

August 1, 2007

Mr. Wilfred Gallegos, PE
Traffic Engineer
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87102

Mr. Bradley Bingham, PE
City Hydrologist
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87102

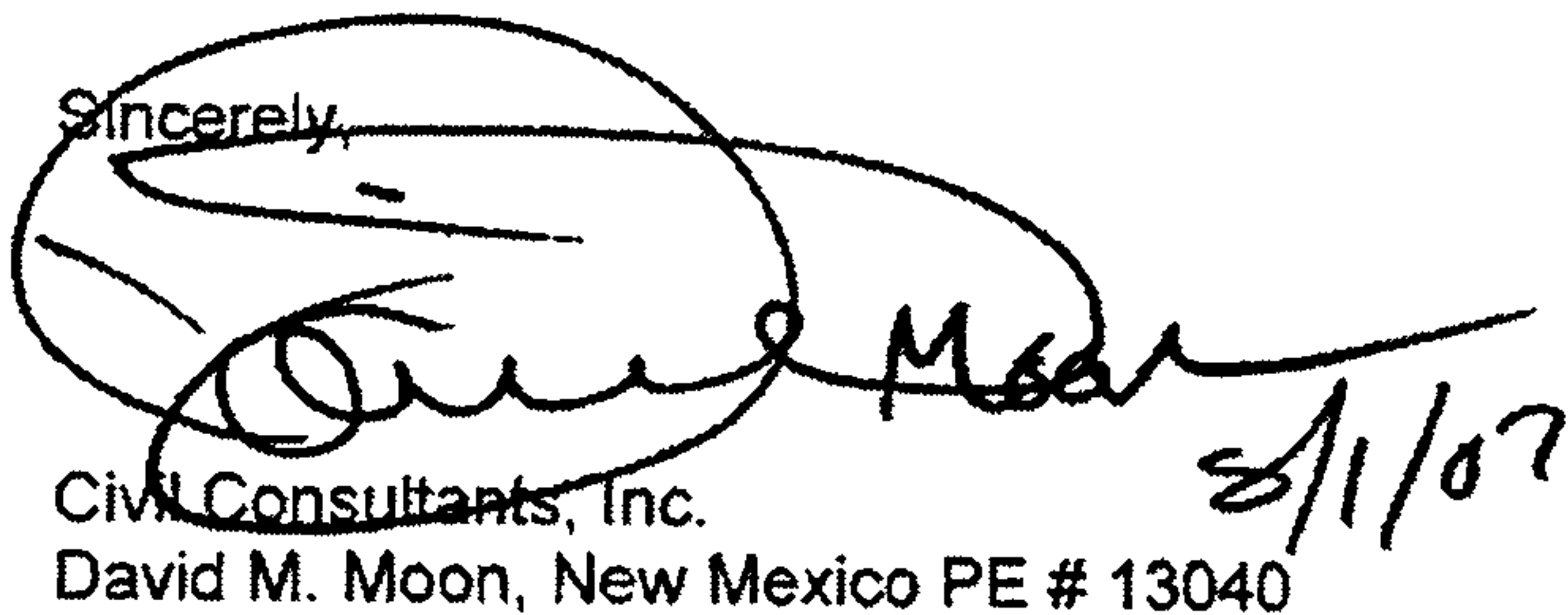
**RE: Compass Bank
13130 Central Avenue SE
Authorization for Certification**

Dear Mr. Gallegos & Mr. Bingham:

Civil Consultants hereby authorizes Ronald R. Bohannon, PE, of the firm Tierra West LLC, to perform filed inspections of site work and to certify that construction is in substantial compliance with the design to obtain Temporary and Permanent Certificate of Occupancy for the above-referenced project.

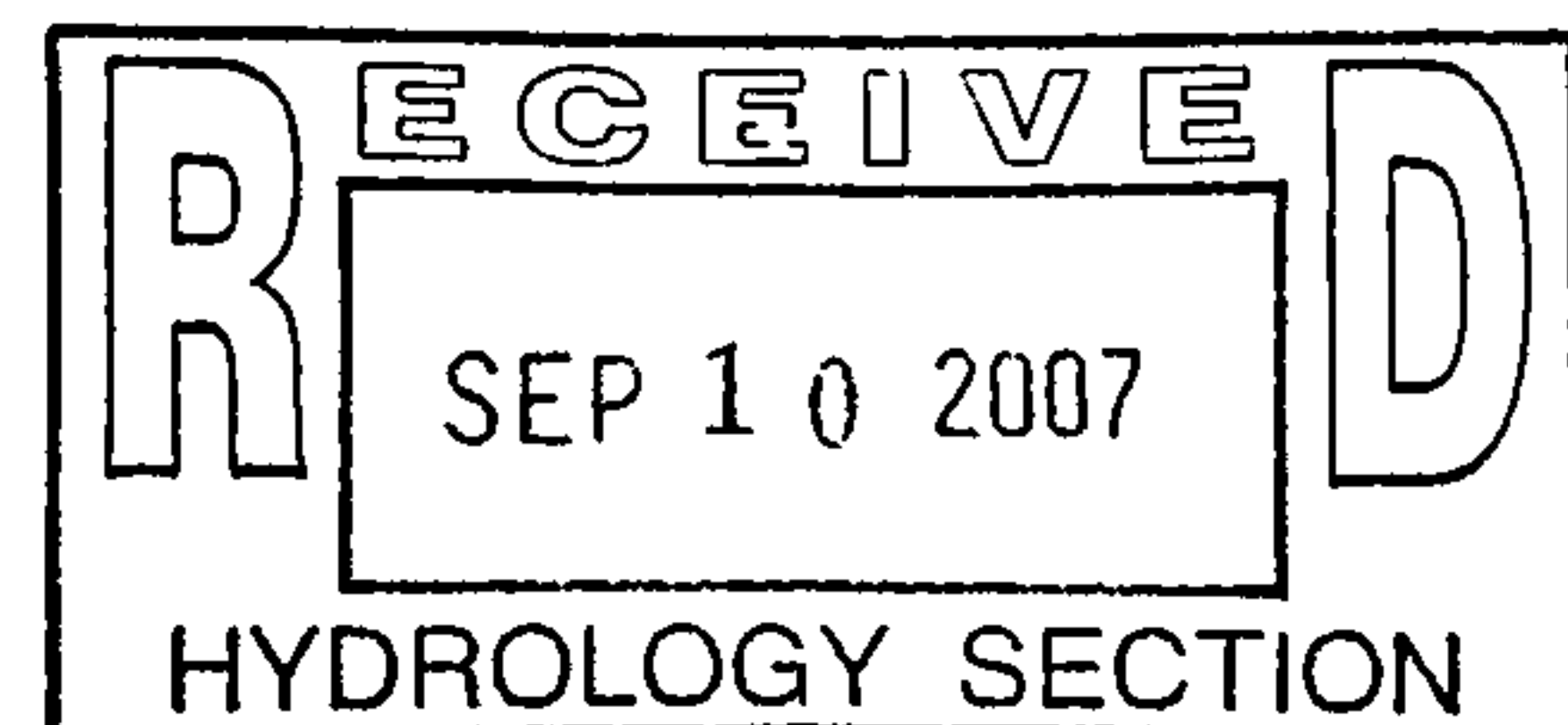
If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,



8/1/07

Civil Consultants, Inc.
David M. Moon, New Mexico PE # 13040



CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

January 15, 2008

Ronald R. Bohannon, P.E.,
5571 Midway Park PLace NE
Albuquerque, NM 87109

Re: Certification Submittal for Final Building Certificate of Occupancy for
Compass Bank, [L-22 / D33A2]
13140 Central Avenue SE
Engineer's Stamp Dated 01/14/08

Dear Mr. Bohannon:

The TCL / Letter of Certification submitted on January 14, 2008 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Sincerely,


Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 01/28/2003fd)

L-22/D33A2

PROJECT TITLE: Compass Bank
DRB #: 1002591 EPC #: _____

ZONE MAP/DRG. FILE #: L-22-D33A2
WORK ORDER #: 7116.81

LEGAL DESCRIPTION: Tract C, Four Hills Village Shopping Center
CITY ADDRESS: 13140 Central Avenue, SE

ENGINEERING FIRM: Tierra West LLC, for Civil Consultants Inc.
ADDRESS: 5571 Midway Park Place., NE
CITY, STATE: Albuquerque, NM

CONTACT: Ronald Bohannon
PHONE: 858-3100
ZIP CODE: 87109

OWNER: Compass Bank
ADDRESS: 15 South 20th Street, Suite 1602
CITY, STATE: Birmingham, AL

CONTACT: Steve Kirkpatrick
PHONE: (205) 297-1041
ZIP CODE: 35233

ARCHITECT: KPS Group Inc
ADDRESS: 2101 First Ave., North
CITY, STATE: Birmingham, AL

CONTACT: Holly Dewar
PHONE: (205) 297-5158
ZIP CODE: 35203

SURVEYOR: Precision Surveys
ADDRESS: 8500-A Jefferson NE
CITY, STATE: Albuquerque, NM

CONTACT: Larry Medrano
PHONE: (505) 856-5700
ZIP CODE: 87113

CONTRACTOR: JE Dunn
ADDRESS: 17177 Preston R.
CITY, STATE: Dallas, TX

CONTACT: Holly Dewar
PHONE: (214) 384-7511
ZIP CODE: 75252

CHECK TYPE OF SUBMITTAL:

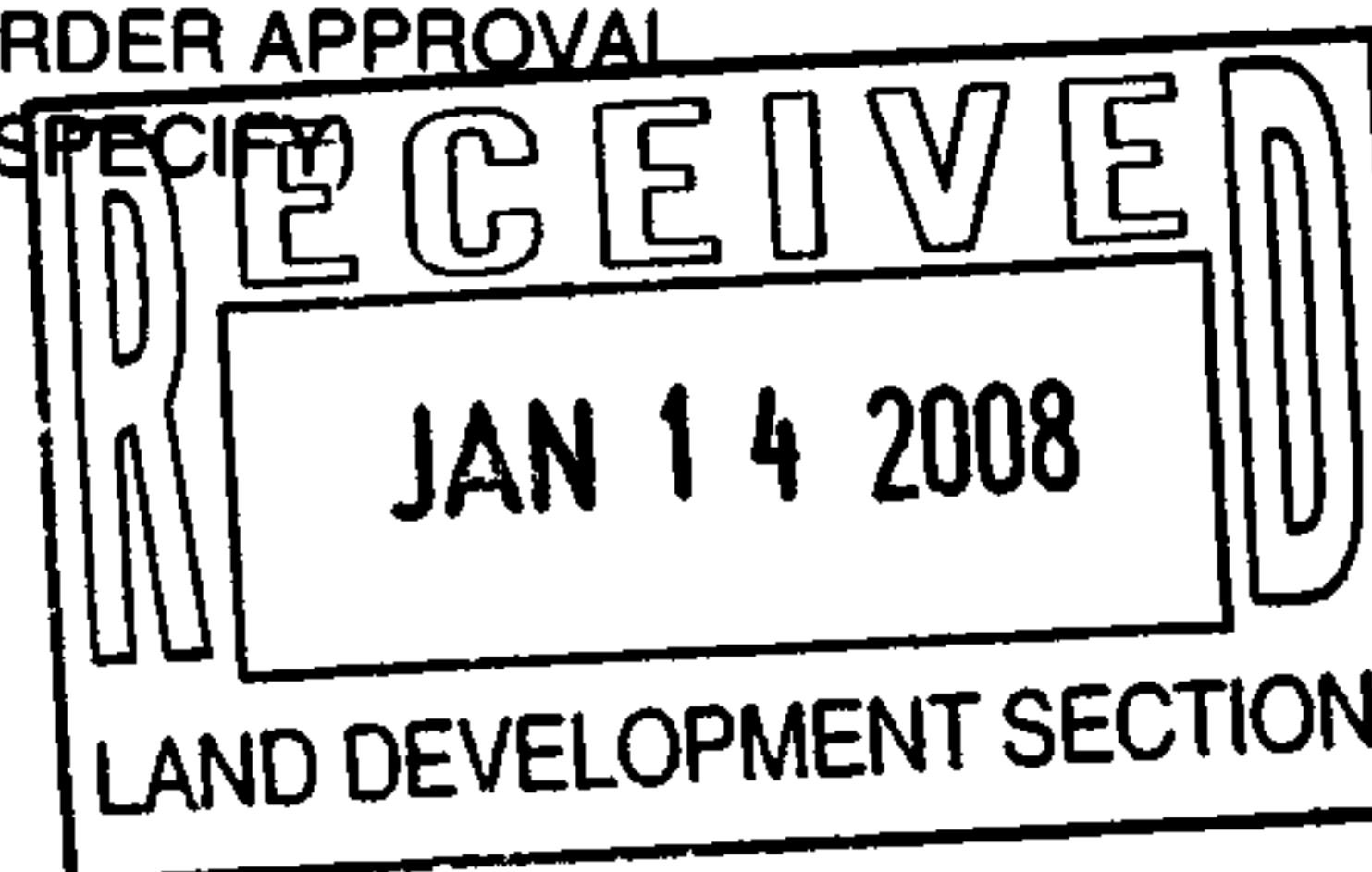
- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEERS CERTIFICATION (TCL)
☒ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
☐ OTHER (AA)

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANACIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM.)
☐ CERTIFICATE OF OCCUPANCY (TEMP.)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☒ NO
☐ COPY PROVIDED



DATE SUBMITTED: 1/14/2008 BY: Ronald Wright (259-5635)

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal.

The particular nature, location and scope of the proposed development defines the degree of drainage detail.

One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plans:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

5571 Midway Park Place NE Albuquerque, NM 87109
(505) 858-3100 Fax (505) 858-1118 1-800-245-3102
tierrawestllc.com

TIERRA WEST, LLC

January 14, 2008

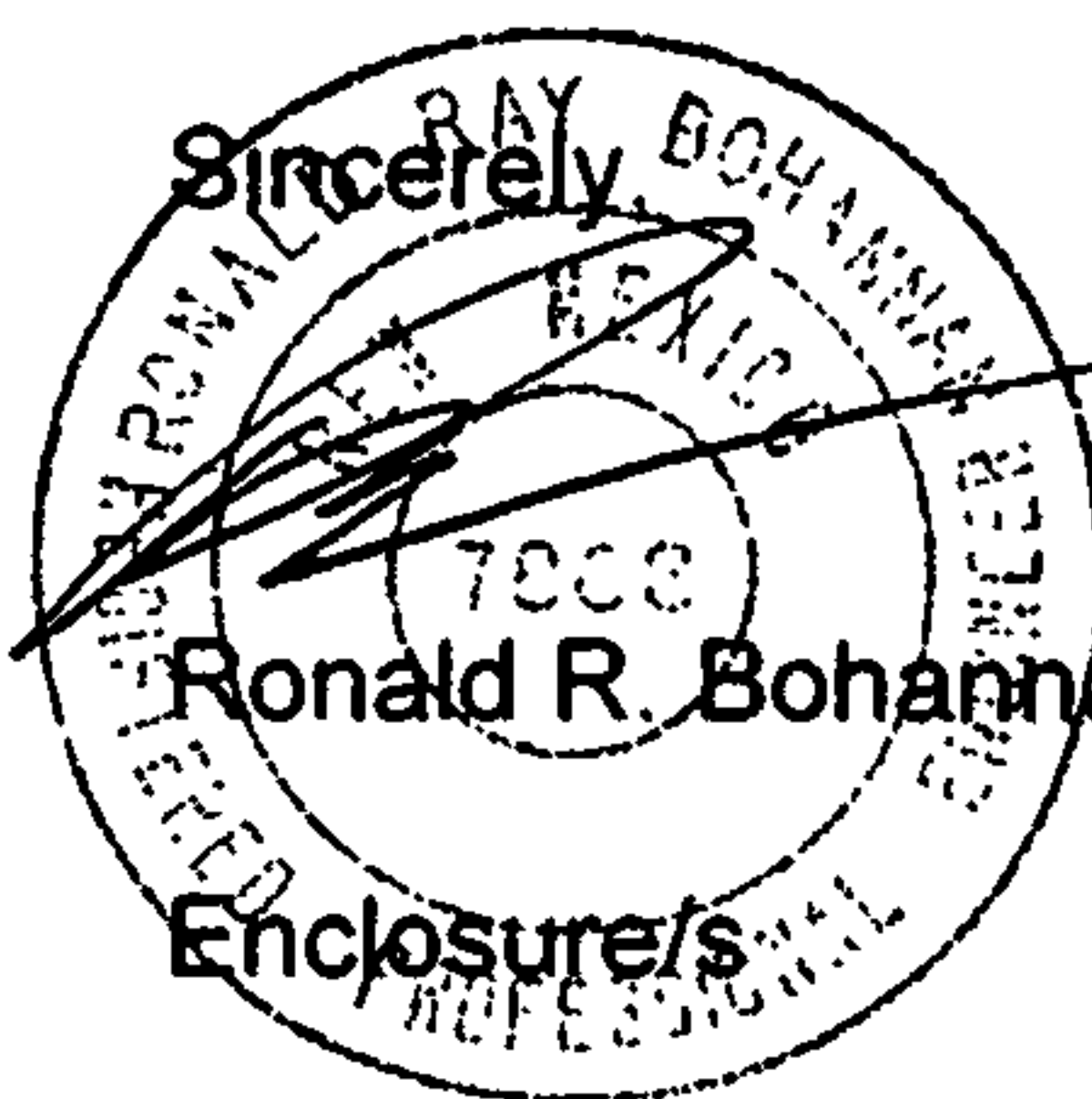
Mr. Nilo Salgado-Fernandez, PE
Development and Building Services
Public Works Department
PO Box 1293
Albuquerque, NM 87103

**RE: DRB Approved Site Plan Certification
for Final Certificate of Occupancy
Compass Bank located at 13140 Central Avenue, SE**

Dear Mr. Salgado-Fernandez:

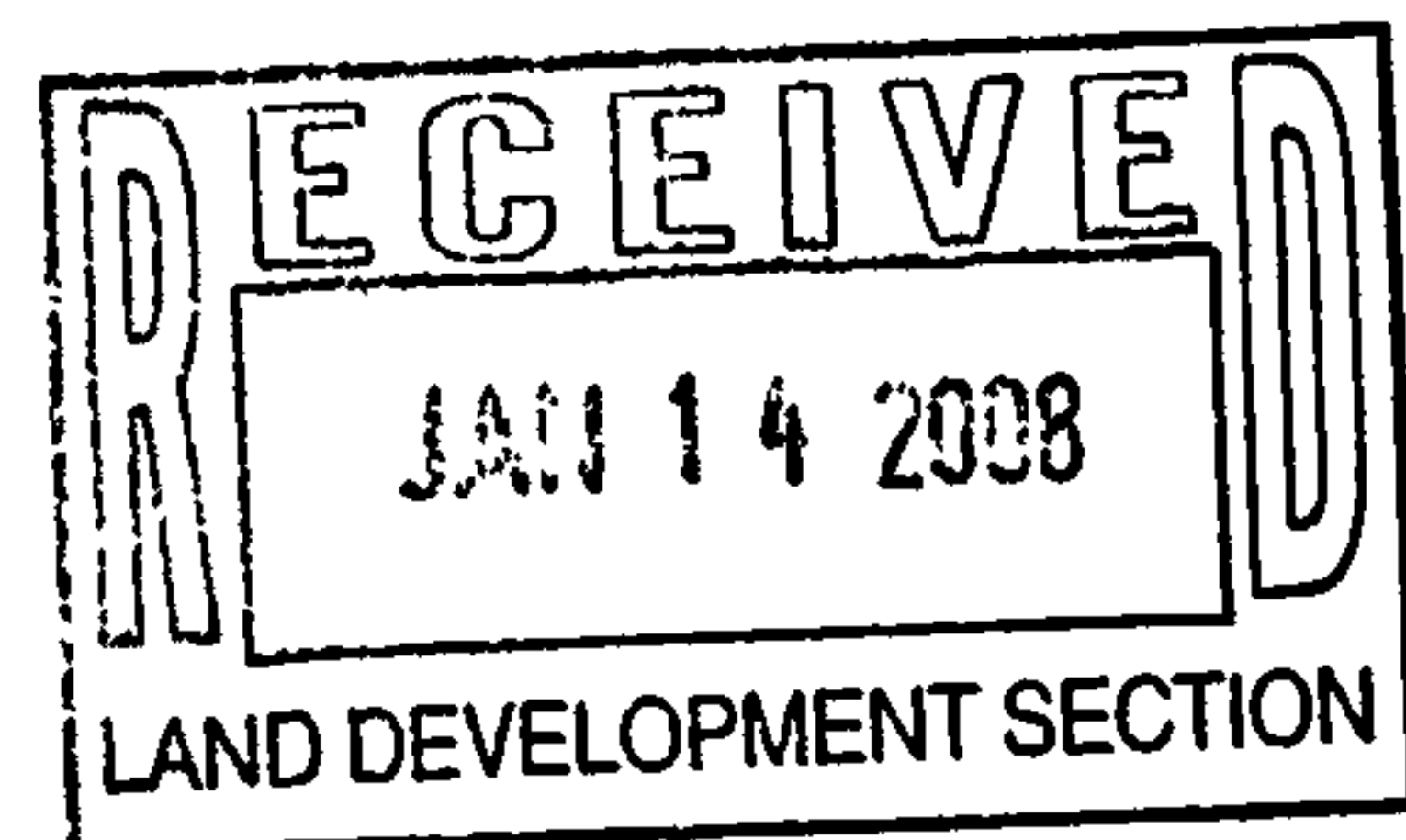
Tierra West, LLC requests a Final Certification of the DRB approved Site Plan for Building Permit for Compass Bank located at 13140 Central Avenue SE. All on-site punch list items are complete. Construction of the Central Avenue Deceleration lane is complete and the street light is relocated. The on-site and off-site construction is in substantial compliance with the approved plans. Enclosed, please find the information sheet, the As-Built Administrative Amendment Site Plan for Building Permit and the Approved Site Plan for Building Permit (for reference only). Therefore, we request Final Certificate of Occupancy.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,

