

August 1, 2007

Mr. Wilfred Gallegos, PE Traffic Engineer City of Albuquerque P.O. Box 1293 Albuquerque, NM 87102

Mr. Bradley Bingham, PE City Hydrologist City of Albuquerque P.O. Box 1293 Albuquerque, NM 87102

RE: Compass Bank

13130 Central Avenue SE Authorization for Certification

Dear Mr. Gallegos & Mr. Bingham:

Civil Consultants hereby authorizes Ronald R. Bohannan, PE, of the firm Tierra West LLC, to perform filed inspections of site work and to certify that construction is in substantial compliance with the design to obtain Temporary and Permanent Certificate of Occupancy for the above-referenced project.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Civil Consultants, Inc.

David M. Moon, New Mexico PE # 13040

SEP 1 0 2007

HYDROLOGY SECTION



Planning Department Transportation Development Services Section

January 15, 2008

Ronald R. Bohannan, P.E., 5571 Midway Park PLace NE Albuquerque, NM 87109

Re: Certification Submittal for Final Building Certificate of Occupancy for

Compass Bank, [L-22 / D33A2] 13140 Central Avenue SE

Engineer's Stamp Dated 01/14/08

Dear Mr. Bohannan:

P.O. Box 1293

The TCL / Letter of Certification submitted on January 14, 2008 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Albuquerque

www.cabq.gov

New Mexico 87103

NII6 E. Salgado-Fernandez, P.E.

Senior Traffic Engineer

Development and Building Services

Planning Department

c: Engineer

Sincerely,

Hydrology file CO Clerk



L-22/D33AZ

PROJECT TITLE: Compass Bank		ZONE MAP/DRG. FILE #: <u>L22-D33A</u>						
DRB #: _	1002591	EPC #:	WORK ORD	ER #: 7116.81				
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	DESCRIPTION:		···					
CITY AD	DRESS:	13140 Central Avenue, SE	· · - · · · · · · · · · · · · · · · · ·					
ENGINE	ERING FIRM:	Tierra West LLC, for Civil Consultants Inc.	CONTACT:	Ronald Bohannan				
	ADDRESS:	5571 Midway Park Place., NE	PHONE:	858-3100				
	CITY, STATE:	Albuquerque, NM	ZIP CODE:	87109				
	OITT, STATE.	Albuqueique, ivivi		01100				
OWNER	•	Compass Bank	CONTACT:	Steve Kirkpatrick				
·	ADDRESS:	15 South 20th Street, Suite 1602	PHONE:	(205) 297-1041				
	CITY, STATE:	Birmingham, AL	ZIP CODE:	35233				
	•							
ARCHIT	ECT:	KPS Group Inc	CONTACT:	Holly Dewar				
	ADDRESS:	2101 First Ave., North	PHONE:	(205) 297-5158				
(CITY, STATE:	Birmingham, AL	ZIP CODE:	35203				
SURVEY	<u>'OR:</u>	Precision Surveys	CONTACT:	Larry Medrano				
	ADDRESS:	8500-A Jefferson NE	PHONE:	(505) 856-5700				
(CITY, STATE:	Albuquerque, NM	ZIP CODE:	87113				
CONTRA		JE Dunn	CONTACT:	Holly Dewar				
	ADDRESS:	17177 Preston R.	PHONE:	(214) 384-7511				
	CITY, STATE:	Dallas, TX	ZIP CODE:	75252				
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	DRAINAGE REF		SIA / FINANACIAL GUARANTEE RELEASE					
	DRAINAGE PLAN 1st SUBMITTAL, REQUIRES TCL or equal			PRELIMINARY PLAT APPROVAL				
	DRAINAGE PLAN RESUBMITTAL			S. DEV. PLAN FOR SUB'D. APPROVAL S. DEV. PLAN FOR BLDG. PERMIT APPROVAL				
	CONCEPTUAL GRADING & DRAINAGE PLAN		SECTOR PLAN APPROVAL					
	GRADING PLAN CROSION CONTROL BLAN			FINAL PLAT APPROVAL				
	EROSION CONTROL PLAN ENGINEER'S CERTIFICATION (HYDROLOGY)			FOUNDATION PERMIT APPROVAL				
	CLOMR/LOMR			BUILDING PERMIT APPROVAL				
	TRAFFIC CIRCULATION LAYOUT (TCL)			X CERTIFICATE OF OCCUPANCY (PERM.)				
		ERTIFICATION (TCL)		TE OF OCCUPANCY (TEMP.)				
		ERTIFICATION (DRB APPR. SITE PLAN)		PERMIT APPROVAL				
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Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a dranage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail.

On a sure of the fellowing levels of sumbitted may be required beard on the following:

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1/14/2008

DATE SUBMITTED:

- 1. Conceptual Grading and Drainage Plans: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.

