

# DRAINAGE AND TRANSPORTATION SHEET

(REV. 1/28/2003rd)

201105  
Drainage

PROJECT TITLE: Rocky Mountain RV and Marine ZONE MAP/DRG. FILE # L-22  
DRB #: 1006828 EPC #: \_\_\_\_\_ WORK ORDER #: \_\_\_\_\_

LEGAL DESCRIPTION: Tract B-1-A-1-B of Dorado Village Subdivision  
CITY ADDRESS: 12700 Central Avenue, SE

ENGINEERING FIRM: Tierra West, LLC CONTACT: Ron Bohannon  
ADDRESS: 5571 Midway Park Place NE PHONE: (505) 858-3100  
CITY, STATE: Albuquerque, NM ZIP CODE: 87109

OWNER: Rocky Mountain RV and Marine CONTACT: Rick Scholl  
ADDRESS: 12700 Central Avenue, SE PHONE: 505-292-7800  
CITY, STATE: Albuquerque, NM ZIP CODE: 87123

ARCHITECT: Parkline/ West, Inc. CONTACT: Bruce Ross  
ADDRESS: PO Box 93457 PHONE: (505) 761-9700  
CITY, STATE: Albuquerque, NM ZIP CODE: 87199-3457

SURVEYOR: Precision Surveys, Inc. CONTACT: Larry Medrano  
ADDRESS: 5571 Midway Park Place, NE PHONE: 505-856-5700  
CITY, STATE: Albuquerque, NM ZIP CODE: 87109

CONTRACTOR: TBD CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

## CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

## CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANACIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ SO-19

## WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

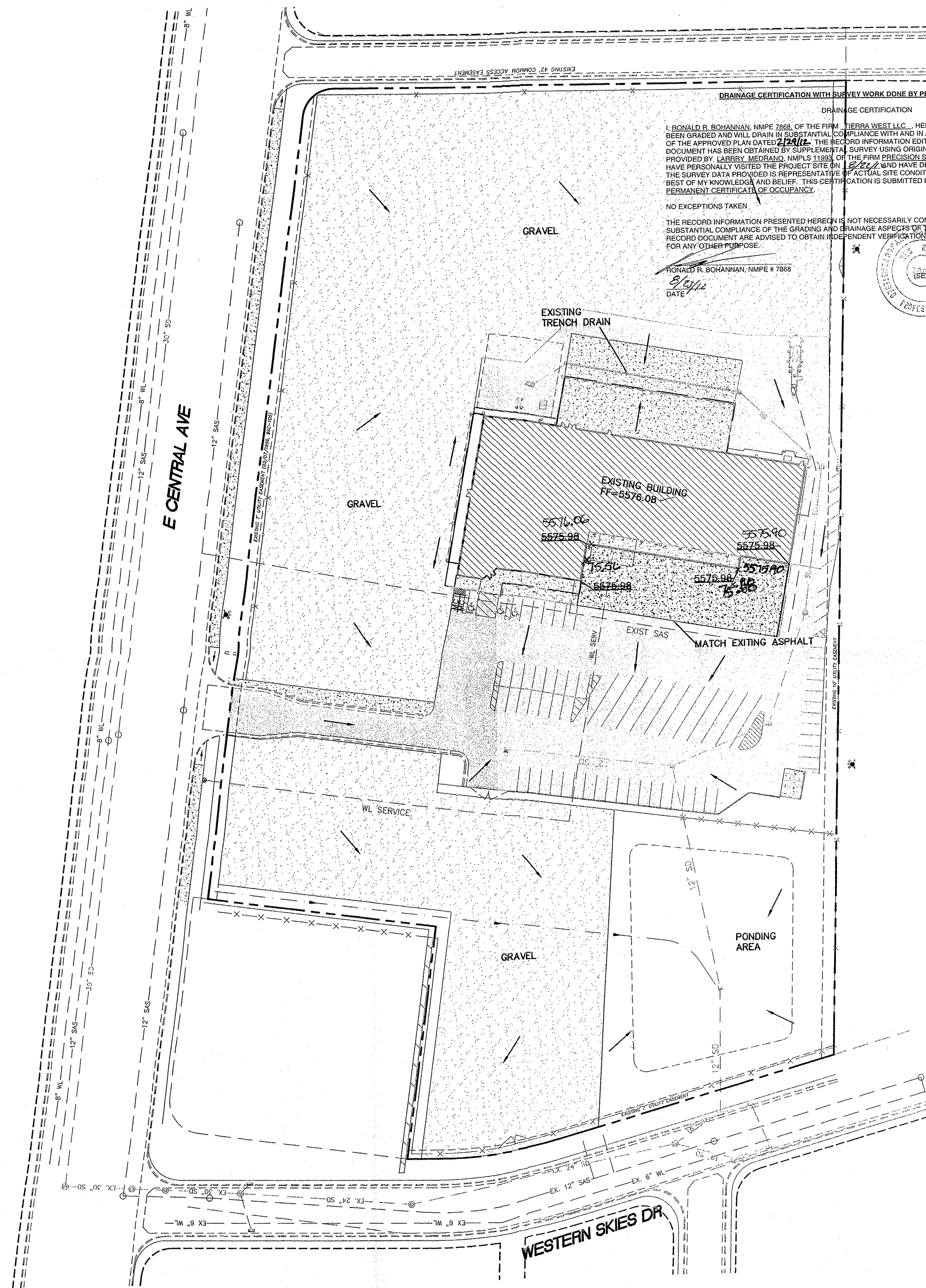
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DATE SUBMITTED: 9/5/2012 BY: Ronald R. Bohannan, PE

