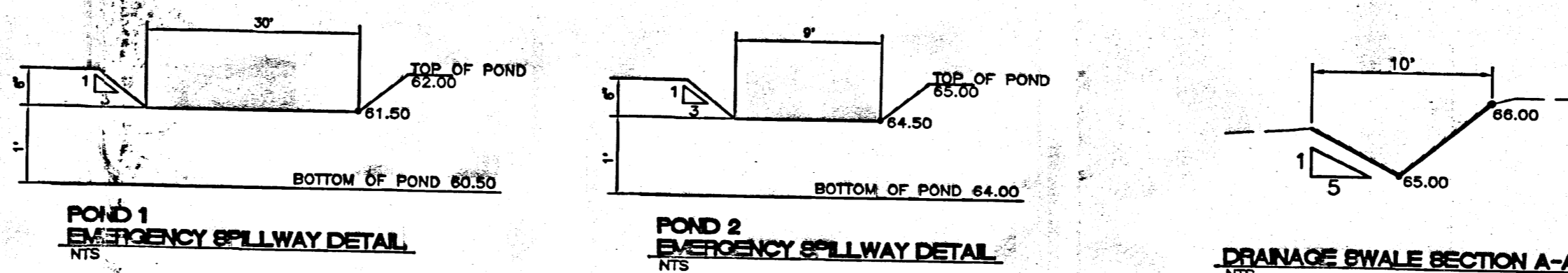


PROJECT BENCHMARK:
 A STANDARD USDA BRASS TABLE STAMPED
 "NM Bar. 4, 1934 EL. 5560" SET IN TOP OF
 A CONCRETE POST PROJECTING 0.4 FT. TO
 REACH THE STATION FROM THE INTERSECTION
 OF CENTRAL AVE. 0.30 MILES TO THE
 JUNCTION WITH WESTERN SKIES DR. THE
 STATION IS LOCATED IN THE SOUTHEAST
 QUADRANT OF THE INTERSECTION.
 ELEVATION: 5560.114 FEET (M.S.L.D.)

LEGAL DESCRIPTION
 TRACT B1A1B DORADO VILLAGE, UNIT 3



SITE VOLUME TABLE ADJUSTED

Site	Stratum Surf1	Surf2	yards	Cut	yards	Fill	Net	Method
vol1								
Cut Factor For Shrinkage	vol1	ex	fg	0.65	2746	1331	1415 (C)	Grid
Fill Factor For Compaction				0.95	3081	1357	1723 (C)	Composite
					3454	1484	1970 (C)	End area
					3454	1485	1969 (C)	Prismoidal
							Average Excess Cut = 1769.25 yds	

FEMA MAP #350002 0037

VICINITY MAP ZONE ATLAS L-22-Z

LEGEND

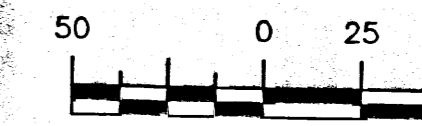
- BOUNDARY
- EXISTING CEDAR FENCE
- CHAIN LINK FENCE
- DECORATIVE FENCE
- 5568 PROPOSED CONTOUR
- 5564 EXISTING CONTOUR
- EXISTING STORM SEWER LINE
- EXISTING SANITARY SEWER LINE
- BASIN
- NEW STORM SEWER MH
- NEW STORM SEWER INLET
- SINGLE "D" DOUBLE "D" EXISTING SANITARY SEWER LINE

EROSION CONTROL PLAN NOTES

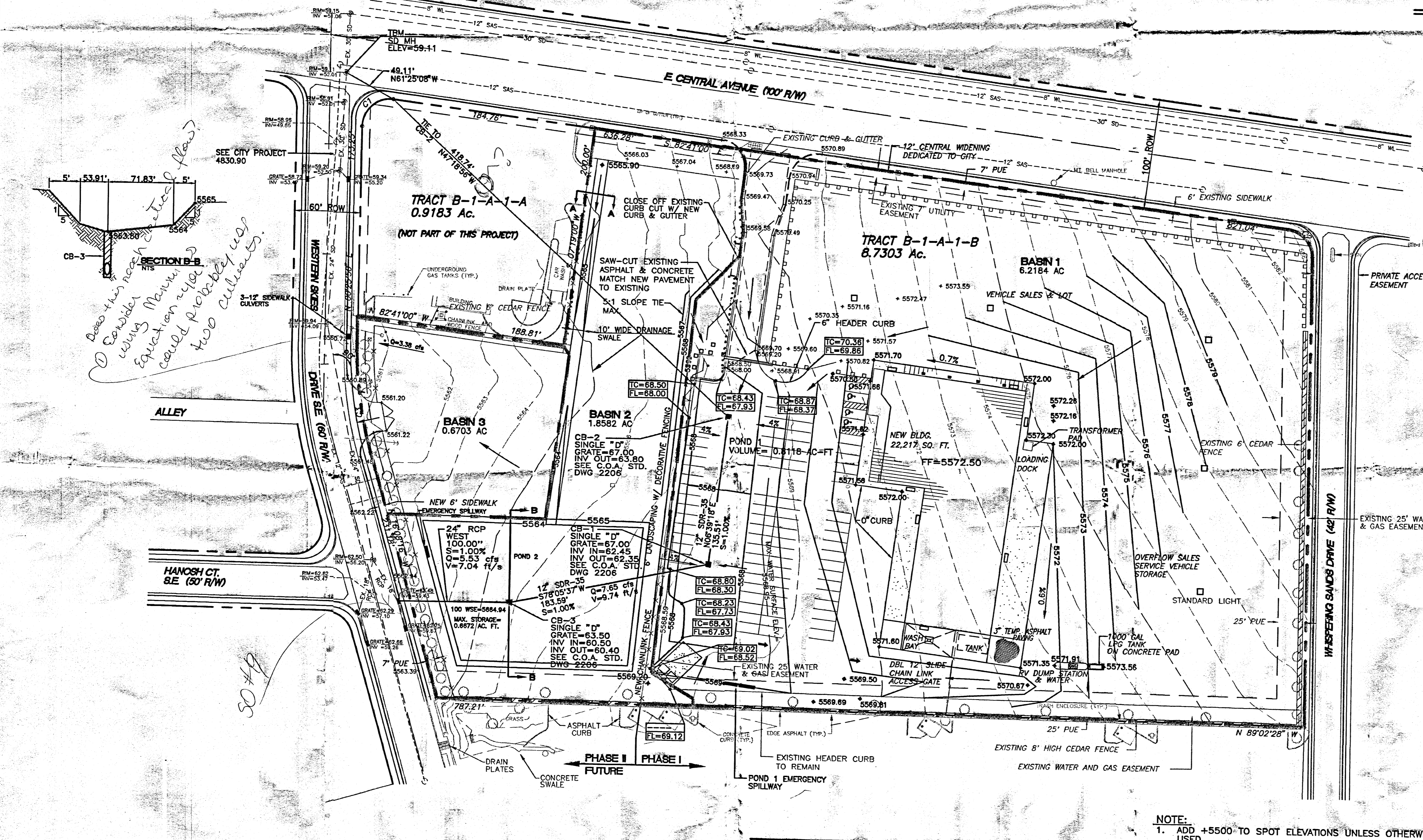
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING UP ANY SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE RUN-OFF WITHIN THE SITE DURING CONSTRUCTION.
5. EROSION CONTROL BERM MUST BE IN PLACE PRIOR TO ANY CONSTRUCTION ON SITE.



GRAPHIC SCALE



SCALE: 1" = 50.00'



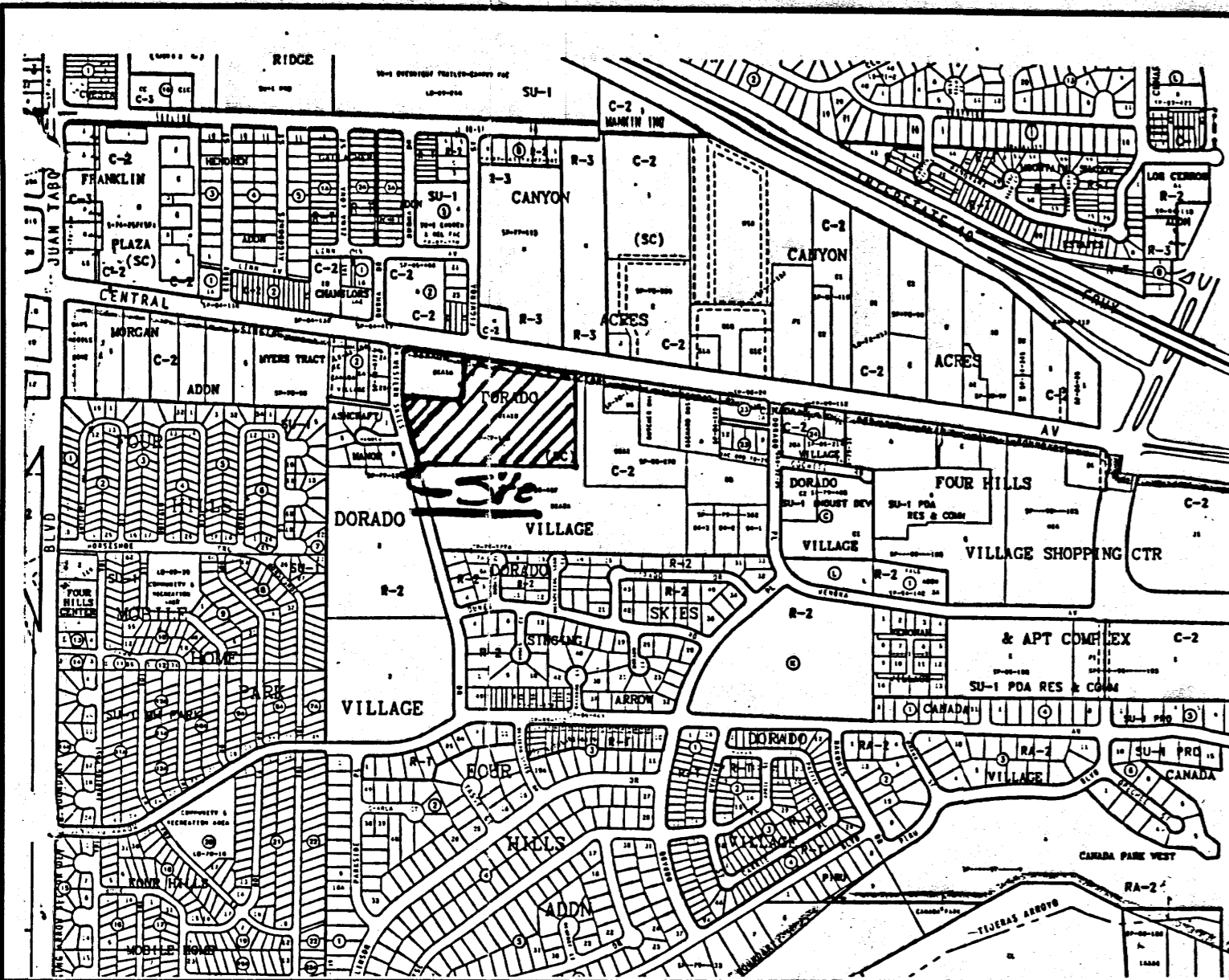
ROUGH GRADING APPROVAL

DATE

NOTE:
 1. ADD +5500 TO SPOT ELEVATIONS UNLESS OTHERWISE USED.

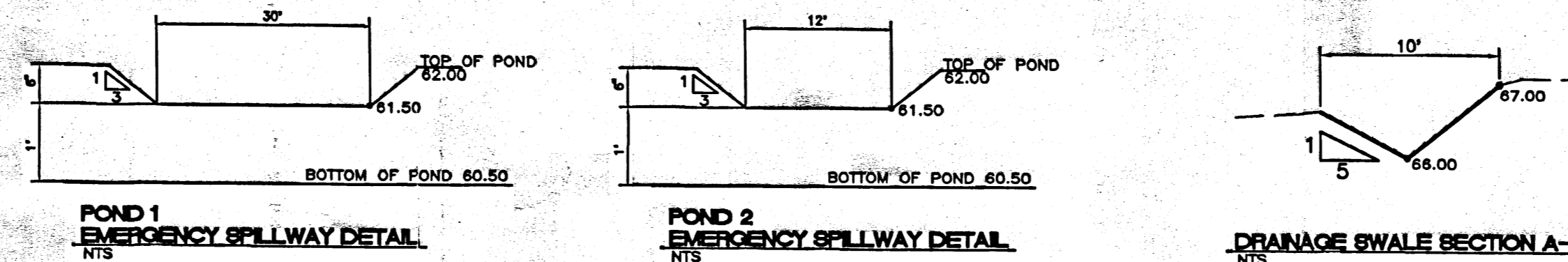
50\940012\9412GR.DWG\JDN\9-13-98

	ENGINEER'S SEAL ROCKY MOUNTAIN RV-MARINE FACILITY GRADING AND DRAINAGE PLAN 12,700 CENTRAL S.E. ALBUQUERQUE, NM 87123	DRAWN BY: Pvg DATE: 6-22-94 9412GR.DWG SHEET #
	TERRA WEST DEVELOPMENT MANAGEMENT SERVICES 4421 McLEOD ROAD, NE SUITE D ALBUQUERQUE, NEW MEXICO 87109 (505)883-7592	JOB # 940012