BY:

Ronald Wright (259-5635)

3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

Park P.K

Midway

5571

858-3100

(505)



TIERRA WEST, LLC

January 14, 2008

Mr. Nilo Salgado-Fernandez, PE Development and Building Services Public Works Department PO Box 1293 Albuquerque, NM 87103

RE: DRB Approved Site Plan Certification for Final Certificate of Occupancy Compass Bank located at 13140 Central Avenue, SE

Dear Mr. Salgado-Fernandez:

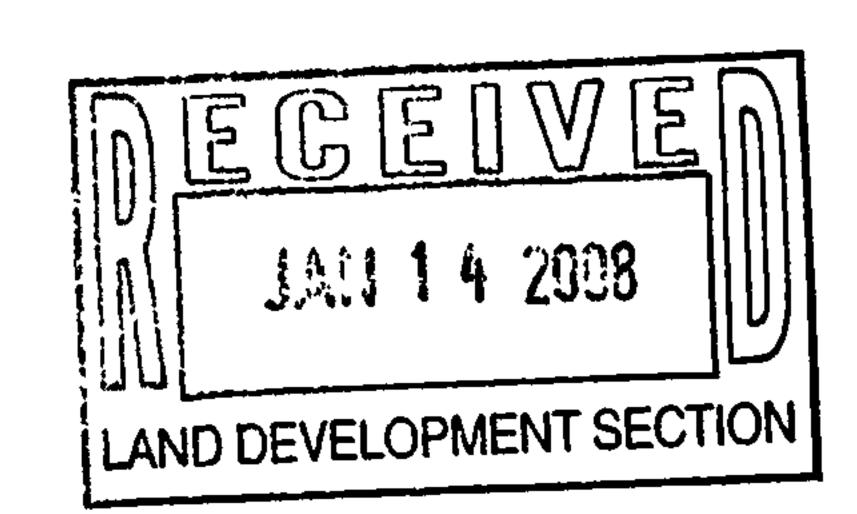
Tierra West, LLC requests a Final Certification of the DRB approved Site Plan for Building Permit for Compass Bank located at 13140 Central Avenue SE. All on-site punch list items are complete. Construction of the Central Avenue Deceleration lane is complete and the street light is relocated. The on-site and off-site construction is in substantial compliance with the approved plans. Enclosed, please find the information sheet, the AsBuilt Administrative Amendment Site Plan for Building Permit and the Approved Site Plan for Building Permit (for reference only). Therefore, we request Final Certificate of Occupancy.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Ronald R. Bohannan, PE

cc: John Millhouse Holly Dewar

JN: 23011 RRB/rw





Planning Department Transportation Development Services Section

November 19, 2007

Ronald R. Bohannan, P.E., Tierra West LLC 5571 Midway Park Place NE Albuquerque, NM 87109

Re: Approval of Temporary Certificate of Occupancy (C.O.) for

Compass Bank, [L-22 / D33A]

13140 Central Avenue

Engineer's Stamp Dated 11/13/07

Dear Mr. Bohannan:

Based on the information provided on your submittal dated November 15, 2007, the above referenced project is approved for a 90-day Temporary C.O.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

A Temporary C.O. has been issued allowing the Street Light Foundation (needs to be relocated outside of sidewalk- current location is middle of sidewalk blocking pedestrian pathway as well as ADA access route) issue to be completed within this time period. When these remaining issues have been fully completed, are in substantial compliance, and a final Certification for Transportation has been resubmitted to the City's Hydrology office for approval, a Permanent C.O. will be issued.

The Certification package for Final C.O. must include an <u>exact</u> copy of the approved TCL, or signed off D.R.B. Site Plan, which is in each of the two City Permit Plan Sets—the contractor's City field set and the City's plan set in the basement of the Plaza Del Sol building. Package also must include a letter of certification on designer's letterhead-stamped with his seal, signed, and dated. Submit package along with fully completed Drainage Information Sheet to front counter personnel for log in and evaluation by Transportation.

If you have any questions, please call me at 924-3630.

1 - 1

Sincerély

Nilo E. Salgado-Fernandez, P.E.