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plans:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.





EROSION CONTROL NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

LEGEND

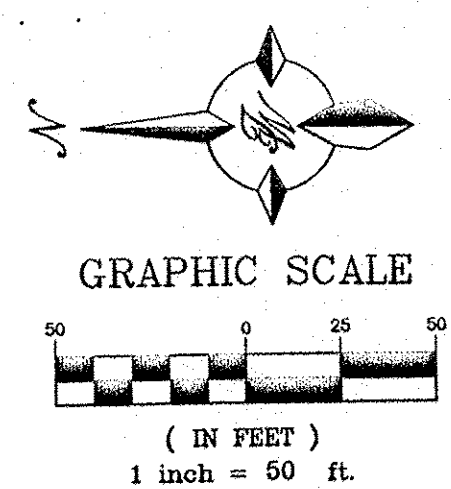
- BOUNDARY LINE
- EASEMENT
- RIGHT-OF-WAY
- BUILDING
- NEW CONCRETE
- EXISTING CONCRETE
- EXISTING CURB & GUTTER
- EXISTING SANITARY SEWER LINE
- EXISTING WATERLINE
- EXISTING POWER
- EXISTING GAS
- EXISTING STORM DRAIN
- EXISTING DOUBLE CLEAN OUT
- EXISTING SD MANHOLE
- EXISTING INLET
- EXISTING SAS MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING WATER METER
- EXISTING BOLLARD
- EXISTING GAS VALVE
- DIRECTION OF FLOW
- EXISTING GRAVEL
- EXISTING ASPHALT

12700 CENTRAL AVENUE SE, ALBUQUERQUE NM

PURPOSE - THE PURPOSE OF THIS GRADING AND DRAINAGE PLAN IS TO UPDATE THE DRAINAGE MANAGEMENT PLAN FOR THE ABOVE REFERENCED SITE UNDER THE ADMINISTRATIVE AMENDMENT FOR SITE DEVELOPMENT AND BUILDING PERMIT APPROVAL.