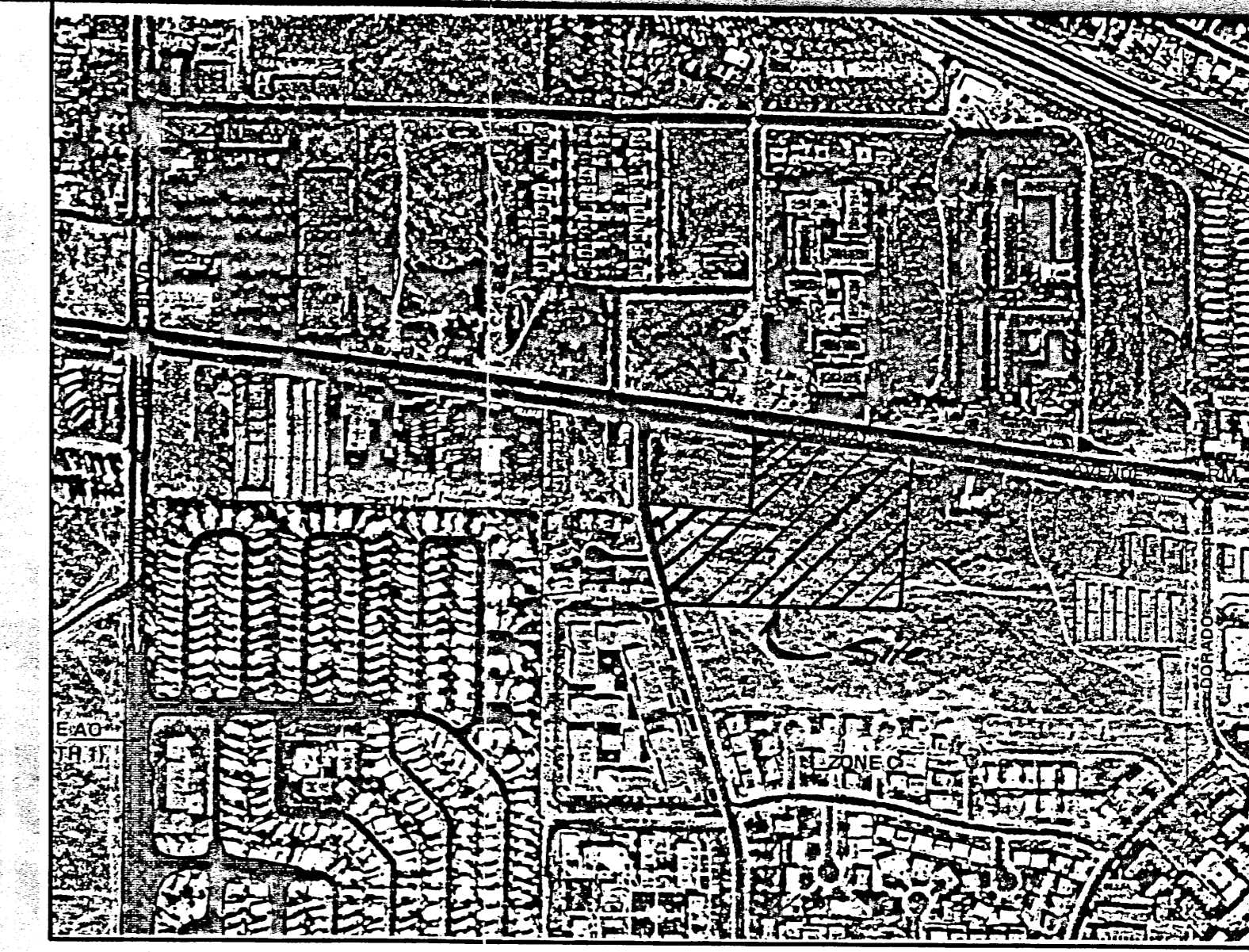
PROJECT BENCHMARK:
 A STANDARD USDA BRASS TABLE STAMPED
 "M B-4, 1934 EL. 5560" SET IN TOP OF
 A CONCRETE POST PROJECTING 0.4 FT. TO
 REACH THE STATION FROM THE INTERSECTION
 OF CENTRAL AVE. 0.30 MILES TO THE
 JUNCTION WITH WESTERN SKIES DR. THE
 STATION IS LOCATED IN THE SOUTHEAST
 QUADRANT OF THE INTERSECTION.
 ELEVATION: 5560.114 FEET (M.S.L.D.)

LEGAL DESCRIPTION
 TRACT B1A1B DORADO VILLAGE, UNIT 3



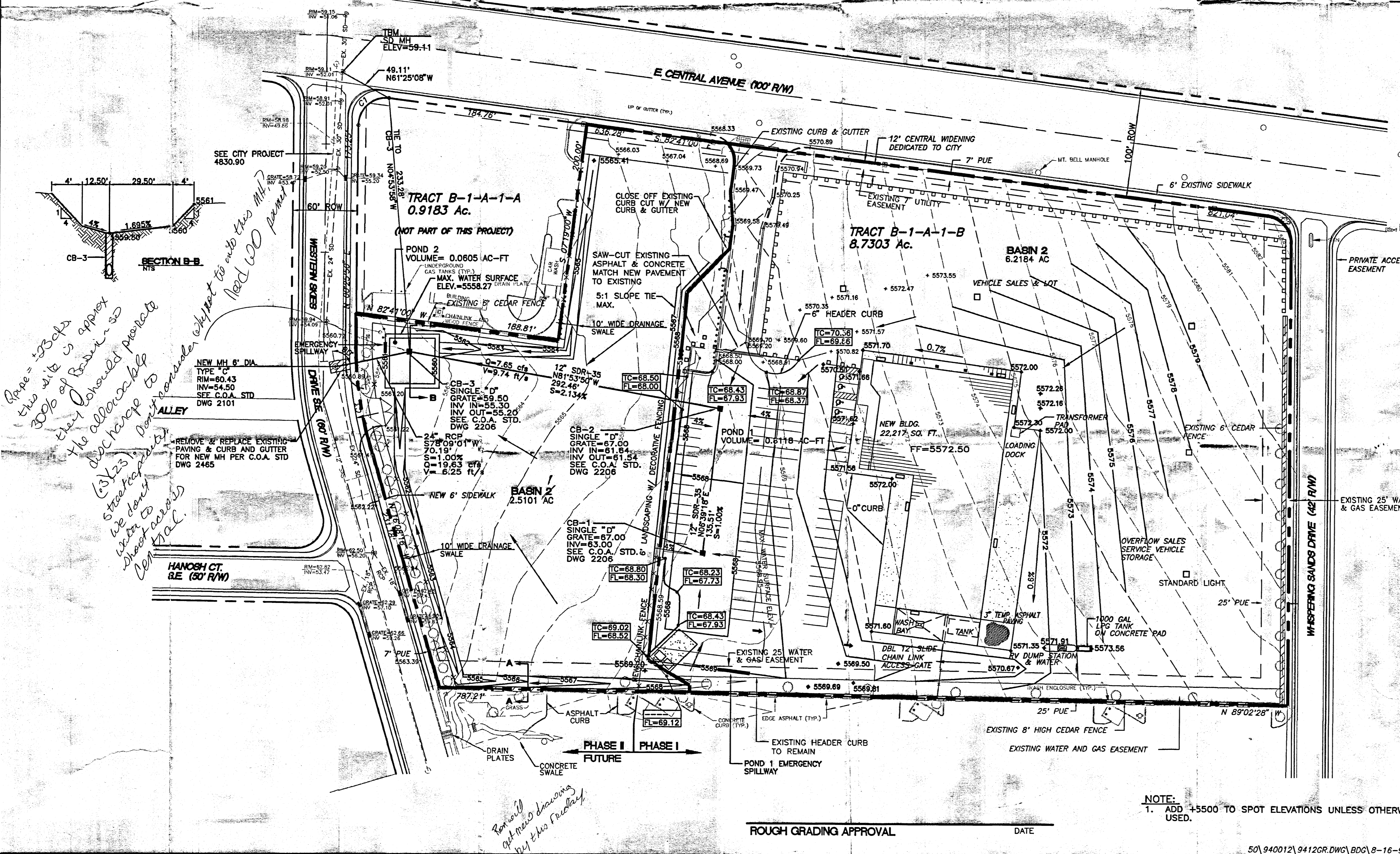
SITE VOLUME TABLE - ADJUSTED

Site	Stratum	Surf1	Surf2	yards	Cut	yards	Fill	yards	Net	Method
vol1										
	vol1	ex	fg							
	Cut Factor For Shrinkage		0.65		2746		1331		1415 (C)	Grid
	Fill Factor For Compaction		0.95		3081		1357		1723 (C)	Composite
					3454		1484		1970 (C)	End area
					3454		1485		1969 (C)	Prismoidal
Average Excess Cut = 1769.25 yds										



VICINITY MAP ZONE ATLAS L-22-Z

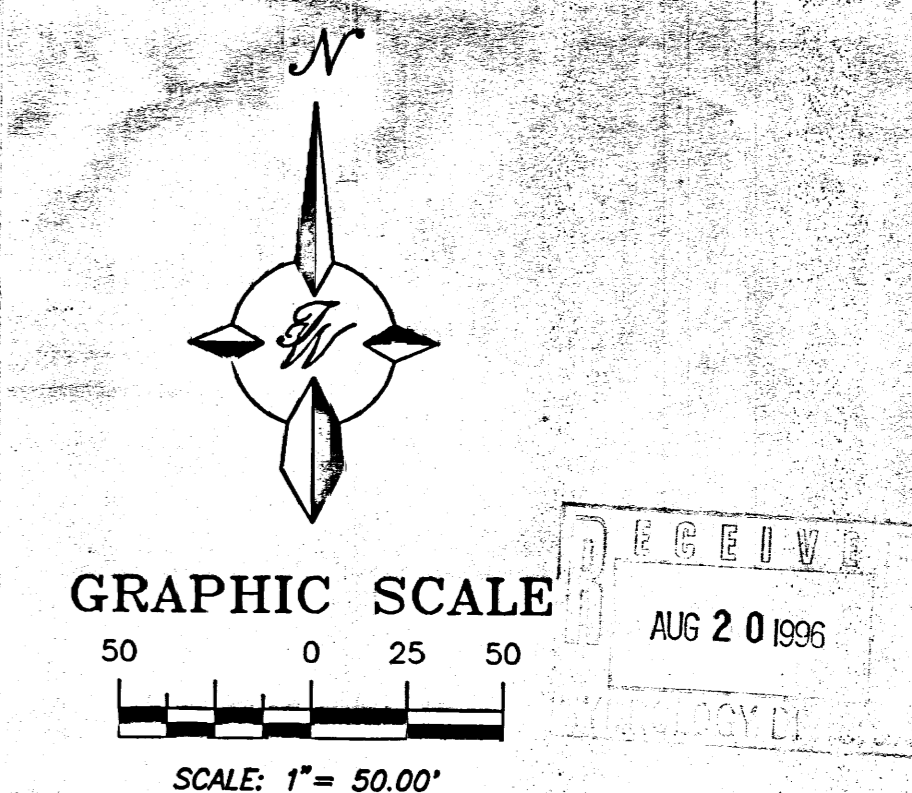
FEMA MAP #350002 0037



LEGEND

---	BOUNDARY
	EXISTING CEDAR FENCE
-x-x-	CHAIN LINK FENCE
□-□-□	DECORATIVE FENCE
-5568-	PROPOSED CONTOUR
-5564-	EXISTING CONTOUR
---	EXISTING STORM SEWER LINE
---	EXISTING SANITARY SEWER LINE
□	BASIN
○	NEW STORM SEWER MH
○	NEW STORM SEWER INLET
---	EXISTING SANITARY SEWER LINE
○	SINGLE "D"
○	DOUBLE "D"

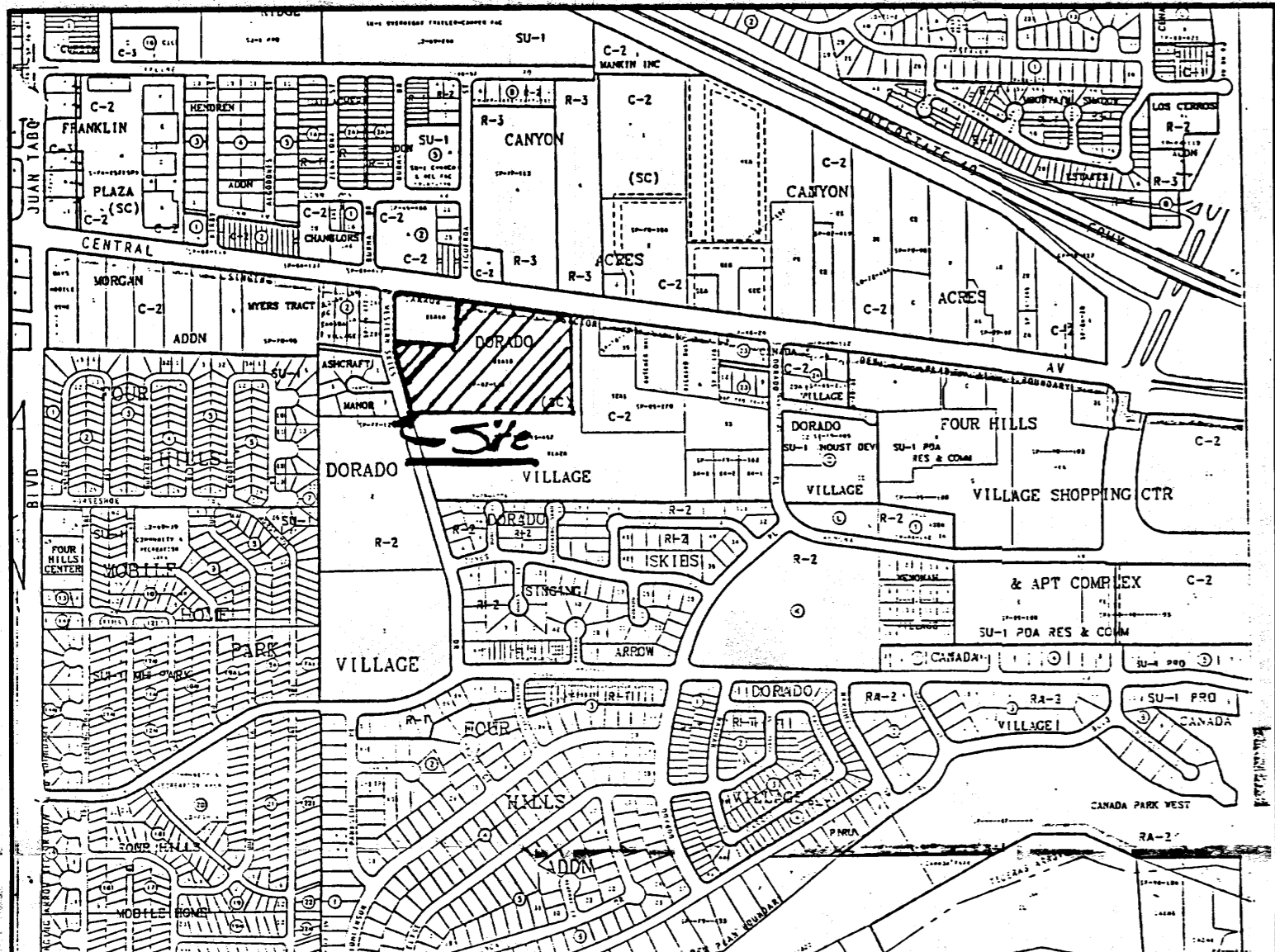
- EROSION CONTROL PLAN NOTES**
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
 3. CONTRACTOR IS RESPONSIBLE FOR CLEANING UP ANY SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
 4. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE RUN-OFF WITHIN THE SITE DURING CONSTRUCTION.
 5. EROSION CONTROL BERM MUST BE IN PLACE PRIOR TO ANY CONSTRUCTION ON SITE.