Senior Traffic Engineer

Development and Building Services

Planning Department

C:

Engineer
Hydrology file
CO Clerk

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV. 01/28/2003rd)

PROJECT TITLE:	Compass Bank		DRG. FILE #: L22-D33A Z			
DRB #:1002591	EPC #:	WORK ORD	E <u>R #: 7116 81</u>			
LEGAL DESCRIPTION:	Tract C, Four Hills Village Shopping Center					
CITY ADDRESS:	13140 Central Avenue, SE					
ENGINEERING FIRM:	Tierra West LLC, for Civil Consultants Inc.	CONTACT:	Ronald Bohannan			
ADDRESS:	5571 Midway Park Place., NE	PHONE:	858-3100			
CITY, STATE:	Albuquerque, NM	ZIP CODE:	87109			
<u>OWNER:</u>	Compass Bank	CONTACT:	Steve Kirkpatrick			
ADDRESS:	15 South 20th Street, Suite 1602	PHONE:	(205) 297-1041			
CITY, STATE:	Birmingham, AL	ZIP CODE:	35233			
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ARCHITECT: ADDRESS:	KPS Group Inc	CONTACT: PHONE:	Holly Dewar (205) 297-5158			
CITY, STATE:	2101 First Ave., North Birmingham, AL	ZIP CODE:	35203			
CITT, STATE.	Diffinition AL		33203			
SURVEYOR:	Precision Surveys	CONTACT:	Larry Medrano			
ADDRESS:	8500-A Jefferson NE	PHONE:	(505) 856-5700			
CITY, STATE:	Albuquerque, NM	ZIP CODE:	87113			
CONTRACTOR:	JE Dunn	CONTACT:	Holly Dewar			
ADDRESS:	17177 Preston R.	PHONE:	(214) 384-7511			
CITY, STATE:	Dallas, TX	ZIP CODE:	75252			
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	DRAINAGE REPORT		SIA / FINANACIAL GUARANTEE RELEASE			
	DRAINAGE PLAN 1st SUBMITTAL, REQUIRES TCL or equal		PRELIMINARY PLAT APPROVAL			
<del></del>	DRAINAGE PLAN RESUBMITTAL CONCEPTUAL GRADING & DRAINAGE PLAN		S. DEV. PLAN FOR SUB'D. APPROVAL S. DEV. PLAN FOR BLDG. PERMIT APPROVAL			
	GRADING PLAN		SECTOR PLAN APPROVAL			
<del></del>	EROSION CONTROL PLAN		FINAL PLAT APPROVAL			
	ENGINEER'S CERTIFICATION (HYDROLOGY)		FOUNDATION PERMIT APPROVAL			
CLOMR/LOMR			PERMIT APPROVAL			
TRAFFIC CIRC	TRAFFIC CIRCULATION LAYOUT (TCL)		X CERTIFICATE OF OCCUPANCY (PERM.)			
ENGINEERS CE	ERTIFICATION (TCL)	CERTIFICAT	TE OF OCCUPANCY (TEMP.)			
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WAS A PRE-DESIGN CONFERENCE ATTENDED: YES			NOV 1 5 2007			
NO						
COPY PROVIDE	ED		YDROLOGY SECTION			
DATE SUBMITTED:	11/14/2007	BY: Ronald Wrig	ght ( <u>259-</u> 5635)			

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a dranage submittal.

The particular nature, location and scope of the proposed development defines the degree of drainage detail.

One or more of the following levels of sumbittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plans: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

5571 Midway Park Place NE Albuquerque, NM 87109

(505) 858-3100 fax (505) 858-1118 twllc@tierrawestllc.com 1-800-245-3102

November 13, 2007

Mr. Nilo Salgado-Fernandez, PE Development and Building Services Public Works Department PO Box 1293 Albuquerque, NM 87103

RE: DRB Approved Site Plan Certification

for Final Certificate of Occupancy

Compass Bank located at 13140 Central Avenue, SE

Dear Mr. Salgado-Fernandez:

Tierra West, LLC requests a Final Certification of the DRB approved Site Plan for Building Permit for Compass Bank located at 13140 Central Avenue SE. All on-site punch list items are complete. Construction of the Central Avenue Deceleration lane is complete. The on-site and off-site construction is in substantial compliance with the approved plans. Enclosed, please find the information sheet, the As-Built Administrative Amendment Site Plan for Building Permit and the Approved Site Plan for Building Permit (for reference only). Therefore, we request Final Certificate of Occupancy.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,

Enclosure/s

cc: John Millhouse Holly Dewar

JN: 23011 RRB/rw Ronald R. Bohannan, PE

23011 Nilo Perm CO 111207



#### Planning Department Transportation Development Services Section

August 17, 2007

Ronald R. Bohannan, P.E., Tierra West, LLC 5571 Midway Park Place NE Albuquerque, NM 87109

Re: Approval of Temporary Certificate of Occupancy (C.O.) for

Compass Bank, [L-22 / D33A2]

13140 Central Avenue

Engineer's Stamp Dated 08/16/07

Dear Mr. Bohannan:

Based on the information provided on your submittal dated August 17, 2007, the above referenced project is approved for a 90-day Temporary C.O.

P.O. Box 1293

A Temporary C.O. has been issued allowing the outstanding deceleration Lane and signing issues to be completed within this time period. When these remaining issues have been fully completed, are in substantial compliance, and a final Certification for Transportation has been resubmitted to the City's Hydrology office for approval, a Permanent C.O. will be issued.