Ronald R. Bohannon, PE
Enclosure/s

cc: John Millhouse
Holly Dewar

JN: 23011
RRB/rw



CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

November 19, 2007

Ronald R. Bohannon, P.E.,
Tierra West LLC
5571 Midway Park Place NE
Albuquerque, NM 87109

Re: Approval of Temporary Certificate of Occupancy (C.O.) for
Compass Bank, [L-22 / D33A]
13140 Central Avenue
Engineer's Stamp Dated 11/13/07

Dear Mr. Bohannon:

Based on the information provided on your submittal dated November 15, 2007, the above referenced project is approved for a 90-day Temporary C.O.

A Temporary C.O. has been issued allowing the Street Light Foundation (needs to be relocated outside of sidewalk- current location is middle of sidewalk blocking pedestrian pathway as well as ADA access route) issue to be completed within this time period. When these remaining issues have been fully completed, are in substantial compliance, and a final Certification for Transportation has been resubmitted to the City's Hydrology office for approval, a Permanent C.O. will be issued.

The Certification package for Final C.O. must include an exact copy of the approved TCL, or signed off D.R.B. Site Plan, which is in each of the two City Permit Plan Sets—the contractor's City field set and the City's plan set in the basement of the Plaza Del Sol building. Package also must include a letter of certification on designer's letterhead-stamped with his seal, signed, and dated. Submit package along with fully completed Drainage Information Sheet to front counter personnel for log in and evaluation by Transportation.

If you have any questions, please call me at 924-3630.

Sincerely,


Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV. 01/28/2003rd)

PROJECT TITLE: Compass Bank
DRB #: 1002591 EPC #: _____

ZONE MAP/DRG. FILE #: L22-D33A **Z**
WORK ORDER #: 7116 81

LEGAL DESCRIPTION: Tract C, Four Hills Village Shopping Center
CITY ADDRESS: 13140 Central Avenue, SE

ENGINEERING FIRM: Tierra West LLC, for Civil Consultants Inc.
ADDRESS: 5571 Midway Park Place., NE
CITY, STATE: Albuquerque, NM

CONTACT: Ronald Bohannon
PHONE: 858-3100
ZIP CODE: 87109

OWNER: Compass Bank
ADDRESS: 15 South 20th Street, Suite 1602
CITY, STATE: Birmingham, AL

CONTACT: Steve Kirkpatrick
PHONE: (205) 297-1041
ZIP CODE: 35233

ARCHITECT: KPS Group Inc
ADDRESS: 2101 First Ave., North
CITY, STATE: Birmingham, AL

CONTACT: Holly Dewar
PHONE: (205) 297-5158
ZIP CODE: 35203

SURVEYOR: Precision Surveys
ADDRESS: 8500-A Jefferson NE
CITY, STATE: Albuquerque, NM

CONTACT: Larry Medrano
PHONE: (505) 856-5700
ZIP CODE: 87113

CONTRACTOR: JE Dunn
ADDRESS: 17177 Preston R.
CITY, STATE: Dallas, TX

CONTACT: Holly Dewar
PHONE: (214) 384-7511
ZIP CODE: 75252

CHECK TYPE OF SUBMITTAL:

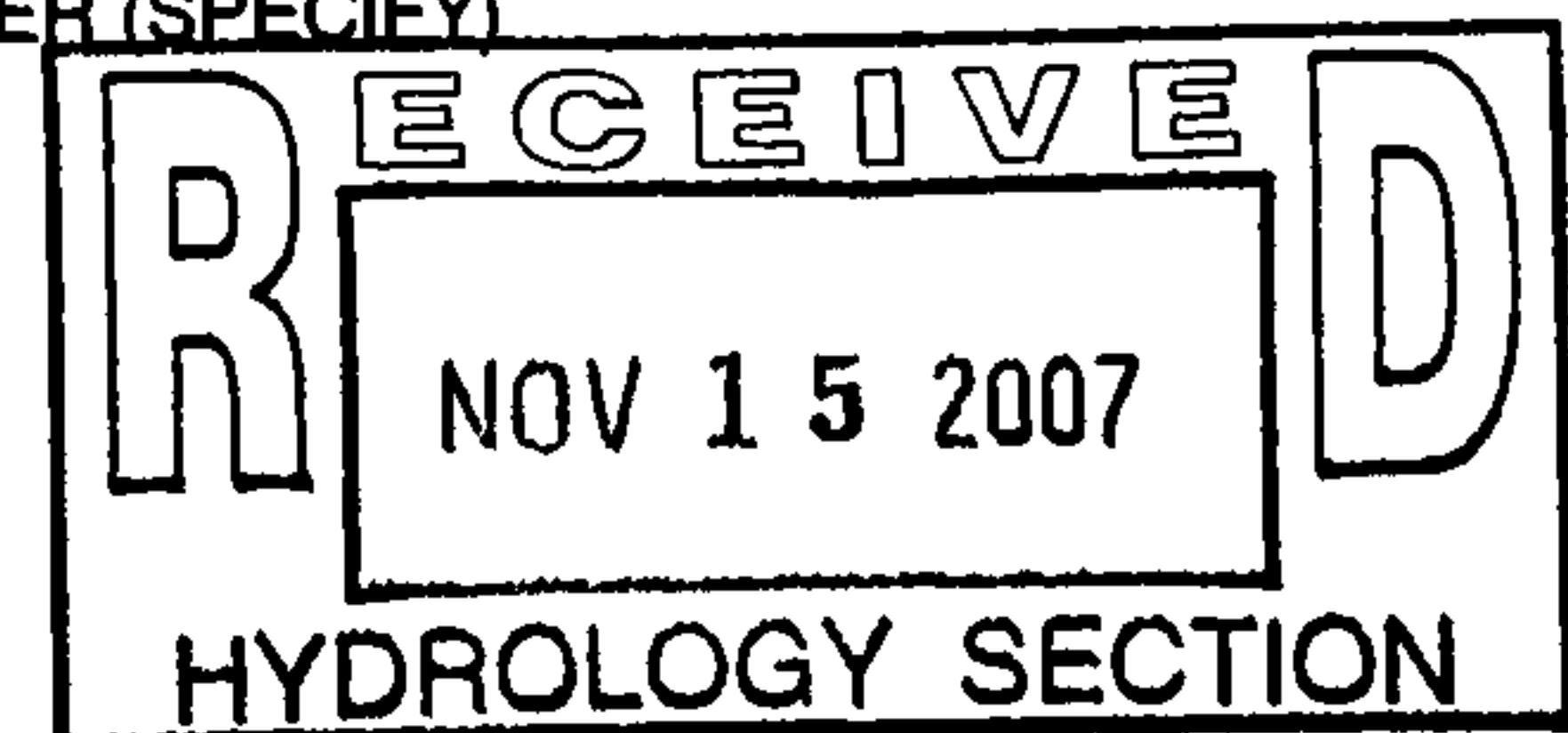
☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEERS CERTIFICATION (TCL)
☒ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

☐ SIA / FINANACIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM.)
☐ CERTIFICATE OF OCCUPANCY (TEMP.)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES
☒ NO
☐ COPY PROVIDED



DATE SUBMITTED: 11/14/2007 BY: Ronald Wright (259-5635)

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a dranlage submittal.
The particular nature, location and scope of the proposed development defines the degree of drainage detail.
One or more of the following levels of sumbittal may be required based on the following:

1. **Conceptual Grading and Drainage Plans:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

TIERRA WEST, LLC

5571 Midway Park Place NE
Albuquerque, NM 87109

(505) 858-3100
fax (505) 858-1118

twllc@tierrawestllc.com
1-800-245-3102

November 13, 2007

Mr. Nilo Salgado-Fernandez, PE
Development and Building Services
Public Works Department
PO Box 1293
Albuquerque, NM 87103

**RE: DRB Approved Site Plan Certification
for Final Certificate of Occupancy
Compass Bank located at 13140 Central Avenue, SE**