ENGINEER'S SEAL	ROCKY MOUNTAIN RV-MARINE FACILITY GRADING AND DRAINAGE PLAN 12,700 CENTRAL S.E. ALBUQUERQUE, NM 87123 TERRA WEST DEVELOPMENT MANAGEMENT SERVICES 4421 McLEOD ROAD, NE SUITE D ALBUQUERQUE, NEW MEXICO 87109 (505)883-7592	DRAWN BY PVG
		DATE 6-22-94
RONALD R. BOHANNAN P.E. #7868		SHEET # 9412GR.DWG
		JOB # 940012

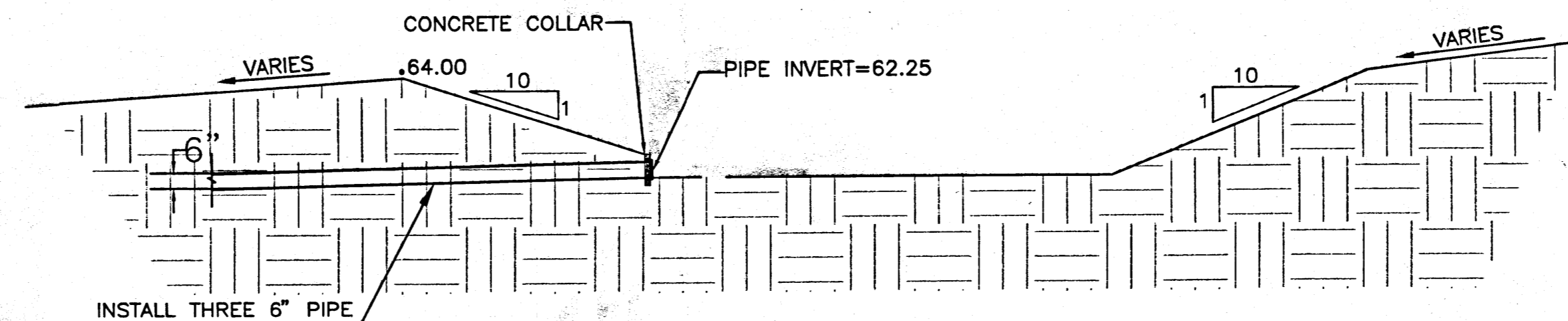
NOTE:
 1. ADD +5500 TO SPOT ELEVATIONS UNLESS OTHERWISE USED.

ROUGH GRADING APPROVAL DATE



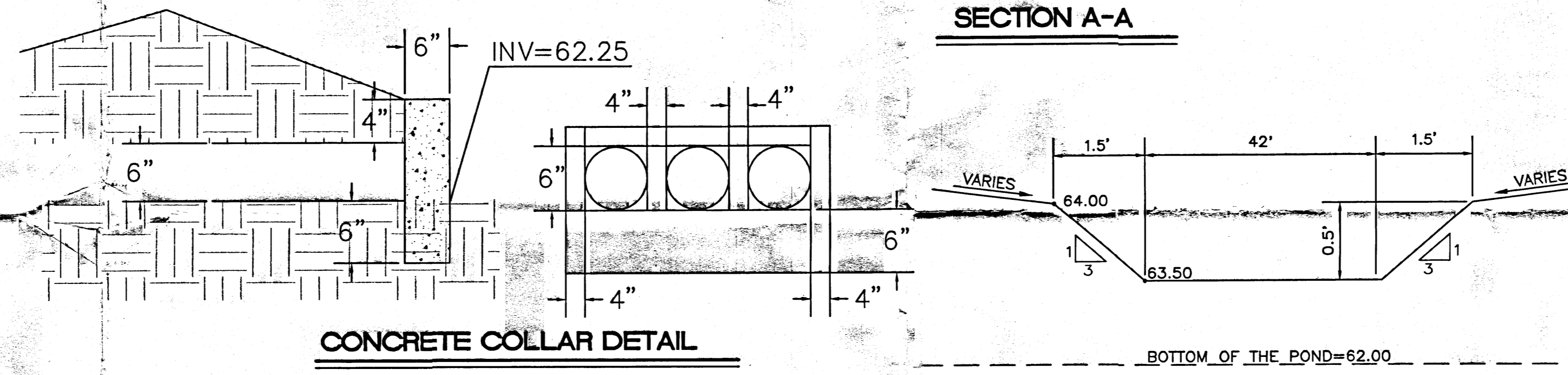
VICINITY MAP ZONE ATLAS L-22-Z

PROJECT BENCHMARK:
 A STANDARD USDA BRASS TABLE STAMPED
 "NW COR. 4.1934 EL. 5560" SET IN TOP OF
 A CONCRETE POST PROJECTING 0.4 FT. TO
 REACH THE STATION FROM THE INTERSECTION
 OF CENTRAL AVE. 0.30 MILES TO THE
 JUNCTION WITH WESTERN SKIES DR. THE
 STATION IS LOCATED IN THE SOUTHEAST
 QUADRANT OF THE INTERSECTION.
 ELEVATION: 5560.114 FEET (M.S.L.D.)
 CALL DIANE ALDRICH TEL# 884-1990

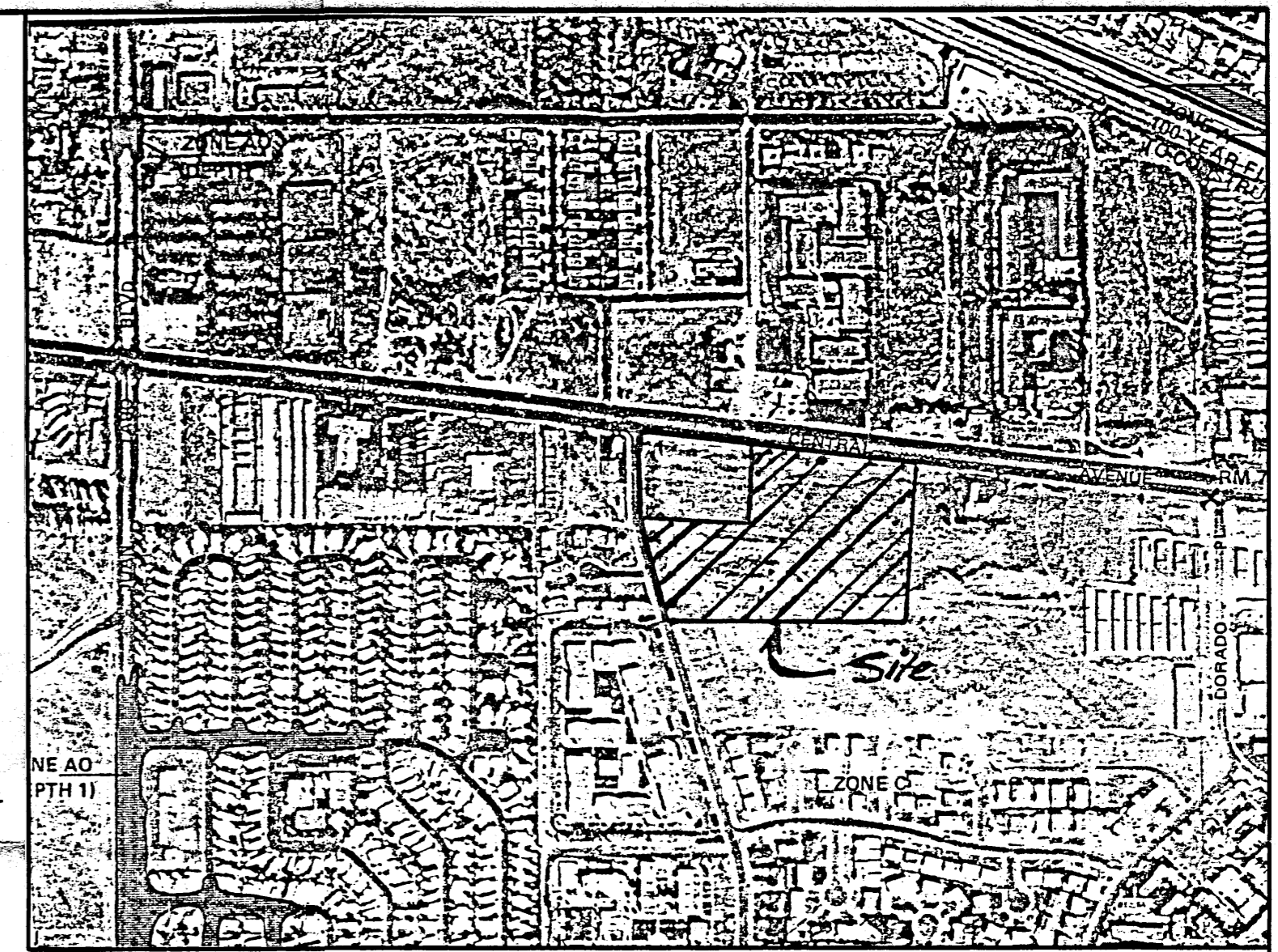


CONCRETE COLLAR DETAIL

SECTION A-A



SECTION B-B
 EMERGENCY SPILLWAY SECTION



FEMA MAP #350002 0037

LEGAL DESCRIPTION
 TRACT B1A1B DORADO VILLAGE, UNIT 3

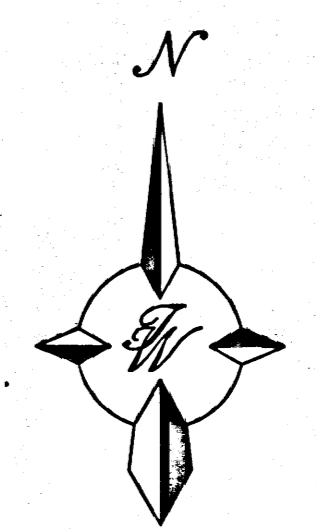
LEGEND

- BOUNDARY
- EXISTING CEDAR FENCE
- CHAIN LINK FENCE
- DECORATIVE FENCE
- 62 — PROPOSED CONTOUR
- - - EXISTING CONTOUR

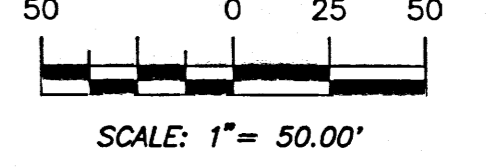
64' CONTOUR AREA 38,476.00 SQ. FT.
 62' CONTOUR AREA 23,754.65 SQ. FT.
 TOTAL PONDING VOLUME 82,230.65 CU. FT.