Albuquerque

New Mexico 87103

www.cabq.gov

The Certification package for Final C.O. must include an <u>exact</u> copy of the approved TCL, or signed off D.R.B. Site Plan, which is in each of the two City Permit Plan Sets—the contractor's City field set and the City's plan set in the basement of the Plaza Del Sol building. Package also must include a letter of certification on designer's letterhead-stamped with his seal, signed, and dated. Submit package along with fully completed Drainage Information Sheet to front counter personnel for log in and evaluation by Transportation.

If you have any questions, please call me at 924-3630.

Sincerely,

Nilo F. Salgado-Fernandez, P.E.

Senior Traffic Engineer

Development and Building Services

Planning Department

C:

Engineer
Hydrology file
CO Clerk

5571 Midway Park Place NE Albuquerque, NM 87109

(505) 858-3100 fax (505) 858-1118

twllc@tierrawestllc.com 1-800-245-3102

August 16, 2007

Mr. Nilo Salgado-Fernandez, PE Development and Building Services Public Works Department PO Box 1293 Albuquerque, NM 87103

RE:

DRB Approved Site Plan Certification for 30-Day Temporary Certificate of Occupancy

Compass Bank

13140 Central Avenue, SW

Dear Mr. Salgado-Fernandez:

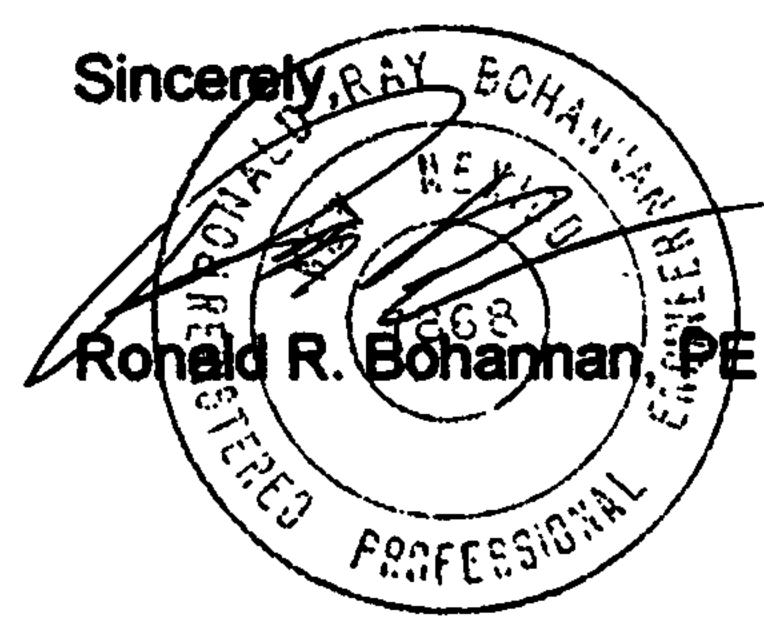
Tierra West, LLC requests a 30 Day-Temporary Certification of the DRB approved Site Plan for Building Permit for Compass Bank located at 13140 Central Avenue SW. The items remaining for completion are construction of the Central Avenue Deceleration Lane and installation of two "Do Not Enter" signs. Per Wilfred Gallegos, the building will not be allowed access to customers until he has approved the construction of the deceleration lane. The purpose of the Temporary Certificate of Occupancy, at this time, is to allow bank employees and bank sub-contractors access to the building. Enclosed, please find the information sheet, the As-Built Administrative Amendment Site Plan for Building Permit and the Approved Site Plan for Building Permit (for reference only). Therefore, we request Certification of the As-Built Administrative Amendment Site Plan for Building Permit for a 30-Day Temporary Certificate of Occupancy.

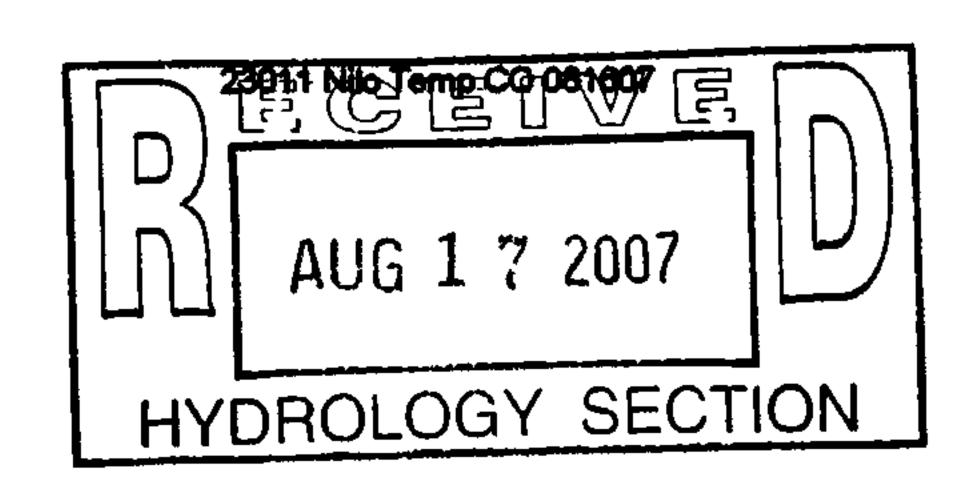
If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Endosure/s