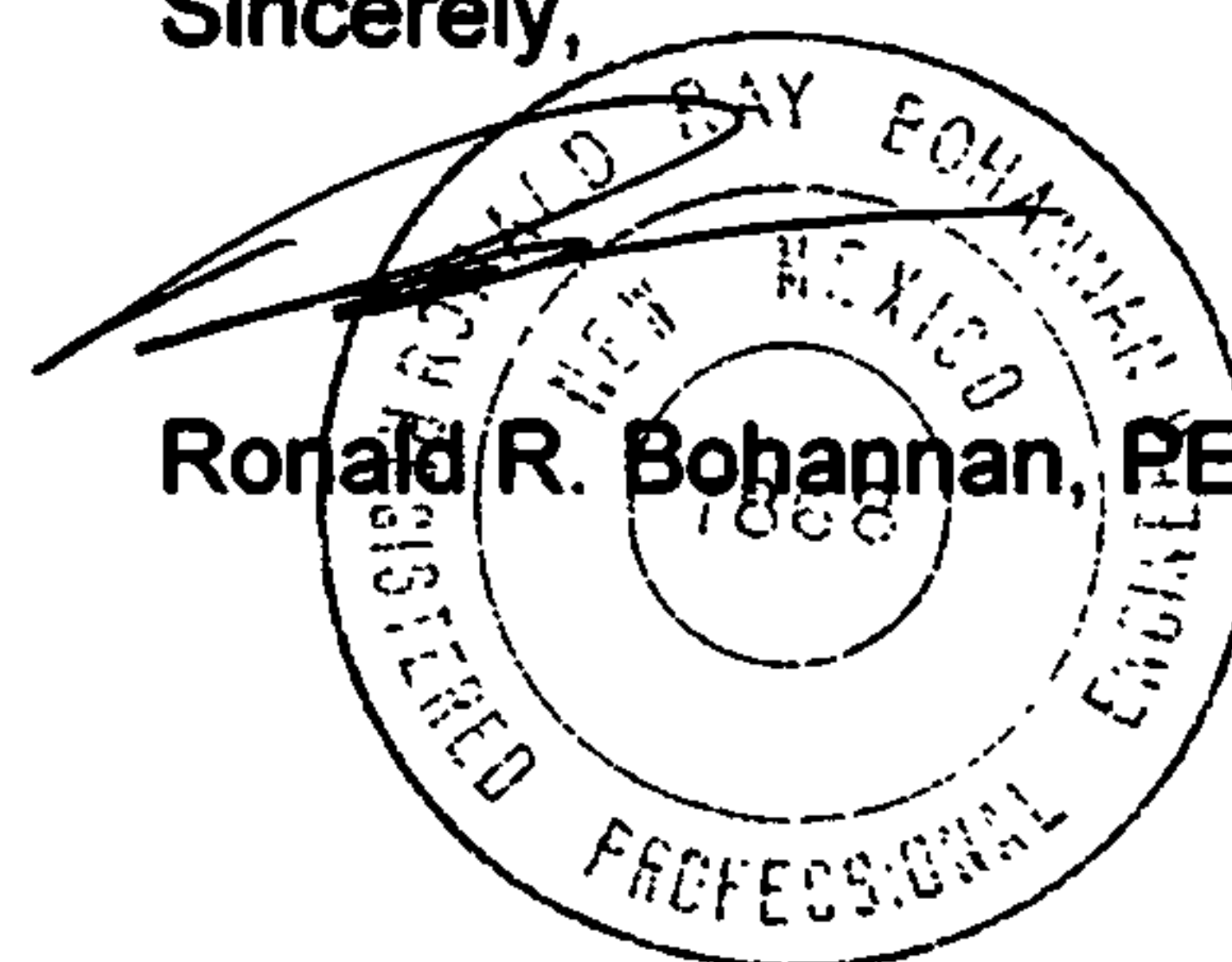
Dear Mr. Salgado-Fernandez:

Tierra West, LLC requests a Final Certification of the DRB approved Site Plan for Building Permit for Compass Bank located at 13140 Central Avenue SE. All on-site punch list items are complete. Construction of the Central Avenue Deceleration lane is complete. The on-site and off-site construction is in substantial compliance with the approved plans. Enclosed, please find the information sheet, the As-Built Administrative Amendment Site Plan for Building Permit and the Approved Site Plan for Building Permit (for reference only). Therefore, we request Final Certificate of Occupancy.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,

Ronald R. Bohannon, PE



Enclosure/s

cc: John Millhouse
Holly Dewar

JN: 23011
RRB/rw

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

August 17, 2007

Ronald R. Bohannon, P.E.,
Tierra West, LLC
5571 Midway Park Place NE
Albuquerque, NM 87109

Re: Approval of Temporary Certificate of Occupancy (C.O.) for
Compass Bank, [L-22 / D33A2]
13140 Central Avenue
Engineer's Stamp Dated 08/16/07

Dear Mr. Bohannon:

Based on the information provided on your submittal dated August 17, 2007, the above referenced project is approved for a 90-day Temporary C.O.

A Temporary C.O. has been issued allowing the outstanding deceleration Lane and signing issues to be completed within this time period. When these remaining issues have been fully completed, are in substantial compliance, and a final Certification for Transportation has been resubmitted to the City's Hydrology office for approval, a Permanent C.O. will be issued.

The Certification package for Final C.O. must include an exact copy of the approved TCL, or signed off D.R.B. Site Plan, which is in each of the two City Permit Plan Sets—the contractor's City field set and the City's plan set in the basement of the Plaza Del Sol building. Package also must include a letter of certification on designer's letterhead-stamped with his seal, signed, and dated. Submit package along with fully completed Drainage Information Sheet to front counter personnel for log in and evaluation by Transportation.

If you have any questions, please call me at 924-3630.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

TIERRA WEST, LLC

5571 Midway Park Place NE
Albuquerque, NM 87109

(505) 858-3100
fax (505) 858-1118

twllc@tierrawestllc.com
1-800-245-3102

August 16, 2007

Mr. Nilo Salgado-Fernandez, PE
Development and Building Services
Public Works Department
PO Box 1293
Albuquerque, NM 87103

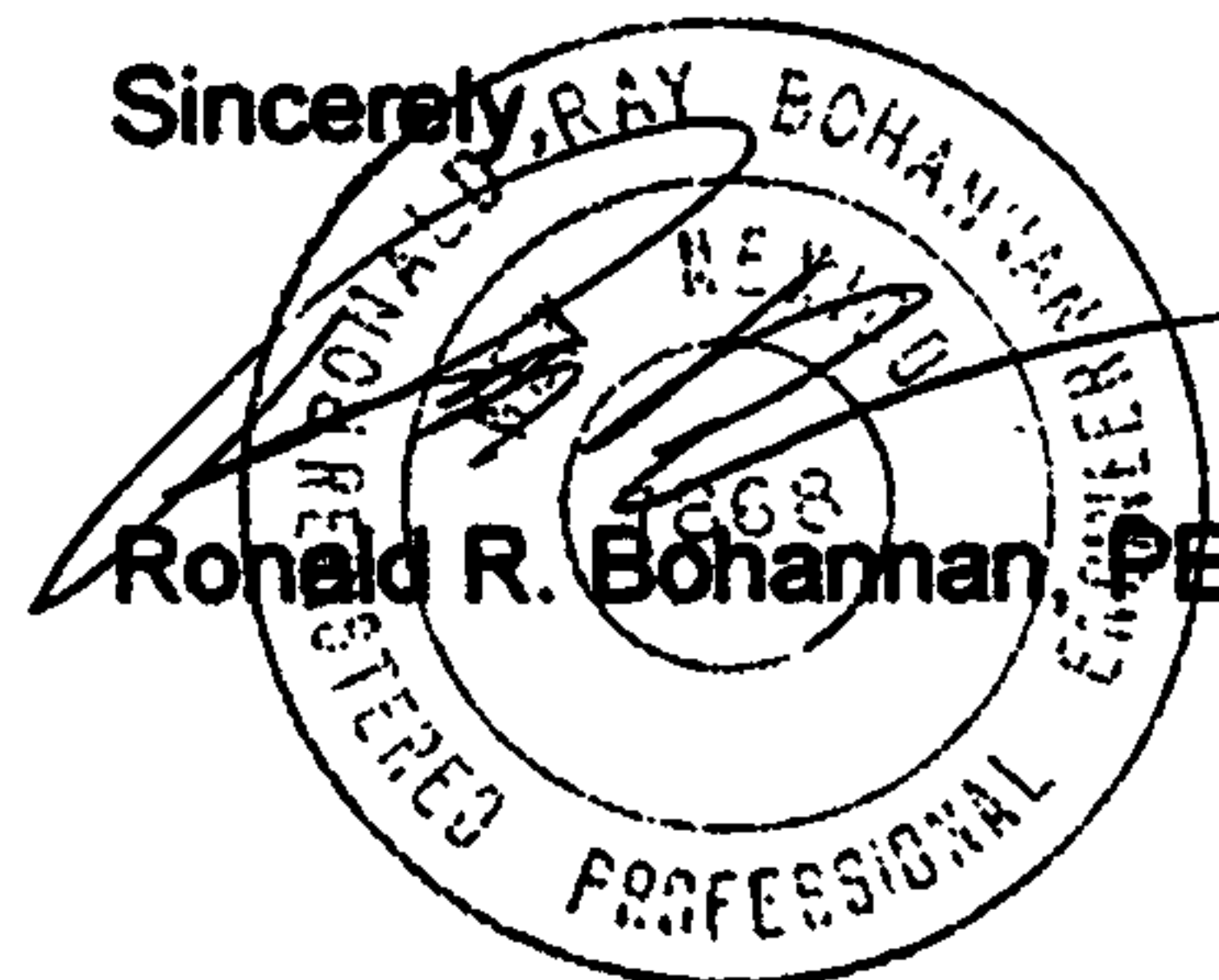
**RE: DRB Approved Site Plan Certification for
30-Day Temporary Certificate of Occupancy
Compass Bank
13140 Central Avenue, SW**

Dear Mr. Salgado-Fernandez:

Tierra West, LLC requests a 30 Day-Temporary Certification of the DRB approved Site Plan for Building Permit for Compass Bank located at 13140 Central Avenue SW. The items remaining for completion are construction of the Central Avenue Deceleration Lane and installation of two "Do Not Enter" signs. Per Wilfred Gallegos, the building will not be allowed access to customers until he has approved the construction of the deceleration lane. The purpose of the Temporary Certificate of Occupancy, at this time, is to allow bank employees and bank sub-contractors access to the building. Enclosed, please find the information sheet, the As-Built Administrative Amendment Site Plan for Building Permit and the Approved Site Plan for Building Permit (for reference only). Therefore, we request Certification of the As-Built Administrative Amendment Site Plan for Building Permit for a 30-Day Temporary Certificate of Occupancy.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