GENERAL NOTES

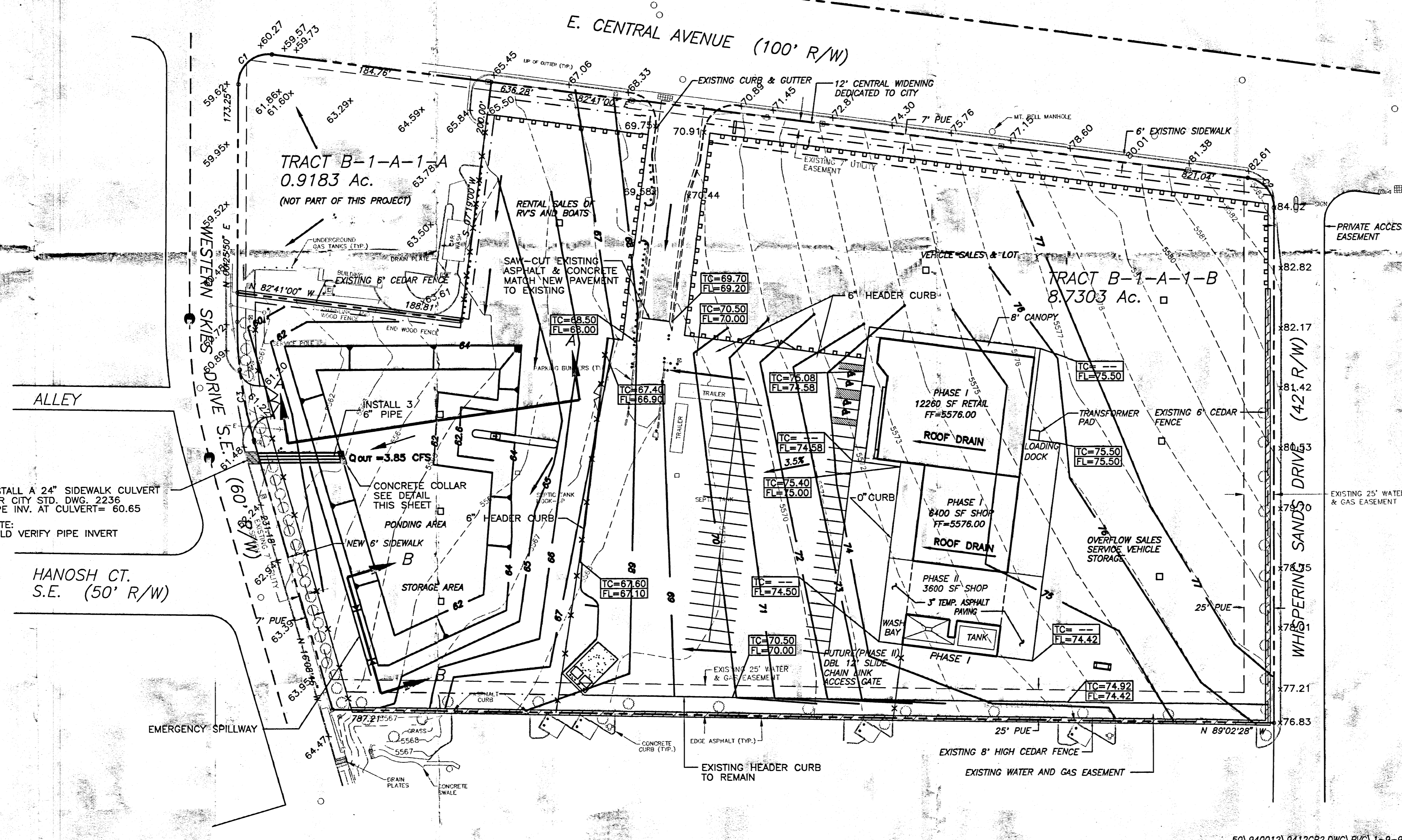
- 1) TRACT B-1-A-1-A IS CURRENTLY DEVELOPED. THE FLOW FROM THIS SITE FLOWS NORTH AND SOUTH TO CENTRAL AVE. AND WESTERN SKIES DR. FLOWS FROM THIS SITE DO NOT IMPACT THE SITE.



GRAPHIC SCALE



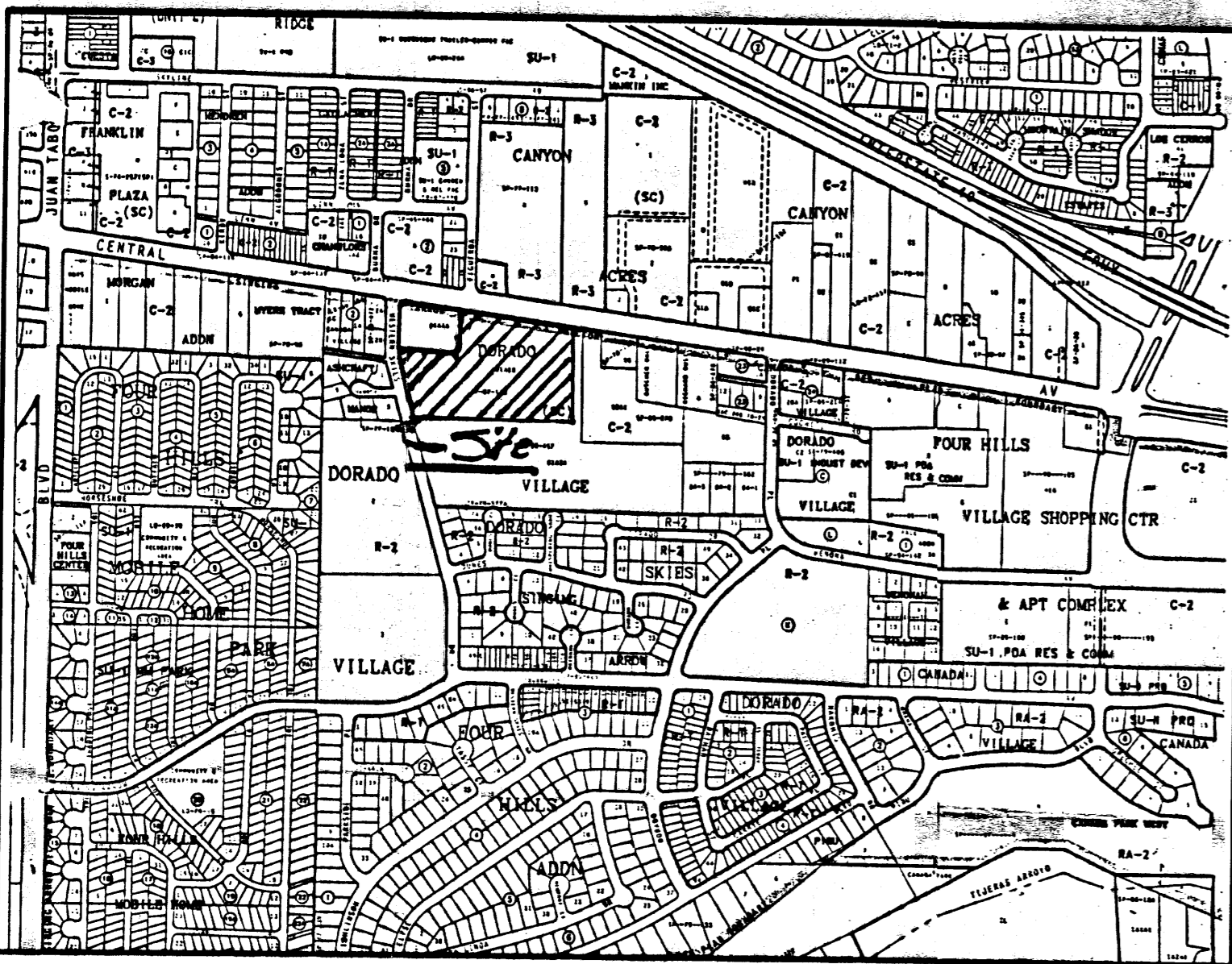
RECEIVED
 JAN 29 1996
 HYDROLOGY DIVISION



INSTALL A 24" SIDEWALK CULVERT
 PER CITY STD. DWG. 2236
 PIPE INV. AT CULVERT= 60.65
 NOTE:
 FIELD VERIFY PIPE INVERT

HANOSH CT.
 S.E. (50' R/W)

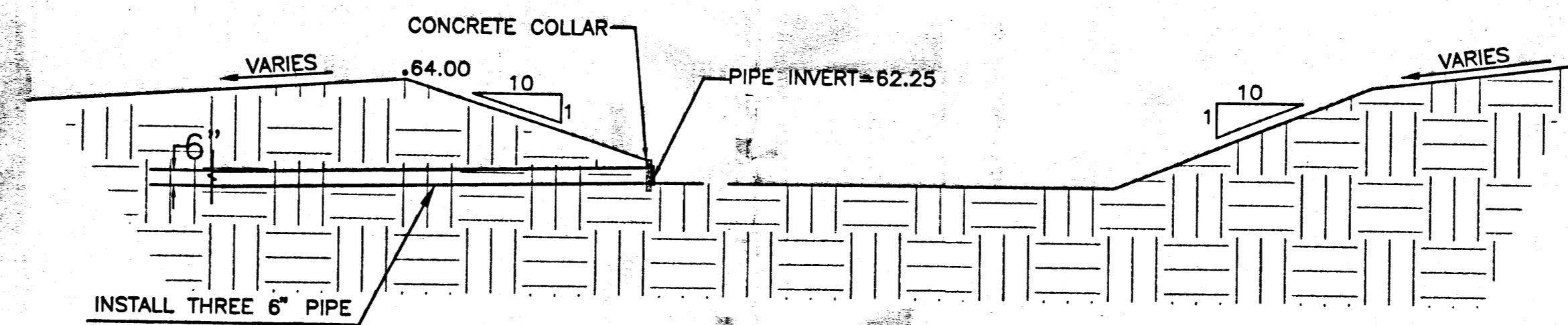
 RONALD R. BOHANNON P.E. #7868	ROCKY MOUNTAIN RV- MARINE FACILITY GRADING AND DRAINAGE PLAN 12,700 CENTRAL S.E. ALBUQUERQUE, NM 87123	DRAWN BY PVG DATE 6-22-94
	TIERRA WEST DEVELOPMENT MANAGEMENT SERVICES 4421 McLEDD ROAD, NE SUITE D ALBUQUERQUE, NEW MEXICO 87109 (505)883-7592	SHEET # 3 OF 6 JOB # 940012



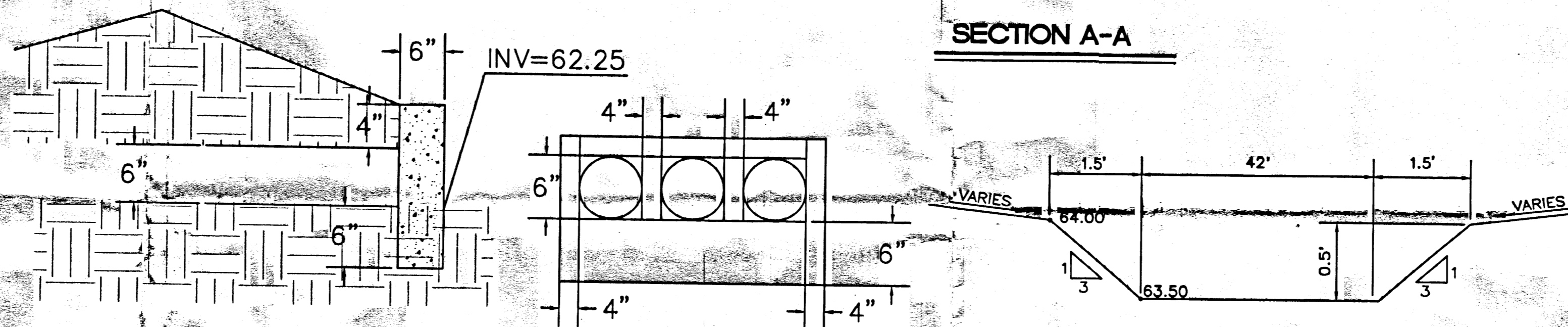
VICINITY MAP ZONE ATLAS L-22-Z

PROJECT BENCHMARK:

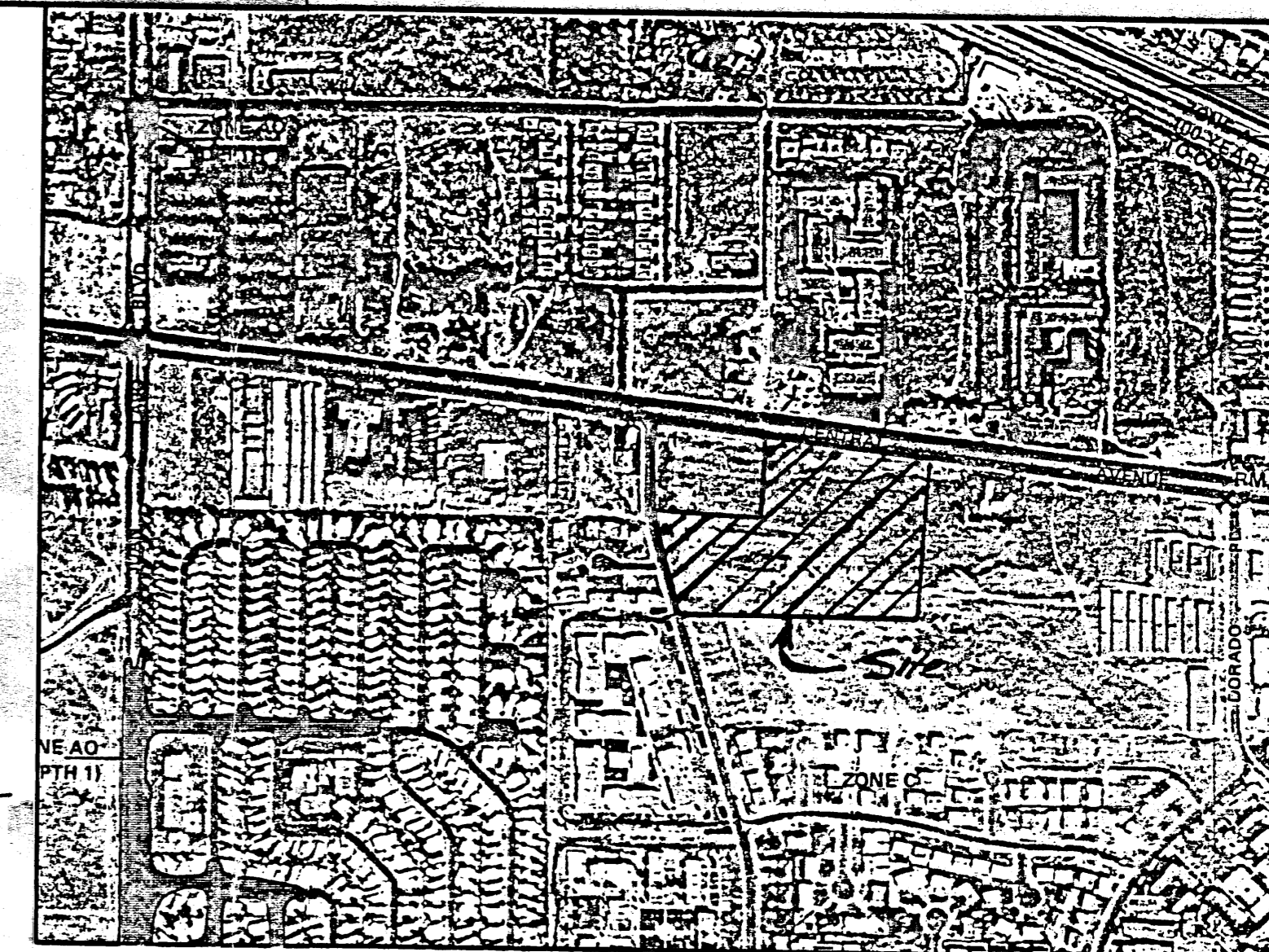
A STANDARD USDA BRASS TABLET STAMPED "NM Bar. 4, 1934 EL. 5580" SET IN TOP OF A CONCRETE POST PROJECTING 0.4 FT. TO REACH THE STATION FROM THE INTERSECTION OF CENTRAL AVE. 0.30 MILES TO THE JUNCTION WITH WESTERN SKIES DR. THE STATION IS LOCATED IN THE SOUTHEAST QUADRANT OF THE INTERSECTION. ELEVATION: 5580.14 FEET (M.S.L.D.) CALL DWANE ALDRICH TEL# 884-1890