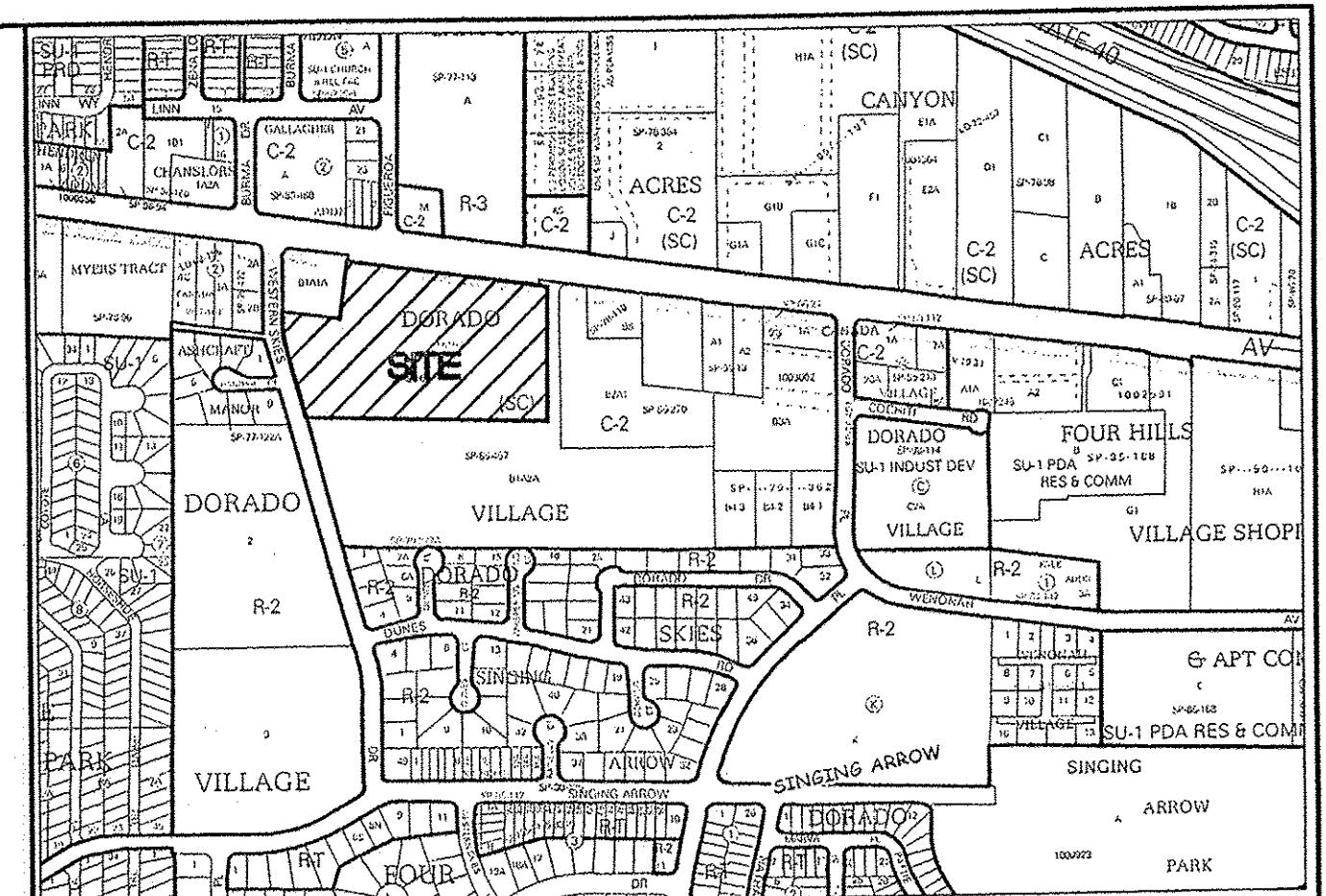
EXISTING CONDITIONS - THE SITE IS A FULLY DEVELOPED 8.54 ACRE LOT LOCATED IN ALBUQUERQUE NM, SOUTHEAST OF CENTRAL AVENUE AND WESTERN SKIES DRIVE SE - IDENTIFIED AS TRACT B1A1B OF DORADO VILLAGE SUBDIVISION. THE DEVELOPED SITE SLOPES GENERALLY FROM EAST TO WEST AND CONVEYS FLOWS TO STORM INLETS AND 12" STORM DRAIN SYSTEM WHICH CARRY RUNOFF TO AN EXISTING 24" STORM DRAIN IN WESTERN SKIES DRIVE. A SMALL PORTION OF THE SITE CONVEYS RUNOFF THROUGH THREE 12" SIDEWALK CULVERTS TO THE WEST OF THE SITE AND ARE CAPTURED BY STORM INLETS IN WESTERN SKIES DR. THE APPROVED GRADING AND DRAINAGE PLAN AND DRAINAGE REPORT ACCOMPANY THIS SUBMITTAL AND DETAIL THE HYDROLOGIC AND HYDRAULIC ANALYSES FOR THE DEVELOPMENT. THE SUBJECT SITE DOES NOT LIE WITHIN A FLOOD HAZARD ZONE AS INDICATED IN THE ABOVE FEMA FLOOD MAP. FURTHER, NO OFFSITE FLOWS ENTER THE SITE.

