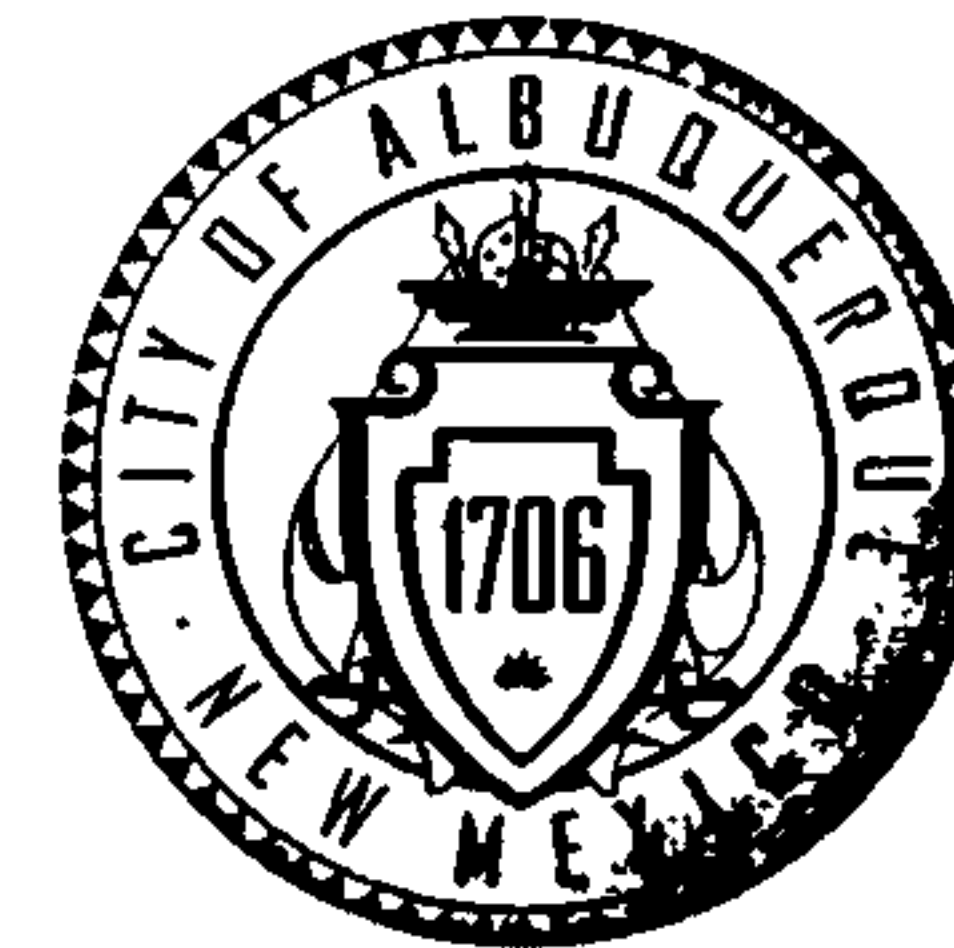


CITY OF ALBUQUERQUE



March 27, 2012

Ronald Ray Bohannon, P.E.
Tierra West, LLC
5571 Midway Park Place NE
Albuquerque, NM 87109

**Re: Rocky Mountain RV
Grading Plan
Engineer's Stamp dated 2/29/12 (L22/D35B)**

Dear Mr. Bohannon,

Based upon the information provided in your submittal received 3/5/12, the above referenced plan is approved for Site Development Plan for Building Permit by the DRB, Grading Permit and Building Permit.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Upon completion of the project, provide an Engineer Certification for our files.

PO Box 1293

If you have any questions you can contact me at 924-3986 or Rudy Rael at 924-3977.

Albuquerque

Sincerely,

NM 87103

Curtis Cherne, P.E., CFM
Senior Engineer, Planning Dept.
Development and Building Services

www.cabq.gov

RER/CAC

C: File

gaw

TIERRA WEST, LLC

March 5, 2012

Mr. Curtis Cherne
Senior Engineer
City of Albuquerque
Public Works Hydrology Department
P.O. Box 1293
Albuquerque, NM 87103

**RE: DRAINAGE PLAN FOR PROPOSED AA RETAIL EXPANSION @
12700 CENTRAL AVE SE, ALBUQUERQUE NM
TRACT B1A1B1 OF DORADO VILLAGE SUBDIVISION / PROJECT #1006828
ZONE ATLAS MAP L-22-Z**

Dear Mr. Cherne:

Transmitted with this letter is the drainage plan for the above referenced property. The site is located near the southeast corner of Central Avenue and Western Skies Drive SE. The site is currently developed, containing retail and services building for Rocky Mountain RV and Marine, along with parking lot facilities and landscaping on the 8.73 acre lot. The approved Drainage Report and Grading and Drainage Plan are included with this transmittal for your records. An Administrative Amendment package has been submitted to the City for the minor site amendment.

Rocky Mountain RV and Marine suffered an internal fire and will be repairing the damaged service bay area and proposes to expand the garage bays by 10 feet on the building's west side (shown as "ADDITION" on the attached plan), requiring an approved amendment to the site plan. The proposed additions were impervious prior to the fire and redevelopment. As such the drainage and hydrology does not change.

The drainage management plan for the amended site proposes to discharge the same developed flow rate and quantity as the existing site is currently demonstrating, in that total impervious square footage will remain unchanged and the approved grading design and drainage management will be maintained. The attached Grading and Drainage Plan narrative summarizes the existing drainage management plan. Positive drainage will be maintained for the building expansion and no other drainage alterations will result from the proposed change. Therefore, no increase to the peak discharge or change to developed drainage flow pattern will be experienced as a result of the proposed site amendment.