SECTION A-A



CONCRETE COLLAR DETAIL



FEMA MAP #350002 0037

**SECTION B-B
EMERGENCY SPILLWAY SECTION**

LEGAL DESCRIPTION

TRACT B1A1B DORADO VILLAGE, UNIT 3

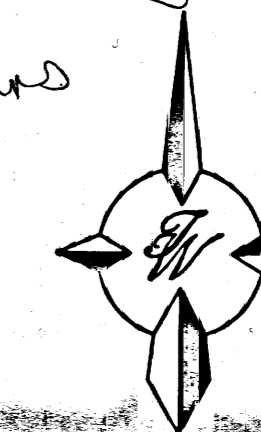
BOTTOM OF THE POND=62.00

LEGEND

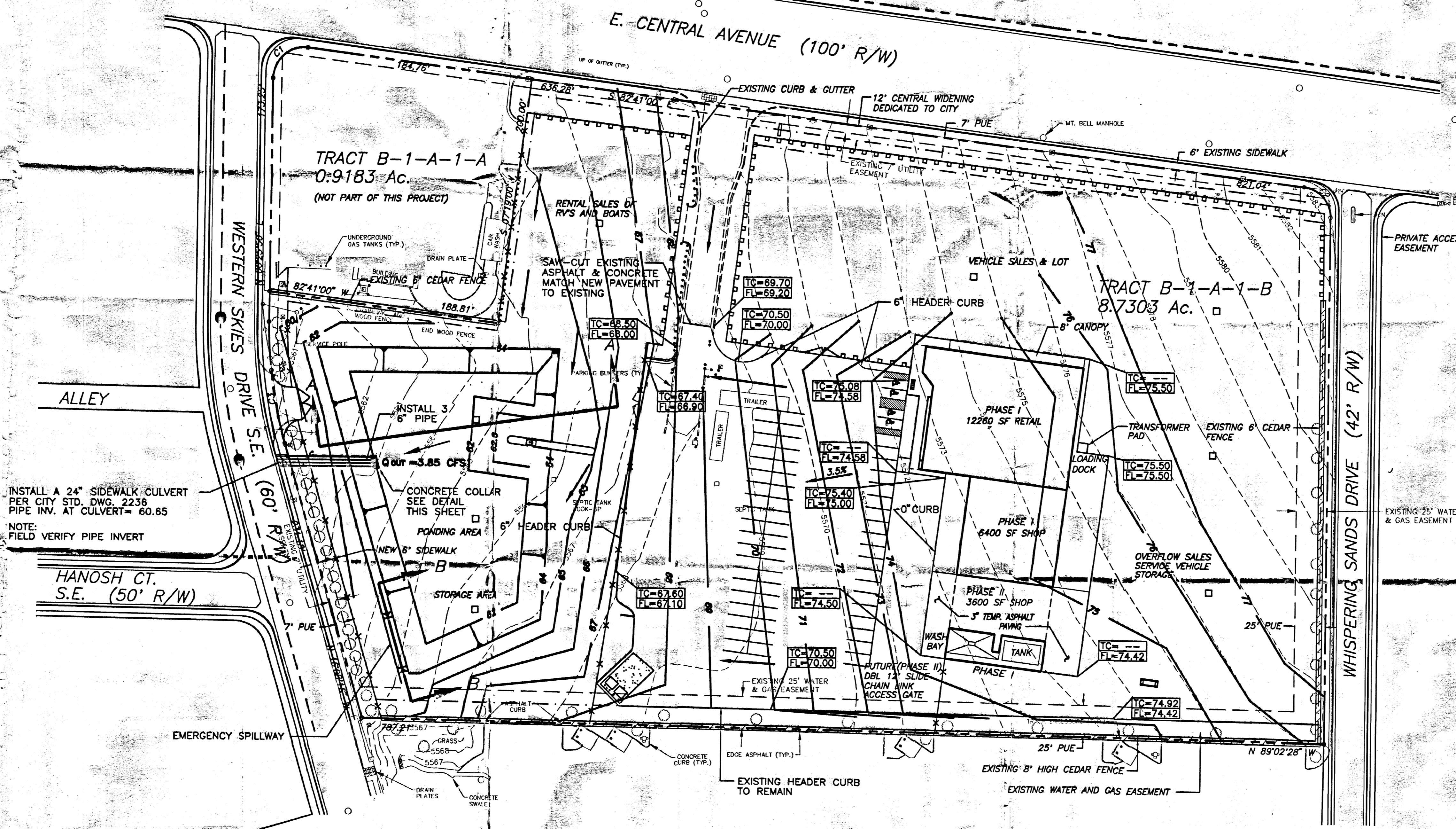
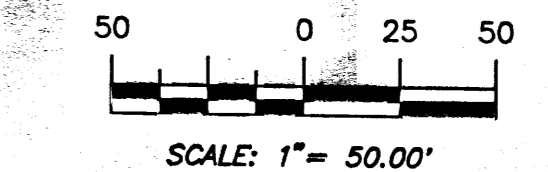
- BOUNDARY
- EXISTING CEDAR FENCE
- CHAIN LINK FENCE
- DECORATIVE FENCE
- PROPOSED CONTOUR
- EXISTING CONTOUR

64' CONTOUR AREA 38,476.00 SQ.FT.
62' CONTOUR AREA 23,754.65 SQ.FT.
TOTAL PONDING VOLUME 62,230.65 CU.FT.

- 1) Need FF + FP elevations
- 2) Need lots more spots
- 3) Which way does water flow? (show contours/grades)
- 4) show spots along Central
- 5) Resp draws
- 6) All ABC



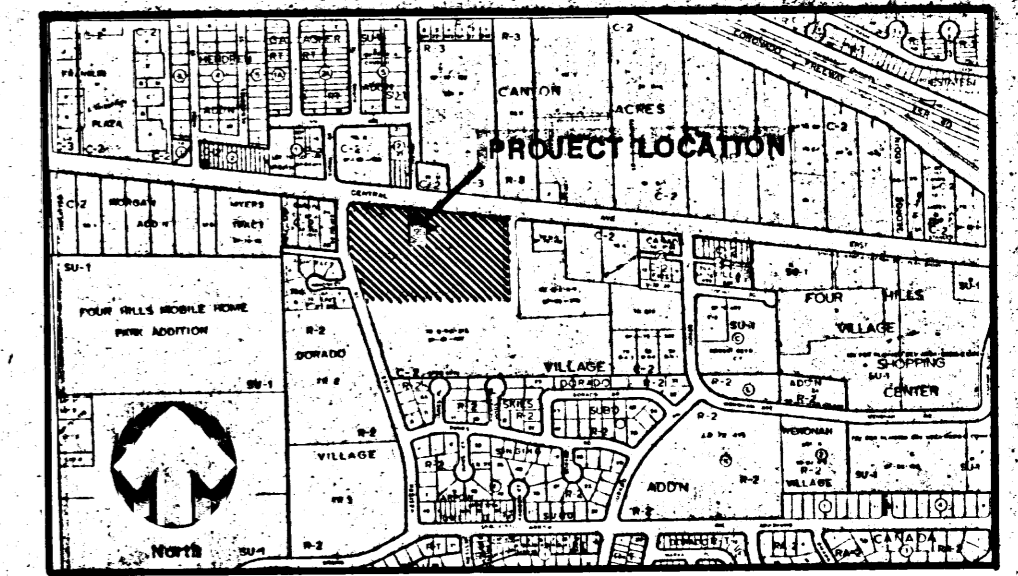
GRAPHIC SCALE



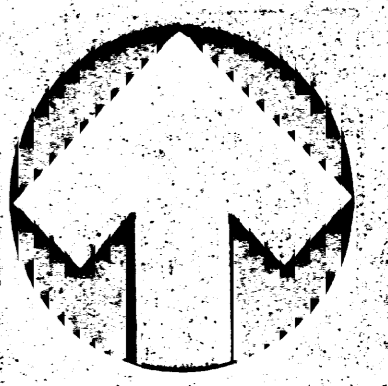
INSTALL A 24" SIDEWALK CULVERT PER CITY STD. DWG. 2236 PIPE INV. AT CULVERT= 60.65
NOTE: FIELD VERIFY PIPE INVERT

HANOSH CT. S.E. (50' R/W)

	ROCKY MOUNTAIN RV-MARINE FACILITY GRADING AND DRAINAGE PLAN 12,700 CENTRAL S.E. ALBUQUERQUE, NM 87123	DRAWN BY PVG DATE 6-22-94 9412GR2.DWG
	TIERRA WEST DEVELOPMENT MANAGEMENT SERVICES 4421 McLEOD ROAD, NE SUITE D ALBUQUERQUE, NEW MEXICO 87109 (505)883-7592	SHEET # 3 OF 5 JOB # 940012

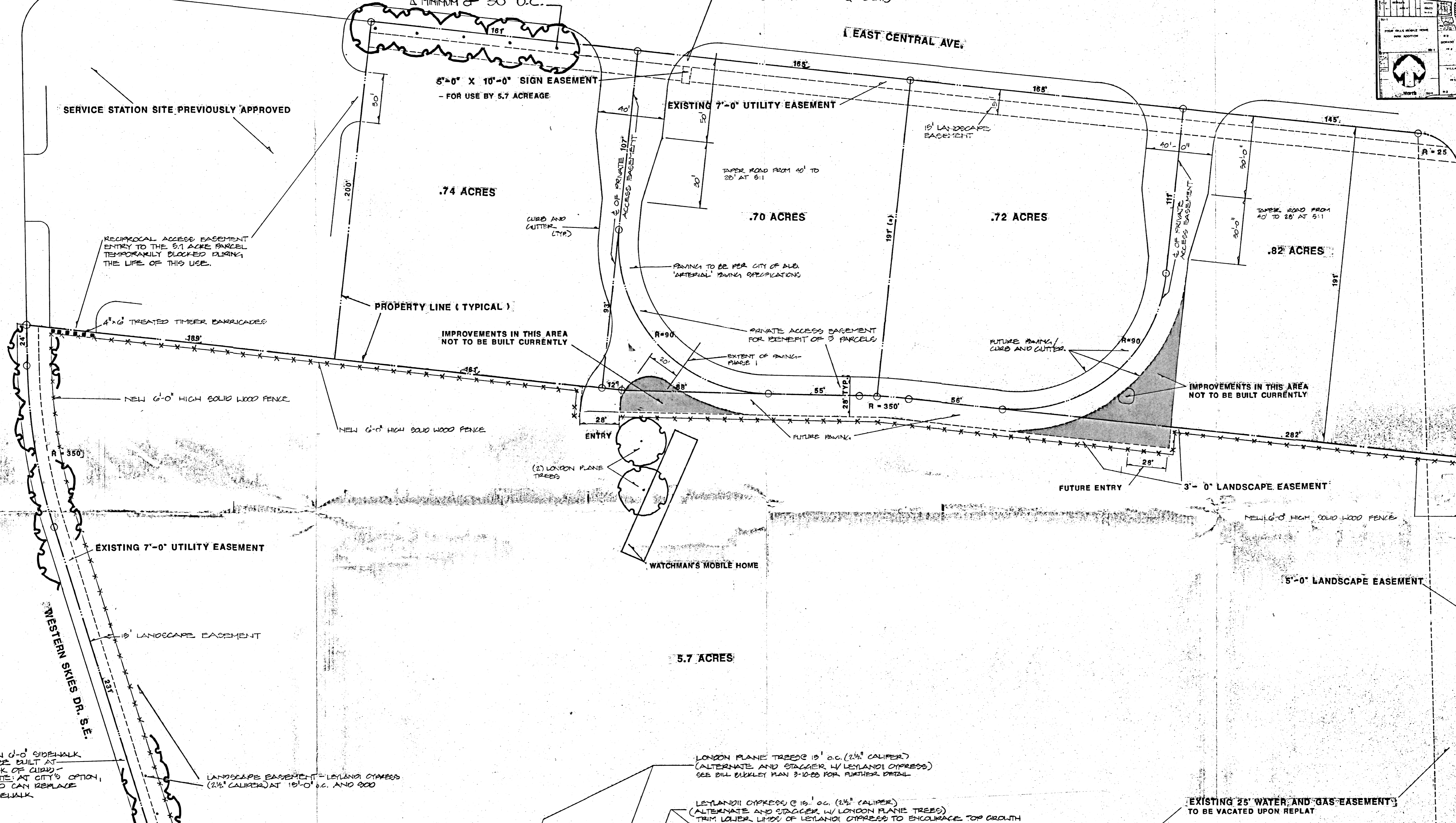


LOCATION MAP
ZONE ATLAS MAP NO. L 22-2

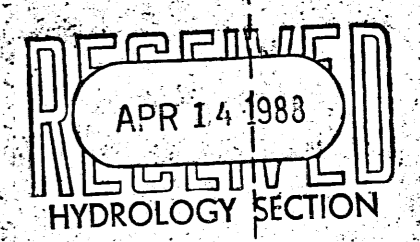


North
SCALE 1" = 30'

LANDSCAPE TREES ALONG CENTRAL AVE. TO CONFORM TO STREET TREE ORDINANCE. TREES TO BE AT LEAST 2" CAL. AND SPACED A MINIMUM OF 30' O.C.
LANDSCAPE MATERIALS TO CONFORM TO CLEAR SIGHT TRIANGLE REQUIREMENTS.