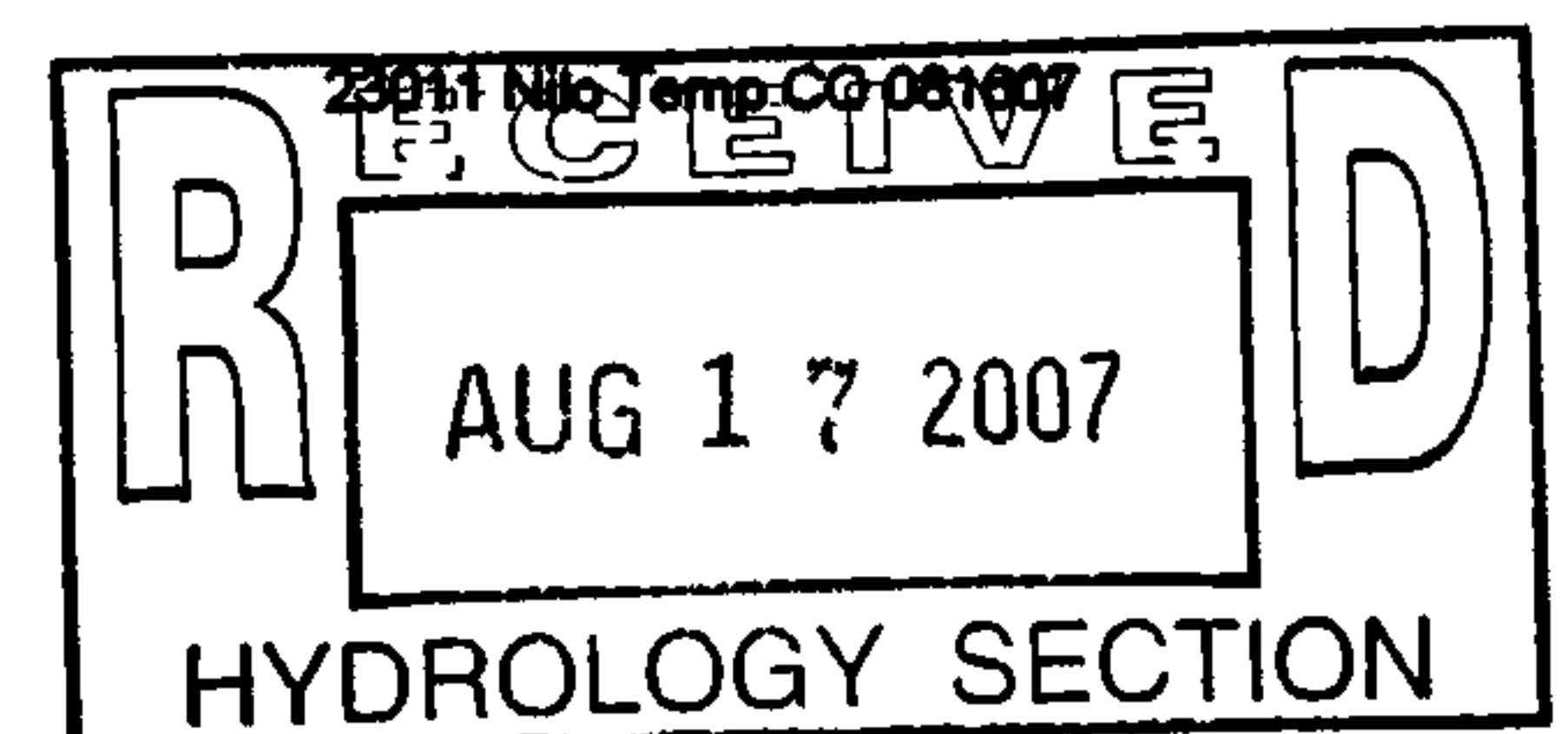
Sincerely,



Enclosure/s

cc: John Millhouse
Holly Dewar

JN: 23011
RRB/rw



DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 01/28/2003rd)

PROJECT TITLE: Compass Bank
DRB #: 1002591 EPC #: _____

ZONE MAP/DRG. FILE #: L22-D33A Z
WORK ORDER #: 7116.81

LEGAL DESCRIPTION: Tract C, Four Hills Village Shopping Center
CITY ADDRESS: 13140 Central Avenue, NE

ENGINEERING FIRM: Tierra West LLC, for Civil Consultants Inc.
ADDRESS: 5571 Midway Park Place., NE
CITY, STATE: Albuquerque, NM

CONTACT: Ronald Bohannon
PHONE: 858-3100
ZIP CODE: 87109

OWNER: Compass Bank
ADDRESS: _____
CITY, STATE: _____

CONTACT: Robert Stockton
PHONE: (205) 297-1041
ZIP CODE: _____

ARCHITECT: KPS Group Inc
ADDRESS: 2101 First Ave., North
CITY, STATE: Birmingham, AL

CONTACT: Holly Dewar
PHONE: (205) 251-0125
ZIP CODE: 35203

SURVEYOR: Precision Surveys
ADDRESS: 8500-A Jefferson NE
CITY, STATE: Albuquerque, NM

CONTACT: Larry Medrano
PHONE: (505) 856-5700
ZIP CODE: 87113

CONTRACTOR: JE Dunn
ADDRESS: 17177 Preston R.
CITY, STATE: Dallas, TX

CONTACT: _____
PHONE: (214) 384-7511
ZIP CODE: 75252

CHECK TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEERS CERTIFICATION (TCL)
☒ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

☐ SIA / FINANACIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM.)
☒ CERTIFICATE OF OCCUPANCY (TEMP.)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) **Drainage Approval**

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES
☒ NO
☐ COPY PROVIDED

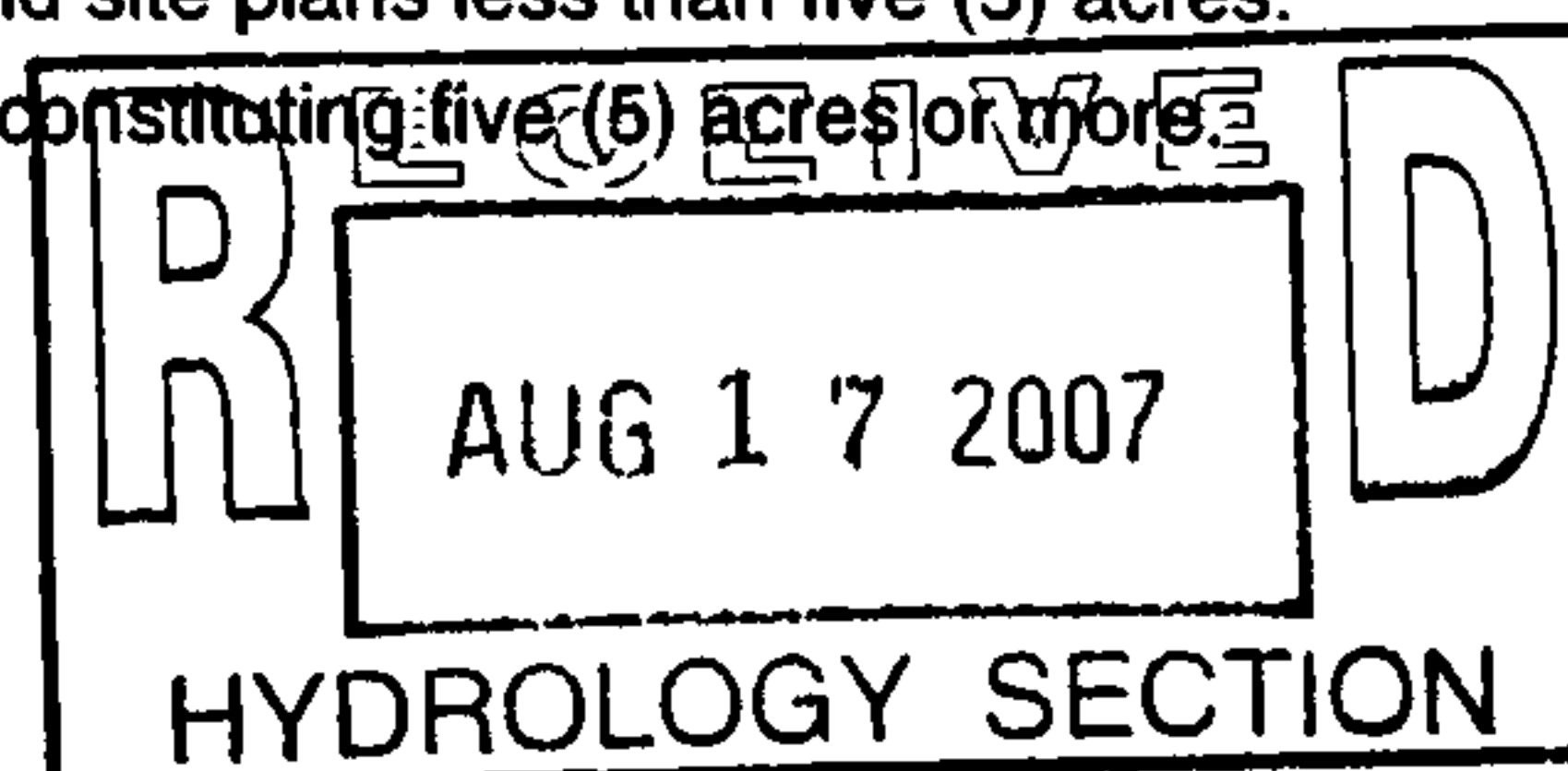
DATE SUBMITTED: _____ BY: Ronald Wright (259-5635)

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal.

The particular nature, location and scope of the proposed development defines the degree of drainage detail.

One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plans:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



CITY OF ALBUQUERQUE



September 21, 2007

Ronald Bohannon, P.E.
Tierra West, LLC
5571 Midway Park Place NE
Albuquerque, NM 87109

**Re: Compass Bank Central and Tramway Office, 13140 Central Ave NE,
Permanent Certificate of Occupancy
Engineer's Stamp dated 3-05-03 (L22-D33A2)
Certification dated 9-21-07**

Dear Mr. Bohannon,

P.O. Box 1293

Based upon the information provided in your submittal received 9-21-07, the above referenced certification is approved for release of permanent Certificate of Occupancy by Hydrology.

Albuquerque

If you have any questions, you can contact me at 924-3981.

New Mexico 87103

Sincerely,

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

www.cabq.gov

C: CO Clerk
File

Check for letter from out of state eng.