cc: John Millhouse Holly Dewar

JN: 23011 RRB/rw





# DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV. 01/28/2003rd)

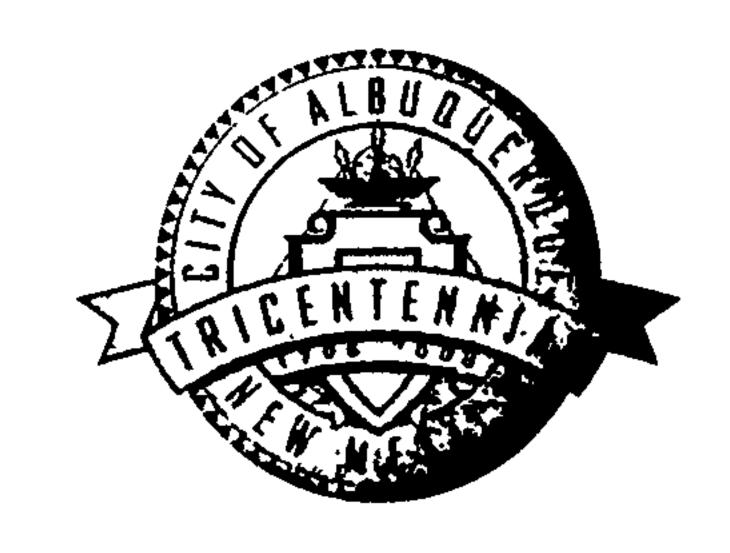
PROJECT TITLE:	Compass Bank •		ZONE MAP/	DRG. FILE #	t: L22-D33A Z		
DRB #:1002591	EPC #:		WORK ORD	E <u>R #:</u>	7116.81		
LEGAL DESCRIPTION:	Tract C, Four Hills Village Shopping Center						
CITY ADDRESS:	13140 Central Avenue, NE	-					
ENGINEERING FIRM:	Tierra West LLC, for Civil Consultants Inc.		CONTACT:	Ronald Bol	hannan		
ADDRESS:	5571 Midway Park Place., NE		PHONE:	858-3100	<u>.                                    </u>		
CITY, STATE:	Albuquerque, NM		ZIP CODE:	87109			
OMMED:	Compace Bank		CONTACT:	Dobort Sto	aktan		
OWNER: ADDRESS:	Compass Bank		PHONE:	Robert Sto			
CITY, STATE:	<del></del>		ZIP CODE:	(205) 297-	1041		
CITT, STATE.			ZIF CODE.		<u> </u>		
ARCHITECT:	KPS Group Inc		CONTACT:	Holly Dewa	) m		
ADDRESS:	2101 First Ave., North		PHONE:	(205) 251-0			
CITY, STATE:	Birmıngham, AL		ZIP CODE:	35203			
SURVEYOR:	Precision Surveys		CONTACT:	Larry Medra	ano		
ADDRESS:	8500-A Jefferson NE		PHONE:	(505) 856-5	5700		
CITY, STATE:	Albuquerque, NM		ZIP CODE:	87113			
CONTRACTOR:	JE Dunn		CONTACT:		· · · · · · · · · · · · · · · · · · ·		
ADDRESS:	17177 Preston R.	<u>.</u>	PHONE:	(214) 384-7	7511		
CITY, STATE:	Dallas, TX		ZIP CODE:	75252			
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OTHER	OTHER		PAVING PERMIT APPROVAL				
			•	ER APPROV			
		<del></del>	OTHER (SP	ECIFY)	Drainage Approval		
WAS A PRE-DESIGN CON	FERENCE ATTENDED:						
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X NO							
COPY PROVIDE	ED						
DATE SUBMITTED:		BY:	Ronald Wrig	thr (259-5	635)		
			TOTICE MITTE	, ( <i>&amp;JJ</i> -J	<del></del>		
Requests for approvals of S	Site Development Plans and/or Subdivision Plats sh	all be acco	ompanied by a	dranage subr	mittal.		
The particular nature, locati	on and scope of the proposed development defines	s the degre	e of drainage o	detail.			
One or more of the following	g levels of sumbittal may be required based on the	following:					

1. Conceptual Grading and Drainage Plans: Required for approval of Site Development Plans greater than five

2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.

