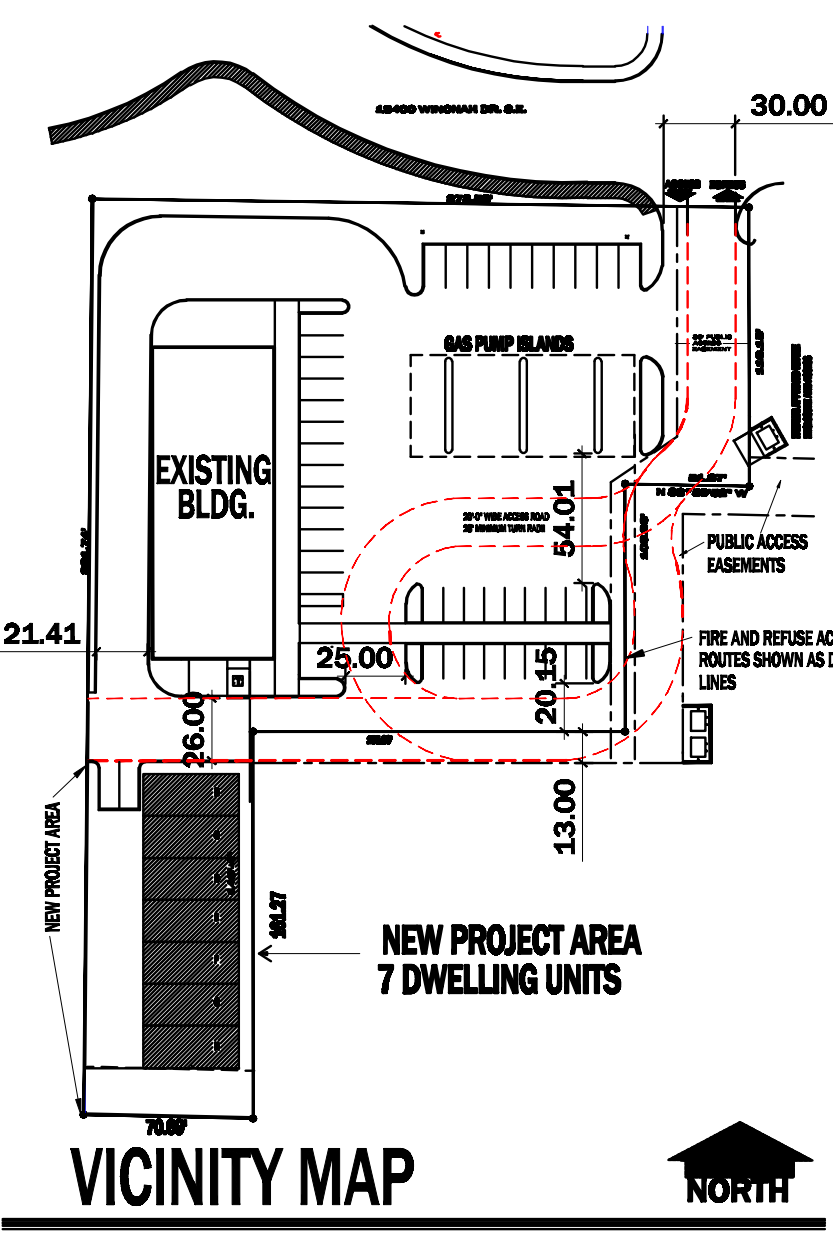




PROJECT ADDRESS: 13400 WINONAH DRIVE N.E. ALBUQUERQUE, NM	
LEGAL DESCRIPTION:	TRACT 1 - A - 1 FOUR HILLS SHOPPING CENTER & APARTMENT COMPLEX
OFF-STREET PARKING PROVIDED FOR 55 PARKING SPACES	
TOTAL BUILDING AREA:	10984 SQ. FT.
TOTAL ALLOWABLE BUILDING AREA:	ULIMITED. SQ. FT.

**PARKING ACCESS STATEMENT**  
ISSUANCE OF BUILDING PERMIT CONSTITUTES EXECUTION AND AGREEMENT TO THE FOLLOWING STATEMENT BY OWNER, OWNERS, PRESENT AND FUTURE, CORPORATE OR OTHERWISE OF PRESENT PROPERTY PARCEL: ALL DWELLING OCCUPANTS SHALL ALWAYS HAVE ACCESS TO ALL VEHICULAR PARKING ON THIS PARCEL IN PERPETUITY REGARDLESS CHANGE OF USE, CONDITION OR OWNERSHIP OF ONSITE BUILDINGS AND CHATTEL

**PROJECT DATA**  
THIS PROJECT PREPARED AS TO CONFORM WITH THE "EAST GATEWAY SECTOR DEVELOPEMENT PLAN" TO BE DWELLING UNITS IN A PARCEL ZONED SU-2/EG-CAC AS APPROVED BY C.O.A. PLANNING DEPT. DWELLING UNIT USE TO HAVE NO DIVIDING PROPERTY LINES OR PRIVATE BACKYARDS UNUSED CAR WASH BUILDING TO BE DEMOLISHED AND SITE PREPARED FOR NEW BUILDING  
CONCEPT: TO BUILD DWELLING UNITS IN AN UNDERUSED PORTION OF AN EXISTING LOT. THE LOCATION SEEMS WELL SUITED FOR THIS USE BY PROXIMITY AND EASE OF ACCESS TO COMMERCIAL COMMUNITY BUSINESSES. THE NEARBY OFFERRINGS OF THE COMMERCIAL ACTIVITY PROVIDE BASIC NEEDS AND ARE EASILY ACCESSABLE BY PEDESTRIAN WALKWAYS, BICYCLE USE OR MASS TRANSIT. THIS USE WILL PROVIDE CUSTOMER ACTIVITY TO THE ADJACENT COMMERCIAL BUSINESSES. IT WILL PROVIDE PARK USERS TO SINGING ARROW PARK ON THE WEST AND SOUTH. CONTINUING COUNTER CLOCKWISE IS RESIDENTIAL DEVELOPEMENT TO THE SOUTH AND EASTWARD AS A SIMILAR USE. ON THE EAST IS AN UNDEVELOPED AREA OF THE SAME ZONING DESIGNATION BEING DEVELOPED AS A GROUP RESIDENTIAL FACILITY AGAIN A SIMILAR USE



C.O.A. BUILDING PERMIT# 201593140 UPC# 102305600029920115  
EAST GATEWAY SDP

**EAST GATEWAY DWELLING UNITS**  
13400 WINONAH DR. S.E. ALBUQUERQUE, NEW MEXICO  
3005 ARNO STREET N.E., ALBURQUERQUE, NUEVO MEXICO 87107 505.235.2670 DEL PAUL JACK ARCHITECT

STATE OF NEW MEXICO  
DEL PAUL JACK  
#858  
07/13/2016  
REGISTERED ARCHITECT