42' COMMON ACCESS EASEMENT FOR TRACTS B1A1 TO WEST AND B1A2 TO EAST



APPROVALS

PLAT NO.	DATE
PLANNING DIRECTOR	DATE
CITY ENGINEER	DATE
A.M.A.F.C.A.	DATE
TRAFFIC ENGINEER	DATE
CITY SURVEYOR	DATE
PROPERTY MANAGEMENT	DATE
WATER RESOURCES DEPARTMENT	DATE
PARKS & RECREATION DEPARTMENT	DATE

NOTES:

- Parcels along Central Avenue shall have a floor area ratio not greater than 0.3 and shall not contain buildings greater than two stories in height.
- Streetscape landscaping shall consist primarily of a combination of shrubs and deciduous trees in the setback area between the back of the curb at the street and the face of the curb of an adjacent parking area. Tree location shall meet requirements of the Street Tree Ordinance, and clear-site triangle requirements must be met.
- Each of the four parcels abutting Central Avenue shall have parking lot landscaping consisting primarily of deciduous trees and grass turf with automatic irrigation system covering at least 12% of the paved area. Perimeter landscaping shall not be counted as part of the requirements; provided, however, that the total landscaping need not exceed a maximum of 15% coverage of the paved area. Landscaping for the .5.7 acre parcel shall be as shown on this plan.
- Parking shall be in accordance with the C-2 Zone Regulations.
- Each of the four parcels abutting Central Avenue shall be provided with a monument sign not greater than 8'-0" in height or 50 square feet in surface area each side.
- The .5.7 acre parcel on the south shall be provided with a pole sign not greater than 26' high or 50 square feet in surface area each side and its location shall be adjacent to Central Avenue.
- Provide new 8'-0" high solid wood fence along the southern property line.
- Pedestrian ingress and egress shall be determined at the site plan review for building permits.
- Minimum building setbacks shall be in accordance with the C-2 Zone Regulations.
- Minimum setback for one story buildings along the southern property line shall be 10'-0" and for two story buildings along the southern property line shall be 26'-0"; provided, however, that this shall not apply to storage unit buildings.
- Land use shall be as permitted in the C-2 Zone Regulations and as in the Singing Arrow Plan.

2-87-125

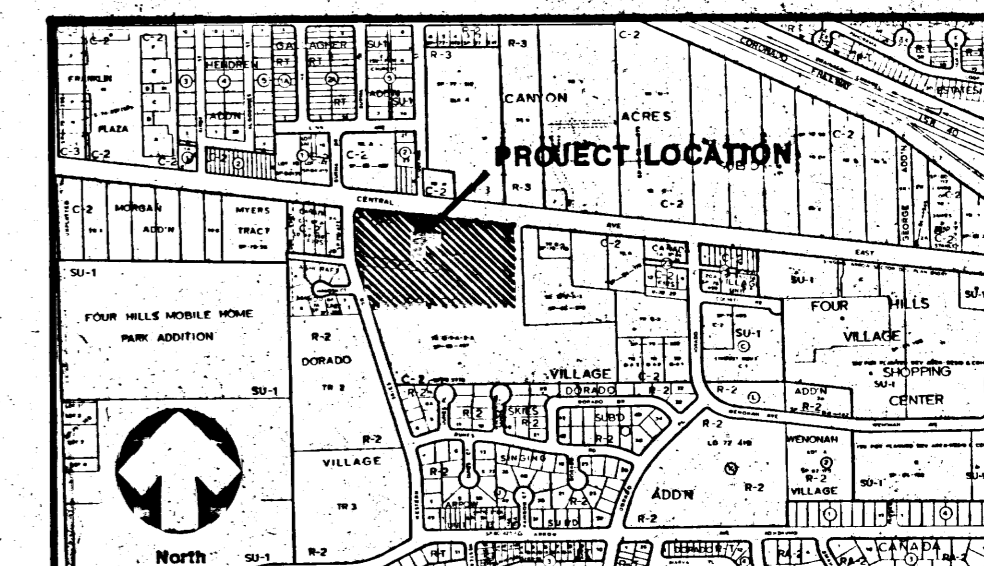
E.P.C. CASE NO. Z-87125

BOHANNAN HUSTON, INC.

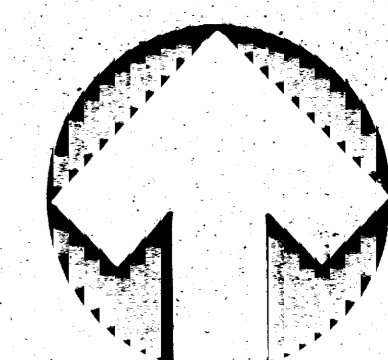
PROJECT TITLE
**CENTRAL AVE/WESTERN SKIES
SITE 7 LANDSCAPE PLAN**

CONTENTS

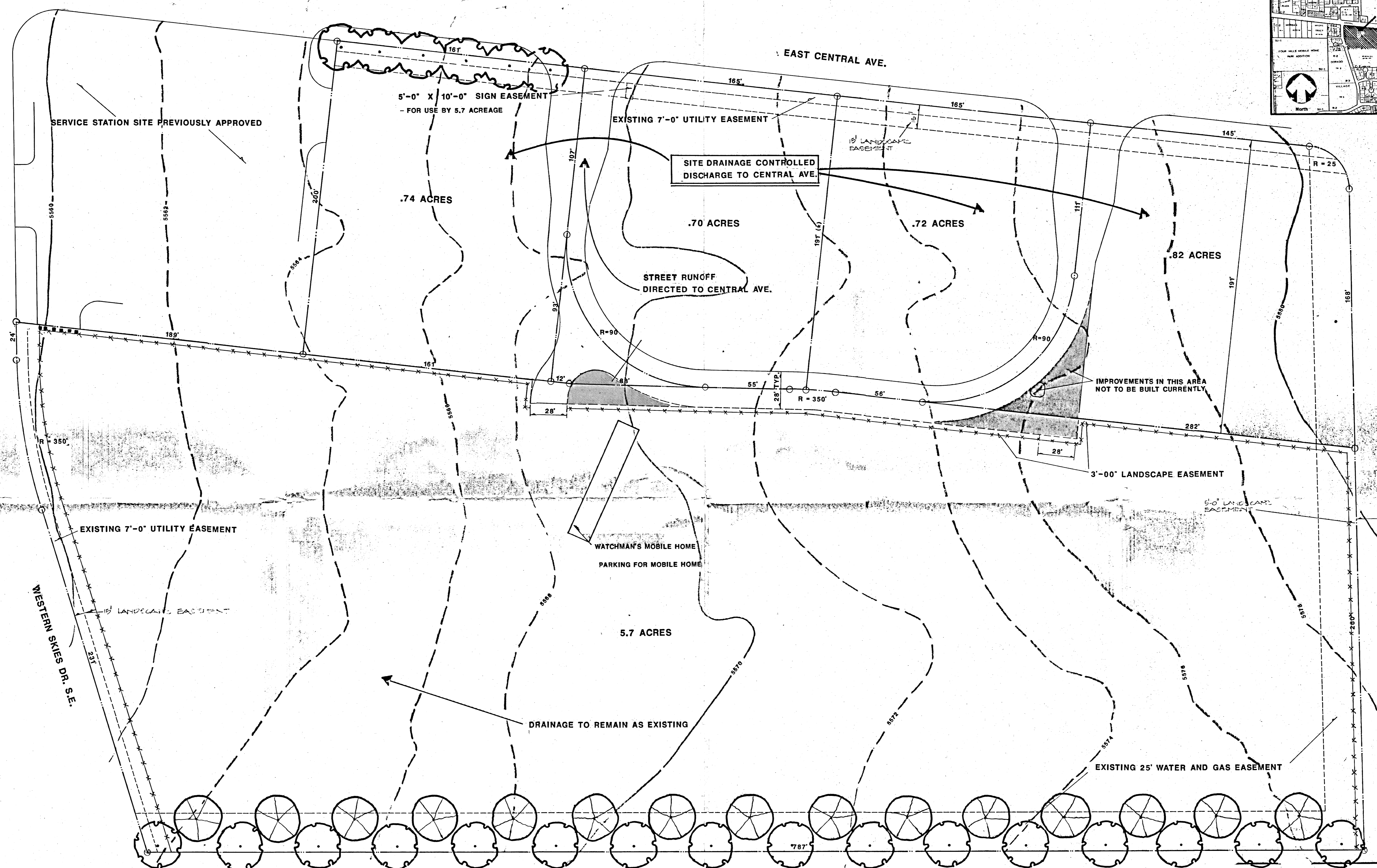
REVISIONS	DRAWN	PAGE
7/10/87	8/29/87	
9-9-87	CHECKED	SHEET
9-24-87	PROJECT NO.	
4-13-88		



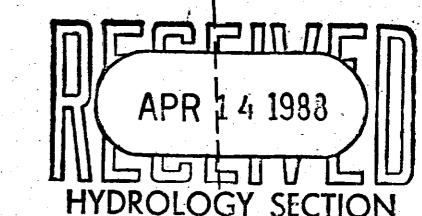
LOCATION MAP
ZONE ATLAS MAP NO. L 22-Z



North
SCALE 1" = 30'



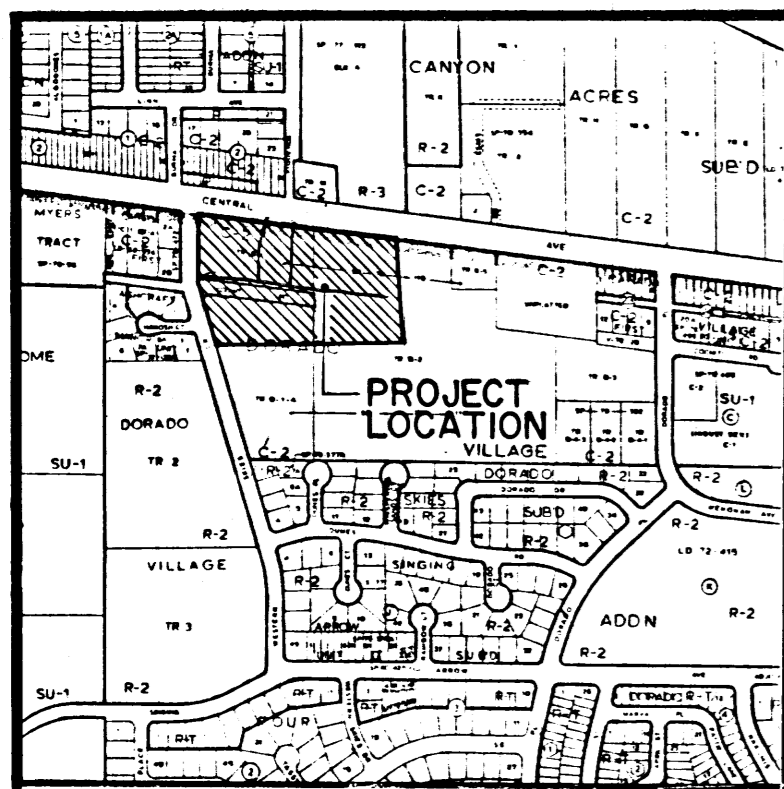
NOTE: SITE UTILITIES EXTENDED FROM
WESTERN SKIES DRIVE OR CENTRAL AVE.
AS NECESSARY.



BOHANNAN HUSTON, INC.		
PROJECT TITLE CENTRAL AVE./WESTERN SKIES DRAINAGE / UTILITY PLAN		
CONTENTS		
REVISIONS	DRAWN	PAGE
7/10/87	8/29/87	
9-9-87	CHECKED	
9-24-87		SHEET
4-13-88	PROJECT NO.	

E.P.C. CASE NO. Z-87125

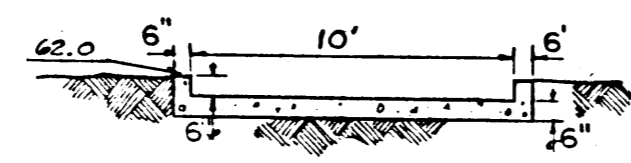
BRUNING 44132 62823



- LEGEND**
- ▲ EXISTING SPOT ELEVATION
 - ◆ PROPOSED SPOT ELEVATION
 - - - EXISTING CONTOUR
 - PROPOSED CONTOUR
 - ▭ PROPOSED CONCRETE

PROJECT BENCHMARK - T.B.M.
 A STANDARD U.S. DRAEG TABLET STAMPED "N.M. Dec. 4, 1954 E.I. 2560" SET IN TOP OF A CONCRETE POST PROJECTING 0.4 FT. TO REACH THE STATION FROM THE INTERSECTION OF CENTRAL AVE. 0.50 MILES TO THE JUNCTION WITH WESTERN SKIES DR. THE STATION IS LOCATED IN THE SOUTHEAST QUADRANT OF THE INTERSECTION. ELEVATION: 5560.114 FEET (M.S.L.D.)