3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more

(5) acres and Sector Plans.



September 21, 2007

Ronald Bohannan, P.E. Tierra West, LLC 5571 Midway Park Place NE Albuquerque, NM 87109

Re: Compass Bank Central and Tramway Office, 13140 Central Ave NE,

Permanent Certificate of Occupancy

Engineer's Stamp dated 3-05-03 (L22-D33A2)

Certification dated 9-21-07

Dear Mr. Bohannan,

P.O. Box 1293

Based upon the information provided in your submittal received 9-21-07, the above referenced certification is approved for release of permanent Certificate of Occupancy by Hydrology.

Albuquerque

If you have any questions, you can contact me at 924-3981.

New Mexico 87103

Kristal D. Metro, P.E.

Sincerely,

www.cabq.gov

Senior Engineer, Planning Dept.

Development and Building Services

C: CO Clerk File Check for letter for out of state en,

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 01/28/2003rd)

PROJECT TITLE: ZONE MAP/DRG. FILE #: L22-D33A Compass Bank **EPC** #: **WORK ORDER #:** DRB #: 1002591 7116.81 LEGAL DESCRIPTION: Tract C, Four Hills Village Shopping Center CITY ADDRESS: 13140 Central Avenue, NE **ENGINEERING FIRM:** CONTACT: Tierra West LLC, for Civil Consultants Inc. Ronald Bohannan ADDRESS: PHONE: 5571 Midway Park Place., NE 858-3100 ZIP CODE: CITY, STATE: Albuquerque, NM 87109 OWNER: CONTACT: Compass Bank Steve Kirkpatrick ADDRESS: PHONE: 15 South 20th Street, Suite 1602 (205) 297-1041 CITY, STATE: ZIP CODE: Birmingham, AL 35233 ARCHITECT: CONTACT: KPS Group Inc Holly Dewar PHONE: ADDRESS: 2101 First Ave., North (205) 297-5158 CITY, STATE: ZIP CODE: Birmingham, AL 35203 **SURVEYOR:** CONTACT: Precision Surveys Larry Medrano ADDRESS: PHONE: 8500-A Jefferson NE (505) 856-5700 ZIP CODE: CITY, STATE: Albuquerque, NM 87113 **CONTRACTOR:** CONTACT: JE Dunn **Holly Dewar** ADDRESS: PHONE: 17177 Preston R. (214) 384-7511 ZIP CODE: CITY, STATE: Dallas, TX 75252 CHECK TYPE OF SUBMITTAL: CHECK TYPE OF APPROVAL SOUGHT: DRAINAGE REPORT SIA / FINANACIAL GUARANTEE RELEASE DRAINAGE PLAN 1st SUBMITTAL, REQUIRES TCL or equal PRELIMINARY PLAT APPROVAL DRAINAGE PLAN RESUBMITTAL S. DEV. PLAN FOR SUB'D. APPROVAL S. DEV. PLAN FOR BLDG. PERMIT APPROVAL CONCEPTUAL GRADING & DRAINAGE PLAN **GRADING PLAN** SECTOR PLAN APPROVAL **EROSION CONTROL PLAN** FINAL PLAT APPROVAL ENGINEER'S CERTIFICATION (HYDROLOGY) FOUNDATION PERMIT APPROVAL **BUILDING PERMIT APPROVAL** CLOMR/LOMR TRAFFIC CIRCULATION LAYOUT (TCL) CERTIFICATE OF OCCUPANCY (PERM.) ENGINEERS CERTIFICATION (TCL) CERTIFICATE OF OCCUPANCY (TEMP.) ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN) GRADING PERMIT APPROVAL OTHER PAVING PERMIT APPROVAL WORK ORDER APPROVAL OTHER (SPECIFY) F [ [ ] WF WAS A PRE-DESIGN CONFERENCE ATTENDED: SEP 2 1 2007 YES 2007 NO HYDROLOGY SECTION COPY PROVIDED

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9/21/2007

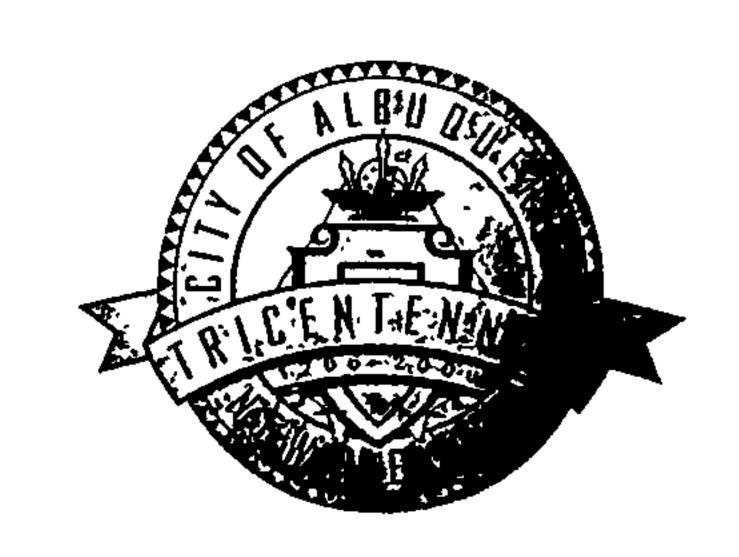
DATE SUBMITTED:

- 1. Conceptual Grading and Drainage Plans: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.