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 01/28/2003rd)

L-22/D33A2

PROJECT TITLE: Compass Bank
DRB #: 1002591 EPC #: _____

ZONE MAP/DRG. FILE #: L22-D33A
WORK ORDER #: 7116.81

LEGAL DESCRIPTION: Tract C, Four Hills Village Shopping Center
CITY ADDRESS: 13140 Central Avenue, NE

ENGINEERING FIRM: Tierra West LLC, for Civil Consultants Inc.
ADDRESS: 5571 Midway Park Place., NE
CITY, STATE: Albuquerque, NM

CONTACT: Ronald Bohannon
PHONE: 858-3100
ZIP CODE: 87109

OWNER: Compass Bank
ADDRESS: 15 South 20th Street, Suite 1602
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CONTACT: Steve Kirkpatrick
PHONE: (205) 297-1041
ZIP CODE: 35233

ARCHITECT: KPS Group Inc
ADDRESS: 2101 First Ave., North
CITY, STATE: Birmingham, AL

CONTACT: Holly Dewar
PHONE: (205) 297-5158
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SURVEYOR: Precision Surveys
ADDRESS: 8500-A Jefferson NE
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CONTACT: Larry Medrano
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CONTRACTOR: JE Dunn
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CITY, STATE: Dallas, TX

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PHONE: (214) 384-7511
ZIP CODE: 75252

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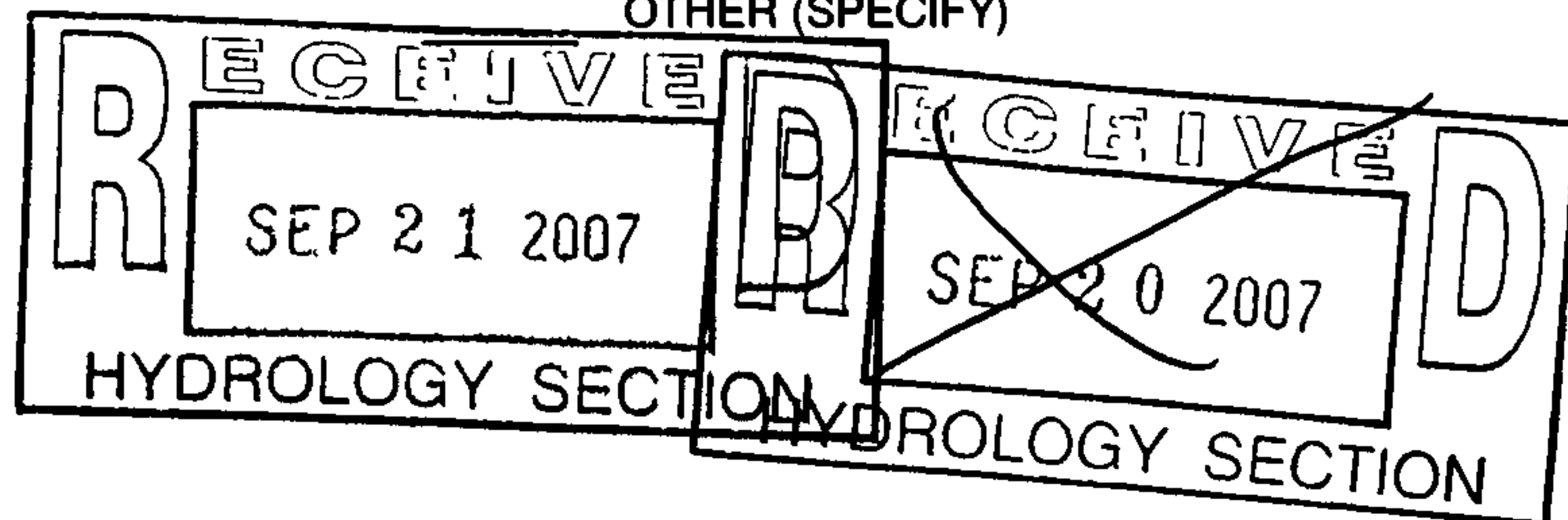
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☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
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☐ ENGINEERS CERTIFICATION (TCL)
☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
☐ OTHER

☐ SIA / FINANACIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
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☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
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☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES
☒ NO
☐ COPY PROVIDED



DATE SUBMITTED: 9/21/2007 BY: Ronald Wright (259-5635)

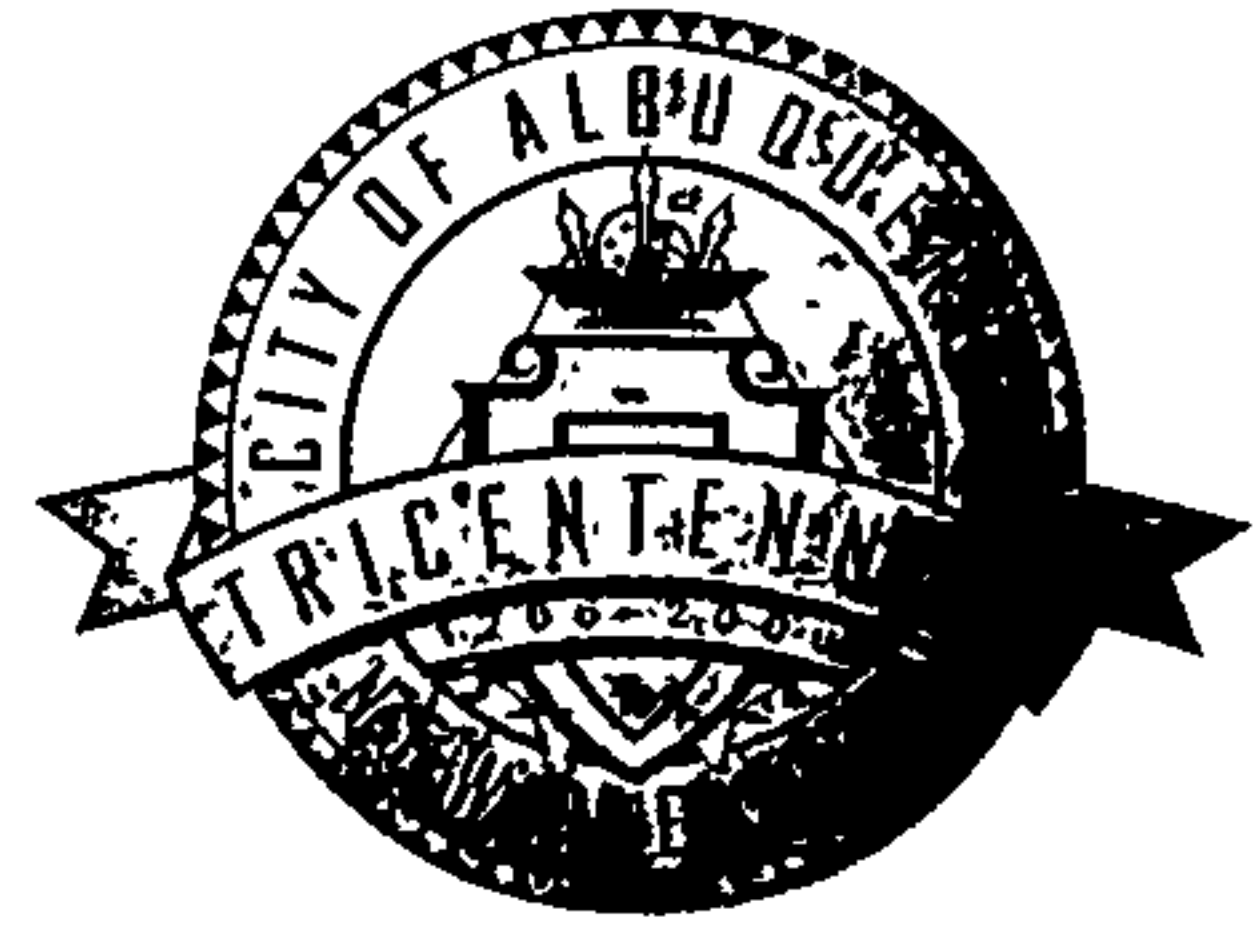
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3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



August 22, 2007

Ronald Bohannon, P.E.
Tierra West, LLC
5571 Midway Park Place NE
Albuquerque, NM 87109

**Re: Compass Bank, 13140 Central Ave. NE,
Approval of 90-Day Temporary Certificate of Occupancy (C.O.)
Engineer's Stamp dated 03/05/2003 (L-22/D033A2)
Certification dated 08/16/2007**

Based upon the information provided in your submittal received 08/16/2007, the above referenced certification is approved for release of 90-day Temporary Certificate of Occupancy by Hydrology.

P.O. Box 1293

Upon final Engineer Certification of project site, please resubmit an updated Certification for Permanent C.O.

Albuquerque

If you have any questions, you can contact me at 924-3982.

New Mexico 87103

Sincerely,

Timothy Sims
Plan Checker
Development and Building Services

www.cabq.gov

C: CO Clerk-Katrina Sigala
File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 01/28/2003rd)

PROJECT TITLE: Compass Bank
DRB #: 1002591 EPC #: _____

ZONE MAP/DRG. FILE #: L22-D33A 2
WORK ORDER #: 7116.81

LEGAL DESCRIPTION: Tract C, Four Hills Village Shopping Center
CITY ADDRESS: 13140 Central Avenue, NE

ENGINEERING FIRM: Tierra West LLC, for Civil Consultants Inc.
ADDRESS: 5571 Midway Park Place., NE
CITY, STATE: Albuquerque, NM

CONTACT: Ronald Bohannon
PHONE: 858-3100
ZIP CODE: 87109

OWNER: Compass Bank
ADDRESS: _____
CITY, STATE: _____

CONTACT: Robert Stockton
PHONE: (205) 297-1041
ZIP CODE: _____

ARCHITECT: KPS Group Inc
ADDRESS: 2101 First Ave., North
CITY, STATE: Birmingham, AL

CONTACT: Holly Dewar
PHONE: (205) 251-0125
ZIP CODE: 35203

SURVEYOR: Precision Surveys
ADDRESS: 8500-A Jefferson NE
CITY, STATE: Albuquerque, NM