LEGAL DESCRIPTION
 TRACT B-1-A-1 DORADO VILLAGE, UNIT 3



- CONSTRUCTION NOTES:**
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE 765-1234, FOR LOCATION OF EXISTING UTILITIES.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 - ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
 - ALL CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.

- EROSION CONTROL MEASURES**
- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AT THE PROPERTY LINES AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
 - THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.

DRAINAGE PLAN
 The following items concerning the Western Skies Shopping Village Drainage Plan are contained hereon:

- Vicinity Map
- Grading Plan
- Calculations

The proposed improvements, as shown on the Vicinity Map, are located on the south side of East Central Avenue to the east of Western Skies Drive S.E. At present the site is undeveloped. Several of the surrounding parcels are developed.

As shown on Plate L-22 of the Albuquerque Master Drainage Study, the site does not lie within a designated Flood Hazard Zone. Further study of this plate reveals that there may be localized flooding at the intersection of Western Skies Drive S.E. and Central Avenue, but that it is minimal. As indicated by the grading plan, there is an existing storm drainage system in East Central Avenue. The site is approximately level with Central Avenue to the north. The land to the east is higher in elevation than the project site, but the runoff from that site is controlled since it is a developed site. The project site is approximately level with, or slightly higher than, the land to the south. The site is higher in elevation than Western Skies Drive to the west, therefore, offsite flows are minimal.

The Grading Plan shows proposed grades indicated by spot elevations and contours at 1'-0" intervals, 2) continuity between existing and proposed elevations, 3) the limit and character of existing improvements, 4) the limit and character of proposed improvements, and 5) retaining walls. As shown by this plan, the proposed improvements consist of the construction of buildings and asphalt parking. The site is being graded to drain to the northwest corner. All flows will pass through a pond prior to exiting the site. An 18-inch culvert will connect the pond to the storm sewer system in Central Avenue via a catch basin. A concrete spillway will be constructed in the event that storms greater than the 100-year event overtop the pond.

The Calculations which appear below analyze both the existing and developed conditions for the 100-year, 6-hour rainfall event. The Rational Method has been used for this analysis in accordance with the City of Albuquerque Development Process Manual, Volume II. As shown by these calculations, the proposed improvements will result in a decrease in the runoff discharged from the site. This pattern of runoff is consistent with the pre-design conference re-cap which accompanies this submittal.

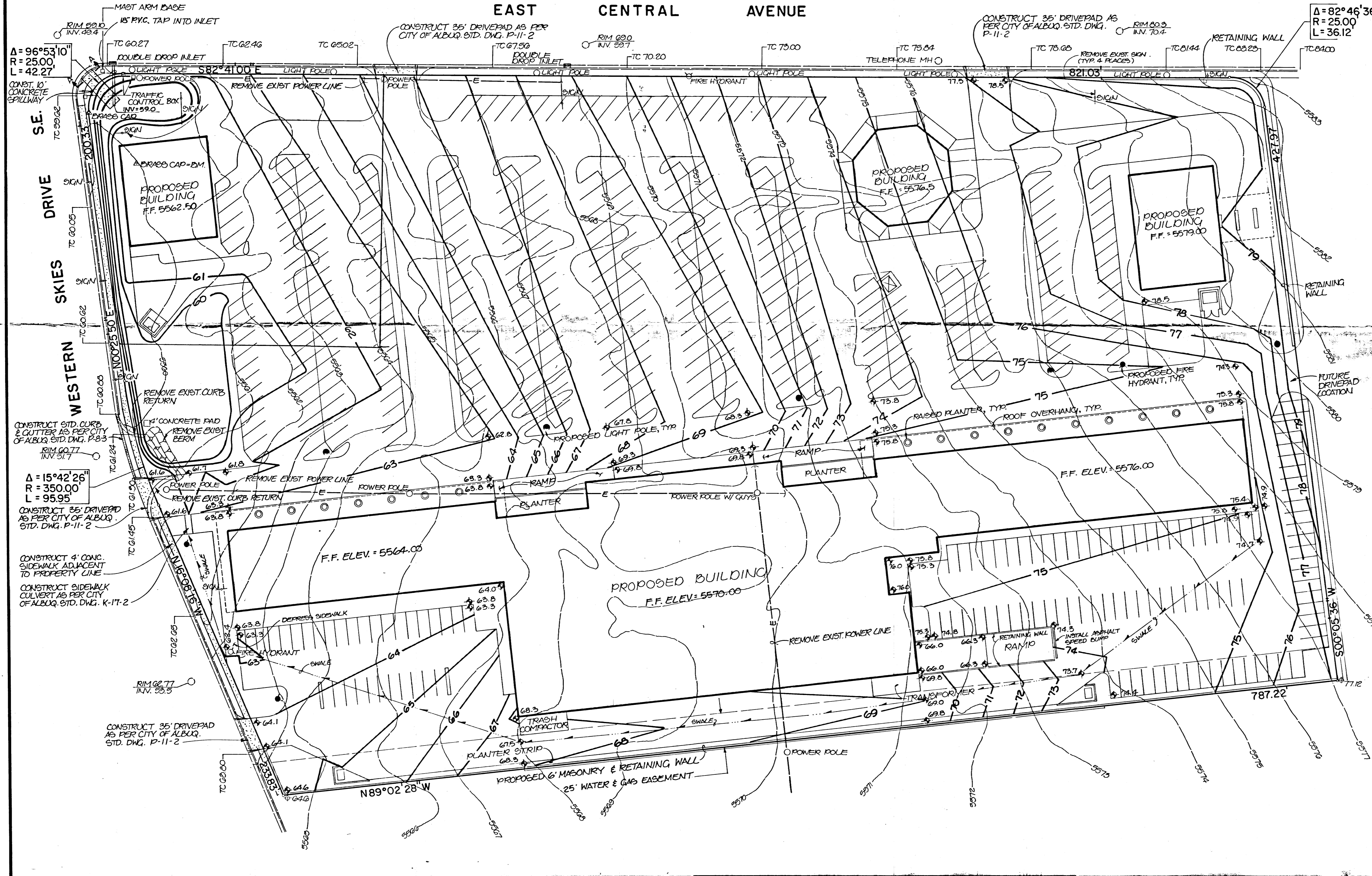
VICINITY MAP L-22
 SCALE: 1" = 800'

L-22

SCALE: 1" = 40'

SECTION A-A
 NOT TO SCALE

EAST CENTRAL AVENUE



CALCULATIONS

Ground Cover Information
 From GCS Bernalillo County Soil Survey, Plate 32:
 T₅B - Tijeras
 Hydrologic Soil Group B

Rational Method
 Discharge: Q = CIA
 where C varies
 i = 3.16 (84)^{-0.51} = 5.28 in/hr
 P₂ = 6.5 in (DM Plate 22.2 D-1)
 T_c = 10 min (minimum)
 A = area, acres

Volume: V = CP₂(1/12)²
 where C varies
 P₂ = 2.5 in (DM Plate 22.2 D-1)
 A = area, sf

Existing Condition
 A_{total} = 420,354 sf = 9.65 Ac
 A_{imp} = 0 sf; % impervious = 0%
 C₁₀₀ = 0.34 (DM Plate 22.2 C-1)
 Q₁₀₀ = CIA = 0.34(5.28)(9.65) = 17.3 cfs
 V₁₀₀ = CP₂A = 0.34(2.5/12)(420,354) = 29,775 cf

Developed Condition
 A_{total} = 420,354 sf = 9.65 Ac
 A_{imp} = 373,354 sf; % impervious = 89%
 C₁₀₀ = 0.85 (DM Plate 22.2 C-1)
 Q₁₀₀ = CIA = 0.85(5.28)(9.65) = 43.2 cfs
 V₁₀₀ = CP₂A = 0.85(2.5/12)(420,354) = 74,437 cf

Pond Volume:
 [(41,250 + 19,600)/2] + [(19,600 + 9,800)/2] = 45,125 cf

Outlet Capacity
 Q = CA √2gh
 18-inch diameter pipe
 A = 1.77 h = 1.25 c = 0.61
 Q = 0.61(1.77) √2(32.2)(1.25) = 9.7 cfs
 V₁₀₀ = 74,437 cf
 V₁ = 1/2(10)43.2(60) = 12,960 cf
 V₂ = 74,437 - 12,960 = 61,477
 T_R = 2(61,477)/60(43.2) = 47 min.

when outlet = 9.7 cfs, required pond volume =
 1/2(46.4 - 2.2)(43.2 - 9.7)60 = 44,421 cf

Comparison
 Q = 17.3 > 9.7 cfs
 V = 45,125 > 44,421 cf

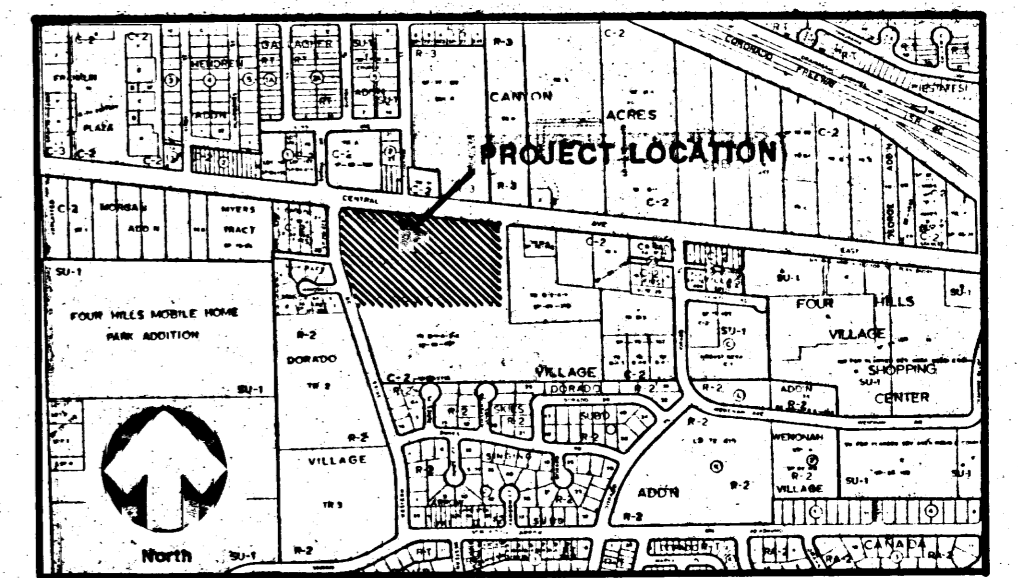
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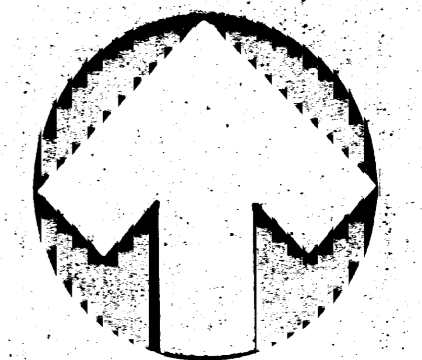
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					DRAWN BY: L.D.D.	DATE: 11/84
					APPROVED: T.T.M.	