BY:

Ronald Wright (259-5635)

3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



August 22, 2007

Ronald Bohannan, P.E. Tierra West, LLC 5571 Midway Park Place NE Albuquerque, NM 87109

Re: Compass Bank, 13140 Central Ave. NE,

Approval of 90-Day Temporary Certificate of Occupancy (C.O.)

Engineer's Stamp dated 03/05/2003 (L-22/D033A2)

Certification dated 08/16/2007

Based upon the information provided in your submittal received 08/16/2007, the above referenced certification is approved for release of 90-day Temporary Certificate of Occupancy by Hydrology.

Upon final Engineer Certification of project site, please resubmit an updated Certification for Permanent C.O.

If you have any questions, you can contact me at 924-3982.

Sincerely, New Mexico 87103

P.O. Box 1293

Albuquerque

www.cabq.gov

Timothy Sims Plan Checker

Development and Building Services

CO Clerk-Katrina Sigala File

Albuquerque - Making History 1706-2006

(REV. 01/28/2003rd)

PROJECT TITLE:	Compass Bank	<del></del>	/DRG. FILE #: <u>L22-D33A</u> 2			
DRB #:1002591	EPC #:	WORK OR	DE <u>R #: 7116.81</u>			
LEGAL DESCRIPTION:	Tract C, Four Hills Village Shopping Center					
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<b>ENGINEERING FIRM:</b>	Tierra West LLC, for Civil Consultants Inc.	CONTACT:	Ronald Bohannan			
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CITY, STATE:	Albuquerque, NM	ZIP CODE:	87109			
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ADDRESS:		PHONE:	(205) 297-1041			
CITY, STATE:	<del></del>	ZIP CODE:	<del></del>			
ARCHITECT:	KPS Group Inc	CONTACT:	Holly Dewar			
ADDRESS:	2101 First Ave., North	PHONE:	(205) 251-0125			
CITY, STATE:	Birmingham, AL	ZIP CODE:	35203			
O , O						
SURVEYOR:	Precision Surveys	CONTACT:	Larry Medrano			
ADDRESS:	8500-A Jefferson NE	PHONE:	(505) 856-5700			
CITY, STATE:	Albuquerque, NM	ZIP CODE:	87113			
CONTRACTOR:	JE Dunn	CONTACT:	······································			
ADDRESS:	17177 Preston R	PHONE:	(214) 384-7511			
CITY, STATE:	Dallas, TX	ZIP CODE:	75252			
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	ENGINEERS CERTIFICATION (TCL)		X CERTIFICATE OF OCCUPANCY (TEMP.)			
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			LAND DEVELOPMENT SECTION			
DATE SUBMITTED:		į	ght (259-5635)			
			-Arre 1577-2027)			

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a dranage submittal.

The particular nature, location and scope of the proposed development defines the degree of drainage detail.

One or more of the following levels of sumbittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plans: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



# City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

June 18, 2003

Tony Alldridge Civil Consultants 3510 Vann Rd, Ste 102 Birmingham, AL 35235

RE: Compass Bank Grading and Drainage Plan (L-22/D33A2)

Engineer's Stamp Dated March 5, 2003 by David Moon

Dear Mr. Alldridge:

The above referenced grading and drainage plan received April 24, 2003 is approved for Grading Permit, Building Permit and Work Order approval by Hydrology at the Design Review Committee. Please attach a copy of the approved plan to the construction set. Upon completion of the project and Work Order, the engineer will need to certify the project per the Development Process Manual for Certificate of Occupancy release.

If you have any questions please call me at 924-3982.