CONTACT: Larry Medrano
PHONE: (505) 856-5700
ZIP CODE: 87113

CONTRACTOR: JE Dunn
ADDRESS: 17177 Preston R
CITY, STATE: Dallas, TX

CONTACT: _____
PHONE: (214) 384-7511
ZIP CODE: 75252

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEERS CERTIFICATION (TCL)
☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANACIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM.)
☒ CERTIFICATE OF OCCUPANCY (TEMP.)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☒ NO
☐ COPY PROVIDED

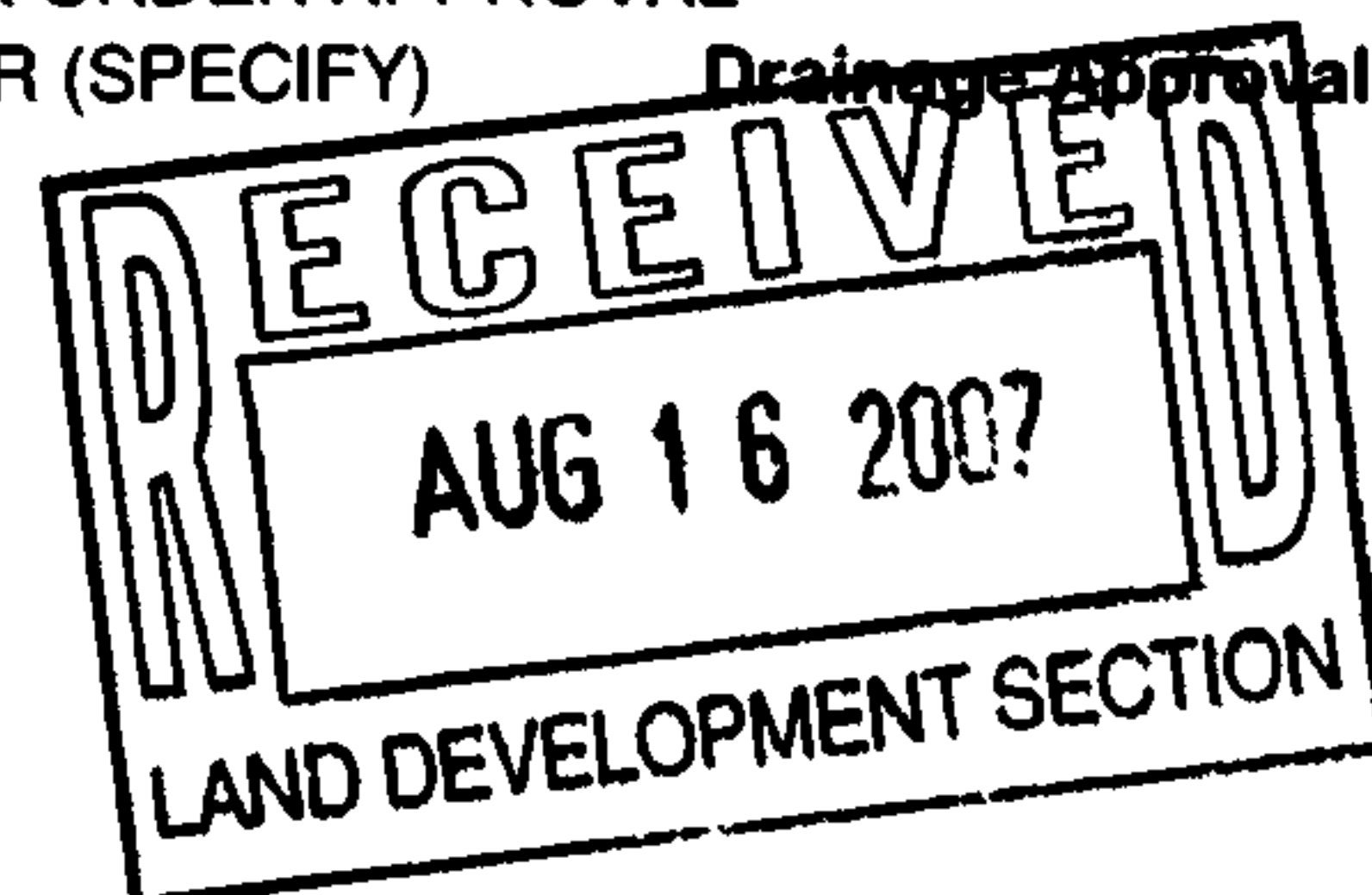
DATE SUBMITTED: _____ BY: Ronald Wright (259-5635)

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal.

The particular nature, location and scope of the proposed development defines the degree of drainage detail.

One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plans:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.





City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

June 18, 2003

Tony Alldridge
Civil Consultants
3510 Vann Rd, Ste 102
Birmingham, AL 35235

**RE: Compass Bank Grading and Drainage Plan (L-22/D33A2)
Engineer's Stamp Dated March 5, 2003 by David Moon**

Dear Mr. Alldridge:

The above referenced grading and drainage plan received April 24, 2003 is approved for Grading Permit, Building Permit and Work Order approval by Hydrology at the Design Review Committee. Please attach a copy of the approved plan to the construction set. Upon completion of the project and Work Order, the engineer will need to certify the project per the Development Process Manual for Certificate of Occupancy release.

If you have any questions please call me at 924-3982.

Sincerely,

Carlos A. Montoya. PE
City Floodplain Administrator

C: File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 01/28/2003rd)

L-22/D33A2

PROJECT TITLE: COMPASS BANK
DRB #: _____ EPC #: _____

ZONE MAP/DRG. FILE #: L-22-D33A2
WORK ORDER #: _____

LEGAL DESCRIPTION: TRACT C, FOUR HILLS VILLAGE SHOPPING CENTER & APT.
CITY ADDRESS: _____

ENGINEERING FIRM: CIVIL CONSULTANTS
ADDRESS: 3510 VANN ROAD STE 102
CITY, STATE: BIRMINGHAM, AL

CONTACT: TONY ALLDRIDGE
PHONE: (205)655-1991
ZIP CODE: 35235

OWNER: COMPASS BANK
ADDRESS: _____
CITY, STATE: _____

CONTACT: ROBERT STOCKTON
PHONE: 205)251-0125
ZIP CODE: _____

ARCHITECT: KPS GROUP INC
ADDRESS: 2101 FIRST AVE NORTH
CITY, STATE: BIRMINGHAM, AL

CONTACT: ROBERT STOCKTON
PHONE: 205)251-0125
ZIP CODE: 35203

SURVEYOR: PRECISION SURVEYS
ADDRESS: 8414-D JEFFERSON NE
CITY, STATE: ALBUQUERQUE, NM

CONTACT: LARRY MEDRANO
PHONE: (505)856-5700
ZIP CODE: 87113

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

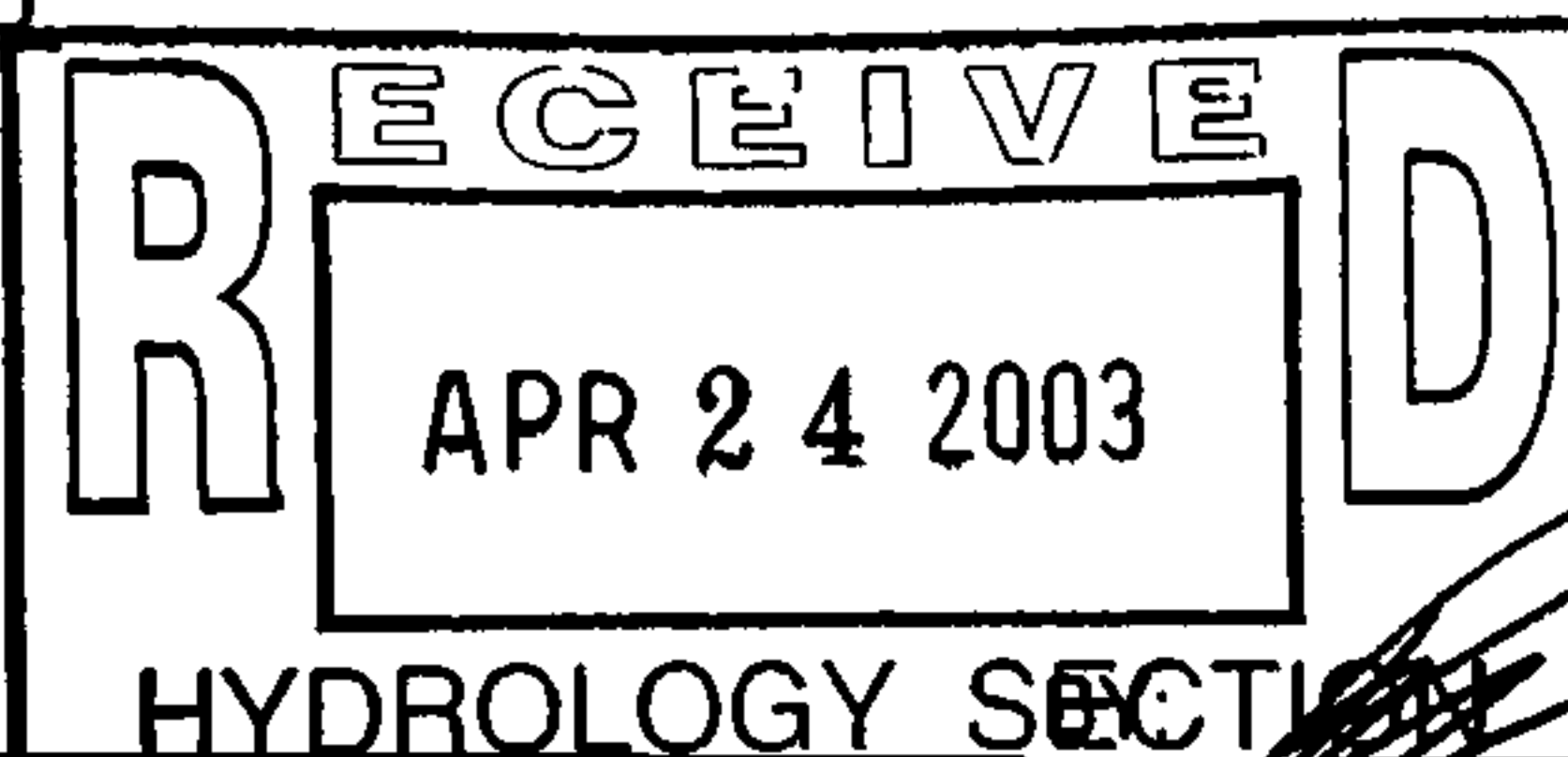
____ DRAINAGE REPORT
____ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
____ DRAINAGE PLAN RESUBMITTAL
____ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
____ EROSION CONTROL PLAN
____ ENGINEER'S CERTIFICATION (HYDROLOGY)
____ CLOMR/LOMR
____ TRAFFIC CIRCULATION LAYOUT (TCL)
____ ENGINEERS CERTIFICATION (TCL)
____ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
____ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

____ SIA / FINANACIAL GUARANTEE RELEASE
____ PRELIMINARY PLAT APPROVAL
____ S. DEV. PLAN FOR SUB'D. APPROVAL
____ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
____ SECTOR PLAN APPROVAL
____ FINAL PLAT APPROVAL
____ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
____ CERTIFICATE OF OCCUPANCY (PERM.)
____ CERTIFICATE OF OCCUPANCY (TEMP.)
☒ GRADING PERMIT APPROVAL
____ PAVING PERMIT APPROVAL
☒ WORK ORDER APPROVAL
____ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

____ YES
☒ NO
____ COPY PROVIDED



DATE SUBMITTED: 4/24/03

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal.