**GRADING & DRAINAGE PLAN
 WESTERN SKIES SHOPPING VILLAGE**

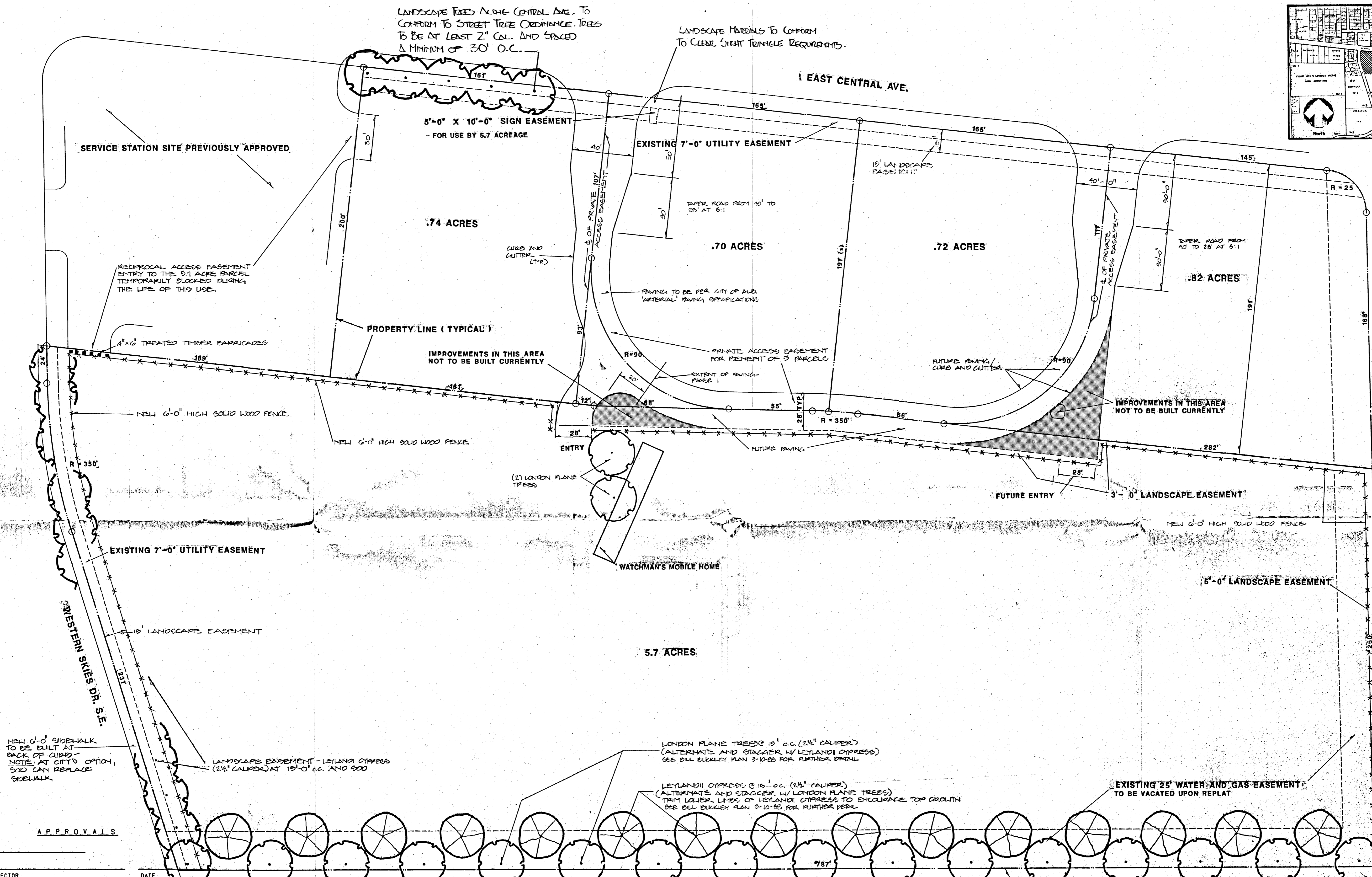
FILE NO.
 SHEET 1 OF 1



LOCATION MAP
ZONE ATLAS MAP NO. L 22-7



North
SCALE 1" = 30'



LANDSCAPE TREES ALONG CENTRAL AVE. TO CONFORM TO STREET TREE ORDINANCE. TREES TO BE AT LEAST 2" CAL. AND SPACED A MINIMUM OF 30' O.C.

LANDSCAPE MATERIALS TO CONFORM TO CLEAR SIGHT TRIANGLE REQUIREMENTS.

SERVICE STATION SITE PREVIOUSLY APPROVED

5'-0" X 10'-0" SIGN EASEMENT - FOR USE BY 5.7 ACREAGE

EXISTING 7'-0" UTILITY EASEMENT

.74 ACRES

.70 ACRES

.72 ACRES

.82 ACRES

.57 ACRES

PROPERTY LINE (TYPICAL)

IMPROVEMENTS IN THIS AREA NOT TO BE BUILT CURRENTLY

IMPROVEMENTS IN THIS AREA NOT TO BE BUILT CURRENTLY

EXISTING 7'-0" UTILITY EASEMENT

5' LANDSCAPE EASEMENT

5'-0" LANDSCAPE EASEMENT

42' COMMON ACCESS EASEMENT FOR TRACTS B1A TO WEST AND B1A2 TO EAST

NEW 6'-0" SIDEWALK TO BE BUILT AT BACK OF CURB. NOTE: AT CITY'S OPTION, 300 CAN REPLACE SIDEWALK.

LANDSCAPE EASEMENT - LEYLANDII CYPRESS (2 1/2" CALIPER) AT 15'-0" O.C. AND 900

LONDON PLANE TREES @ 15' O.C. (2 1/2" CALIPER) (ALTERNATE AND STAGGER W/ LEYLANDII CYPRESS) SEE BILL BUCKLEY PLAN 2-10-88 FOR FURTHER DETAIL

LEYLANDII CYPRESS @ 15' O.C. (2 1/2" CALIPER) (ALTERNATE AND STAGGER W/ LONDON PLANE TREES) TRIM LOWER LIMBS OF LEYLANDII CYPRESS TO ENCOURAGE TOP GROWTH SEE BILL BUCKLEY PLAN 2-10-88 FOR FURTHER DETAIL

EXISTING 25" WATER AND GAS EASEMENT TO BE VACATED UPON REPLANT

SOLID WOOD FENCE SEE NOTE 7

APPROVALS

PLAT NO.	DATE
PLANNING DIRECTOR	DATE
CITY ENGINEER	DATE
A.M.A.F.C.A.	DATE
TRAFFIC ENGINEER	DATE
CITY SURVEYOR	DATE
PROPERTY MANAGEMENT	DATE
WATER RESOURCES DEPARTMENT	DATE
PARKS & RECREATION DEPARTMENT	DATE

NOTES:

- Parcels along Central Avenue shall have a floor area ratio not greater than 0.3 and shall not contain buildings greater than two stories in height.
- Streetscape landscaping shall consist primarily of a combination of shrubs and deciduous trees in the setback area between the back of the curb at the street and the face of the curb of an adjacent parking area. Tree location shall meet requirements of the Street Tree Ordinance, and clear-site triangle requirements must be met.
- Each of the four parcels abutting Central Avenue shall have parking lot landscaping consisting primarily of deciduous trees and grass turf with automatic irrigation system covering at least 12% of the paved area. Perimeter landscaping shall not be counted as part of the requirement; provided, however, that the total landscaping need not exceed a maximum of 15% coverage of the paved area. Landscaping for the 5.7 acre parcel shall be as shown on this plan.
- Parking shall be in accordance with the C-2 Zone Regulations.
- Each of the four parcels abutting Central Avenue shall be provided with a monument sign not greater than 8'-0" in height or 50 square feet in surface area each side.
- The 5.7 acre parcel on the south shall be provided with a pole sign not greater than 26' high or 50 square feet in surface area each side and its location shall be adjacent to Central Avenue.
- Provide new 3'-0" high solid wood fence along the southern property line.
- Pedestrian ingress and egress shall be determined at the site plan review for building permits.
- Minimum building setbacks shall be in accordance with the C-2 Zone Regulations.
- Minimum setback for one-story buildings along the southern property line shall be 10'-0" and for two-story buildings along the southern property line shall be 26'-0"; provided, however, that this shall not apply to storage unit buildings.
- Land use shall be as permitted in the C-2 Zone Regulations and as in the Singing Arrow Plan.

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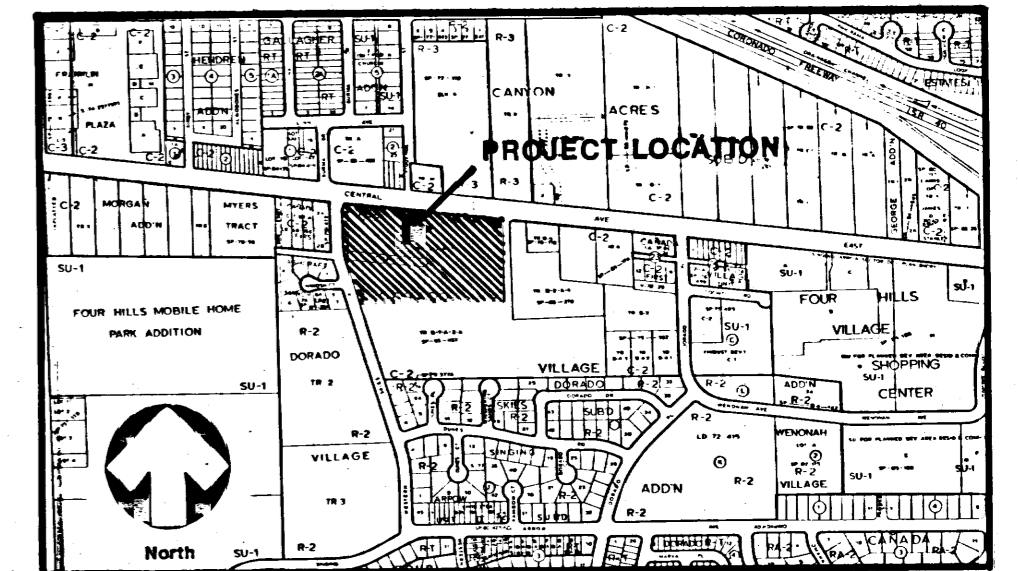
PROJECT TITLE
**CENTRAL AVE./WESTERN SKIES
SITE / LANDSCAPE PLAN**

CONTENTS

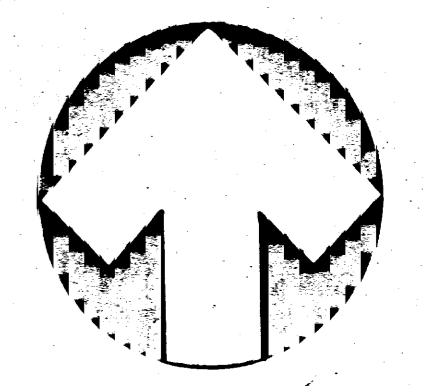
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9-24-87	PROJECT NO.	
4-13-88		

2-89-125

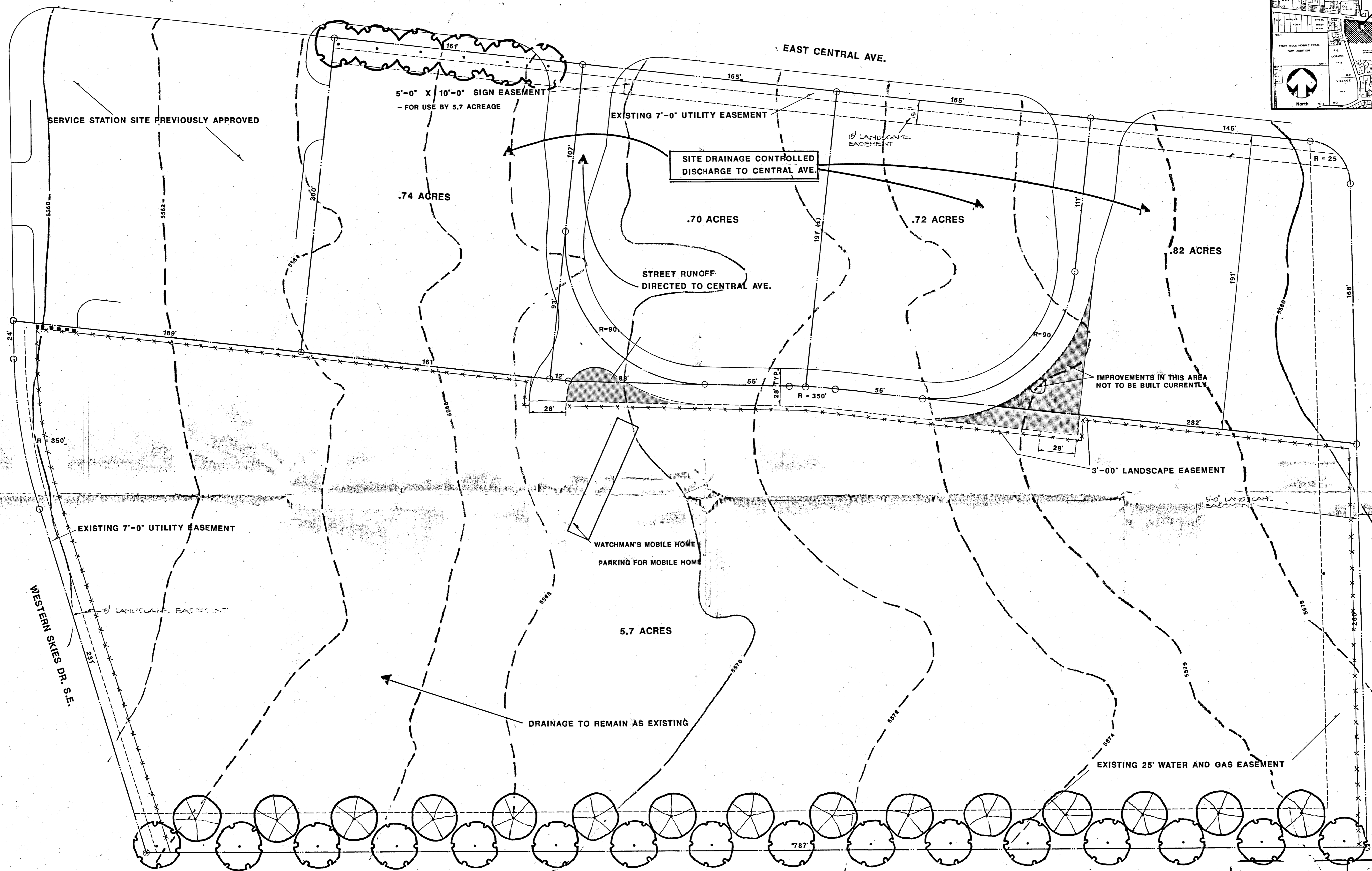
E.P.C. CASE NO. 2-87125



LOCATION MAP
ZONE ATLAS MAP NO. L 22 Z



North
SCALE 1" = 30'



42' COMMON
ACCESS EASEMENT FOR
TRACTS B1A1 TO WEST
AND B1A2 TO EAST

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**BOHANNAN
HUSTON, INC.**

PROJECT TITLE
**CENTRAL AVE./WESTERN SKIES
DRAINAGE / UTILITY PLAN**

CONTENTS

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9-9-87	CHECKED	
9-24-87		SHEET
4-13-88	PROJECT NO.	

NOTE: SITE UTILITIES EXTENDED FROM
WESTERN SKIES DRIVE OR CENTRAL AVE.
AS NECESSARY.

E.P.C. CASE NO. Z-87125

BRUNING 44.132 62823