Sincerely,

Carlos A. Montoya. PE

City Floodplain Administrator

#### DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 01/28/2003rd)

PROJECT TITLE: <u>COMPASS BANK</u>		ZONE MAP/DRG. FILE #: 122-13372 WORK ORDER #:				
DRB #:	EPC #:	_ WORK ORD				
LEGAL DESCRIPTION: CITY ADDRESS:	TRACT C, FOUR HILLS VILLAGE SHOPE	PING CENTER & APT				
ENGINEERING FIRM:	CIVIL CONSULTANTS	CONTACT:	TONY ALLDRIDGE			
ADDRESS:	3510 VANN ROAD STE 102	PHONE:	(205)655-1991			
CITY, STATE:	BIRMINGHAM, AL	ZIP CODE:	35235			
OWNER:	COMPASS BANK	CONTACT:	ROBERT STOCKTON			
ADDRESS:		PHONE:	205)251-0125			
CITY, STATE:		ZIP CODE:				
ARCHITECT:	KPS GROUP INC	CONTACT:	ROBERT STOCKTON			
ADDRESS:	2101 FIRST AVE NORTH	PHONE:	205)251-0125			
CITY, STATE:	BIRMINGHAM, AL	ZIP CODE:	35203 ·			
SURVEYOR:	PRECISION SURVEYS	CONTACT:	LARRY MEDRANO			
ADDRESS:	8414-D JEFFERSON NE	PHONE:	(505)856-5700			
CITY, STATE:	ALBUQUERQUE, NM	ZIP CODE:	87113			
CONTRACTOR:		CONTACT:				
ADDRESS:		PHONE:				
CITY, STATE:		ZIP CODE:				
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DRAINAGE RE	PORT	SIA / FINAN	ACIAL GUARANTEE RELEASE			
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	GRADING & DRAINAGE PLAN		AN FOR BLDG. PERMIT APPROVAL			
	X GRADING PLAN EROSION CONTROL PLAN		SECTOR PLAN APPROVAL			
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ENGINEERS C	ERTIFICATION (DRB APPR. SITE PLAN)					
OTHER						
		X WORK ORE	DER APPROVAL			
		OTHER (SP	PECIFY)			
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COPY PROVID						
	APR 2 4	2003				
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DATE SUBMITTED:	42403 HYDROLOGY	SEXUI				

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8509 Jefferson NE Albuquerque, NM 87113 (505) 858-3100 fax (505) 858-1118

twllc@tierrawestllc.com 1-800-245-3102

April 24, 2003

Bradley L. Bingham, PE Senior Engineer City of Albuquerque PO Box 1293 Albuquerque, NM 87103

RE: Four Hills Village Shopping Center (Tract C)

Compass Bank, (L22-D33A)

Dear Brad:

Tierra West LLC, on behalf of Civil Consultants Inc., is submitting this revised grading plan showing a proposed Compass Bank in the Four Hills Shopping Center. On December 16, 1996, an overall grading and drainage plan was submitted and approved for the Shopping Center by Mark Goodwin & Associates under L22-D33A. In addition, the proposed Compass Bank site lies within the approved plan. This submittal by Civil Consultants shows the detail revision to the pad area. We are submitting a copy of the approved drawing and letter along with the site specific grading and drainage drawing. The drainage solution is in compliance with the approved overall grading and drainage plan. We are requesting Building Permit, Grading Permit and Work Order approval. A new deceleration lane is required for the bank. Upon completion of the deceleration lane on Central Avenue SE the contractor and Civil Consultants will submit as-built information. As a condition of approval, the roadway should be built before permanent occupancy is released.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,

Ronald R. Bohannan, PE

Enclosure/s

JN: 230011 RRB/kk D) 国 G 国 V 国 D APR 2 4 2003 HYDROLOGY SECTION

2003 230011Brad Bingham042403 doc



December 18, 1996

Martin J. Chávez, Mayor

Mark Goodwin & Associates P.O. Box 90606
Albuquerque, NM 87199

RE: ENGINEER CERTIFICATION FOR FOUR HILLS VILLAGE SHOPPING CENTER (L22-D33A) CERTIFICATION STATEMENT DATED 12/14/96.

Dear Mr. Goodwin:

Based on the information provided on your December 16, 1996 submittal, Engineer Certification for the above referenced site is acceptable.

If I can be of further assistance, please feel free to contact me at 768-2667.

Sincerely,

Sincerely,

Motors

Motors

Market

Bernie J. Montoya, CE Engineering Associate

BJM/dl

c: Andrew Garcia

File





# City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

April 24, 1995

Mark Goodwin & Associates P.O. Box 90606 Albuquerque, NM 87199

RE: REVISED DRAINAGE PLAN FOR FOUR HILLS VILLAGE SHOPPING CENTER (L22-D33A) REVISION DATED 4/12/95.

Dear Mr. Goodwin:

Based on the information provided on your April 14, 1995 resubmittal, the above referenced site is approved for Building Permit and Work Order.

Please be advised that prior to Certificate of Occupancy release, Engineer Certification per the D.P.M. checklist will be required.

If I can be of further assistance, please feel free to contact me at 768-2667.

Sincerely,

Bernie J. Montoya, CE Engineering Associate

BJM/dl

c: Andrew Garcia

File