PROPOSED CONDITIONS - THE SITE HYDROLOGY WILL REMAIN UNCHANGED. NO ADDITIONAL IMPERVIOUS AREAS WILL BE CREATED BY THE 10 FOOT EXPANSION OF THE SERVICE BAYS AND THEREFORE PEAK DISCHARGE WILL REMAIN UNCHANGED. THE NEW EXPANSION WILL MAINTAIN POSITIVE DRAINAGE AWAY FROM THE BUILDING AND SERVICE GARAGES AND NO RUNOFF WILL BE DIVERTED FROM HISTORIC (DEVELOPED) DRAINAGE PATTERNS.



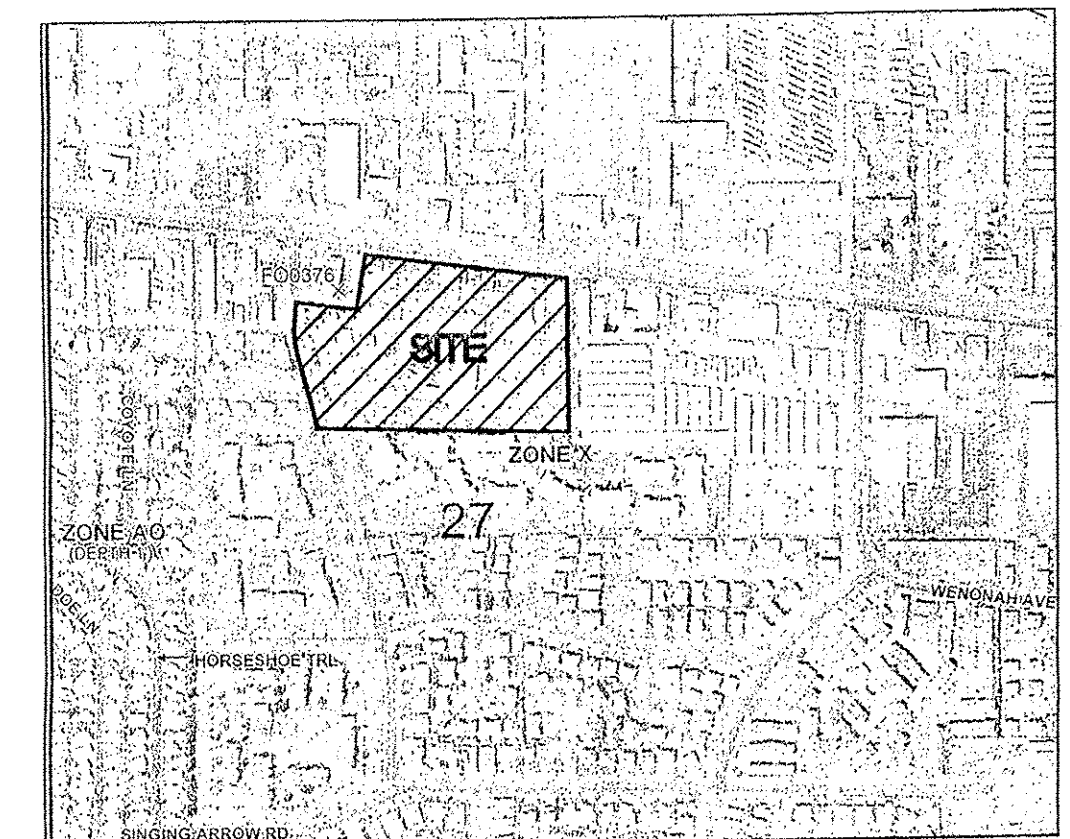
CAUTION:

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



VICINITY MAP

L 22-7



FIRM MAP

35001C0359G

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL	NAME	DATE
INSPECTOR		

ROUGH GRADING APPROVAL

DATE

	ENGINEER'S SEAL	ROCKY MOUNTAIN RV ALBUQUERQUE, NM	DRAWN BY pm
		AA - GRADING PLAN	DATE 2-2-12
		TERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING 2011059-SP.DWG
			SHEET # 4

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