The particular nature, location and scope of the proposed development defines the degree of drainage detail.

One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plans:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

TIERRA WEST, LLC

8509 Jefferson NE
Albuquerque, NM 87113

(505) 858-3100
fax (505) 858-1118

twllc@tierrawestllc.com
1-800-245-3102

April 24, 2003

Bradley L. Bingham, PE
Senior Engineer
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

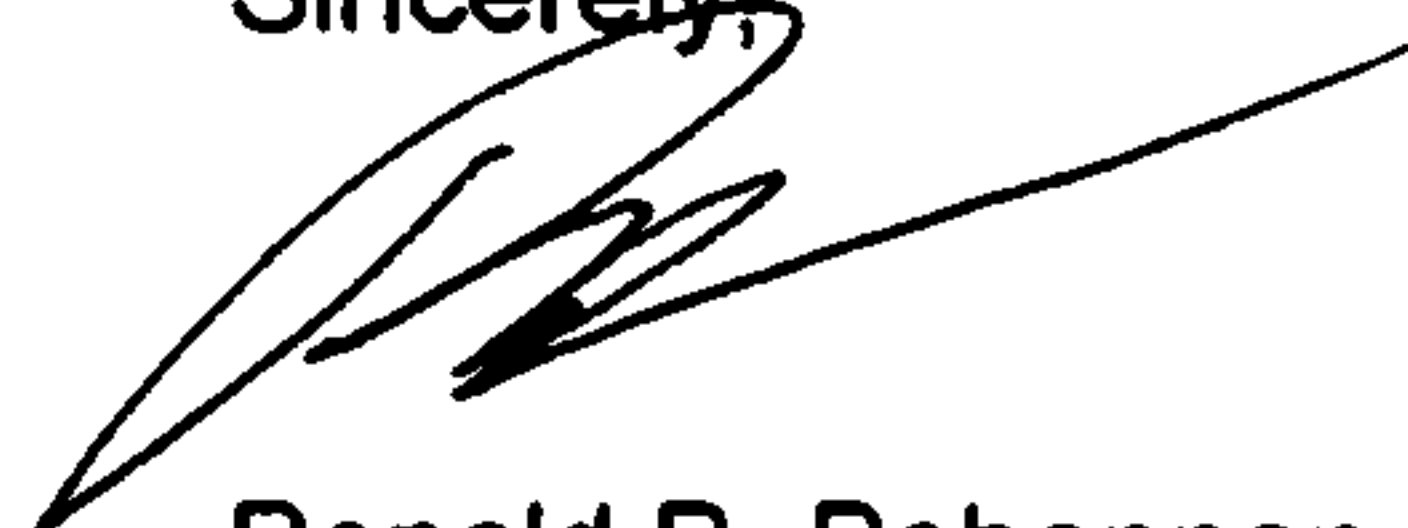
**RE: Four Hills Village Shopping Center (Tract C)
Compass Bank, (L22-D33A)**

Dear Brad:

Tierra West LLC, on behalf of Civil Consultants Inc., is submitting this revised grading plan showing a proposed Compass Bank in the Four Hills Shopping Center. On December 16, 1996, an overall grading and drainage plan was submitted and approved for the Shopping Center by Mark Goodwin & Associates under L22-D33A. In addition, the proposed Compass Bank site lies within the approved plan. This submittal by Civil Consultants shows the detail revision to the pad area. We are submitting a copy of the approved drawing and letter along with the site specific grading and drainage drawing. The drainage solution is in compliance with the approved overall grading and drainage plan. We are requesting Building Permit, Grading Permit and Work Order approval. A new deceleration lane is required for the bank. Upon completion of the deceleration lane on Central Avenue SE the contractor and Civil Consultants will submit as-built information. As a condition of approval, the roadway should be built before permanent occupancy is released.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

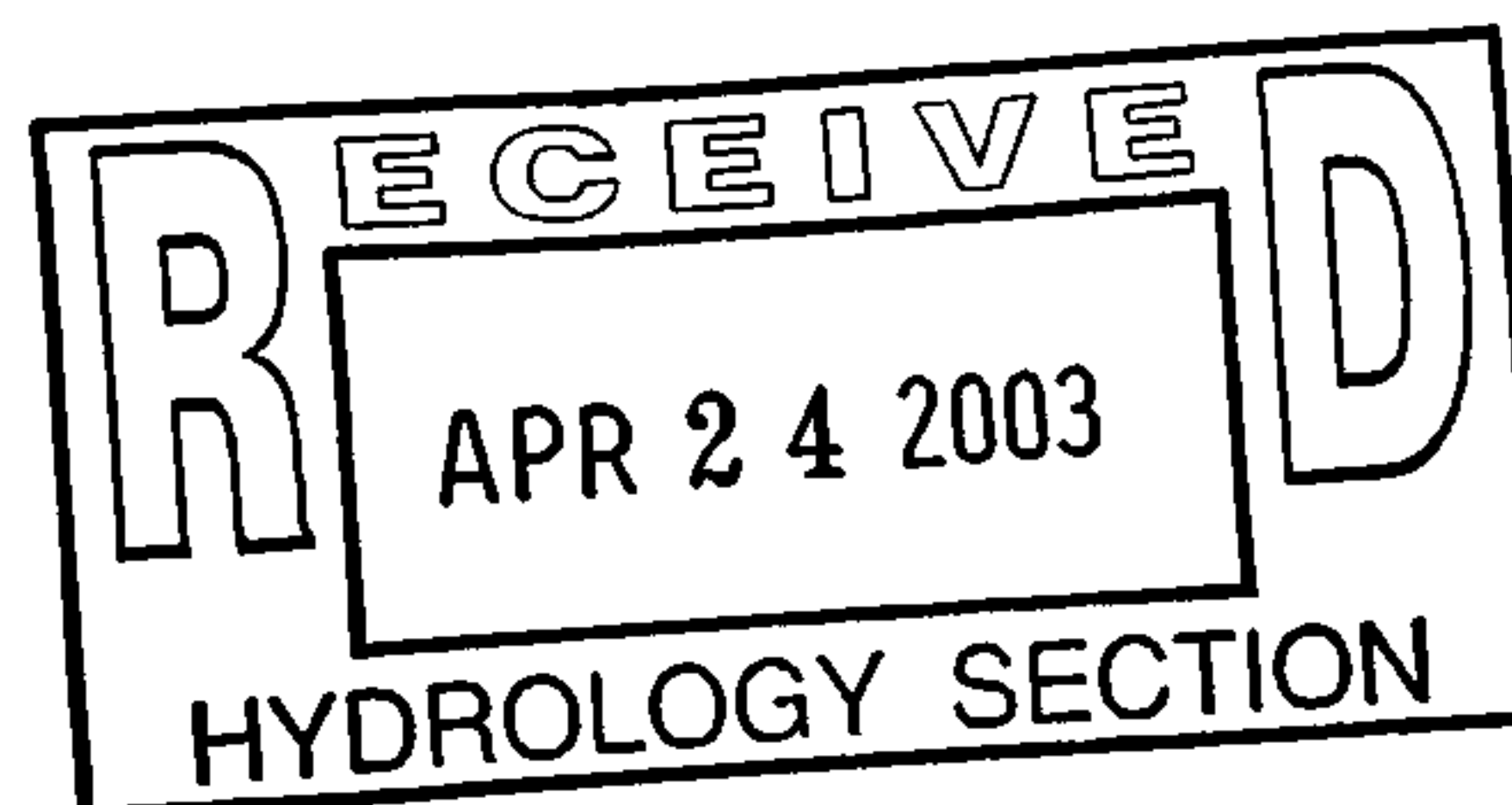
Sincerely,



Ronald R. Bohannon, PE

Enclosure/s

JN: 230011
RRB/kk



2003 230011Brad Bingham042403 doc



December 18, 1996

Martin J. Chávez, Mayor

Mark Goodwin
Mark Goodwin & Associates
P.O. Box 90606
Albuquerque, NM 87199

**RE: ENGINEER CERTIFICATION FOR FOUR HILLS VILLAGE SHOPPING
CENTER (L22-D33A) CERTIFICATION STATEMENT DATED 12/14/96.**

Dear Mr. Goodwin:

Based on the information provided on your December 16, 1996 submittal, Engineer Certification for the above referenced site is acceptable.

If I can be of further assistance, please feel free to contact me at 768-2667.

Sincerely,

Bernie J. Montoya, CE
Engineering Associate

BJM/dl

c: Andrew Garcia
File





City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

April 24, 1995

Mark Goodwin
Mark Goodwin & Associates
P.O. Box 90606
Albuquerque, NM 87199

RE: REVISED DRAINAGE PLAN FOR FOUR HILLS VILLAGE SHOPPING
CENTER (L22-D33A) REVISION DATED 4/12/95.

Dear Mr. Goodwin:

Based on the information provided on your April 14, 1995
resubmittal, the above referenced site is approved for Building
Permit and Work Order.

Please be advised that prior to Certificate of Occupancy release,
Engineer Certification per the D.P.M. checklist will be required.

If I can be of further assistance, please feel free to contact me
at 768-2667.

Sincerely,

Bernie J. Montoya
Bernie J. Montoya, CE
Engineering Associate

BJM/dl

c: Andrew Garcia
File