Tierra West LLC requests approval of a Grading and Drainage Plan based on the information provided. If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

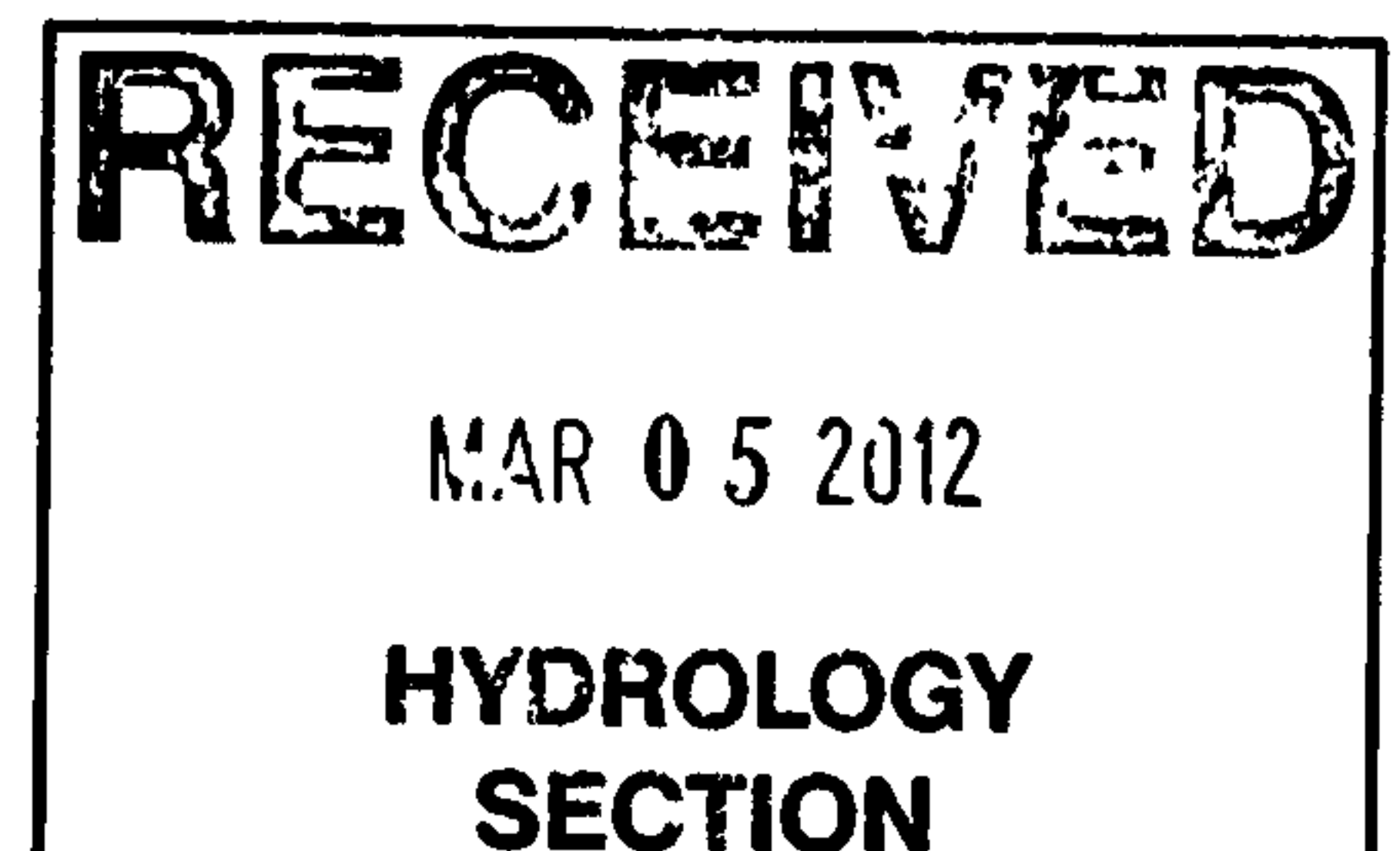
Sincerely,



Ronald R. Bohannon, PE

Enclosure/s

JN: 2011059
RRB/PE/cia



5571 Midway Park Place NE
(505) 858-3100
Albuquerque, NM 87109
Fax (505) 858-1118
1-800-245-3102
tierrawestllc.com

DRAINAGE AND TRANSPORTATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: Rocky Mountain RV and Marine
DRB #: 1006828 EPC #: _____

ZONE MAP/DRG. FILE #: L-22 1035B
WORK ORDER #: _____

LEGAL DESCRIPTION: Tract B-1-A-1-B of Dorado Village Subdivision
CITY ADDRESS: 12700 Central Avenue, SE

ENGINEERING FIRM: Tierra West, LLC
ADDRESS: 5571 Midway Park Place NE
CITY, STATE: Albuquerque, NM

CONTACT: Ron Bohannon
PHONE: (505) 858-3100
ZIP CODE: 87109

OWNER: Rocky Mountain RV and Marine
ADDRESS: 12700 Central Avenue, SE
CITY, STATE: Albuquerque, NM

CONTACT: Rick Scholl
PHONE: 505-292-7800
ZIP CODE: 87123

ARCHITECT: Parkline/ West, Inc
ADDRESS: PO Box 93457
CITY, STATE: Albuquerque, NM

CONTACT: Bruce Ross
PHONE: (505) 761-9700
ZIP CODE: 87199-3457

SURVEYOR: Precision Surveys, Inc.
ADDRESS: 5571 Midway Park Place, NE
CITY, STATE: Albuquerque, NM

CONTACT: Larry Medrano
PHONE: 505-856-5700
ZIP CODE: 87109

CONTRACTOR: TBD
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- ☒ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEERS CERTIFICATION (TCL)
☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

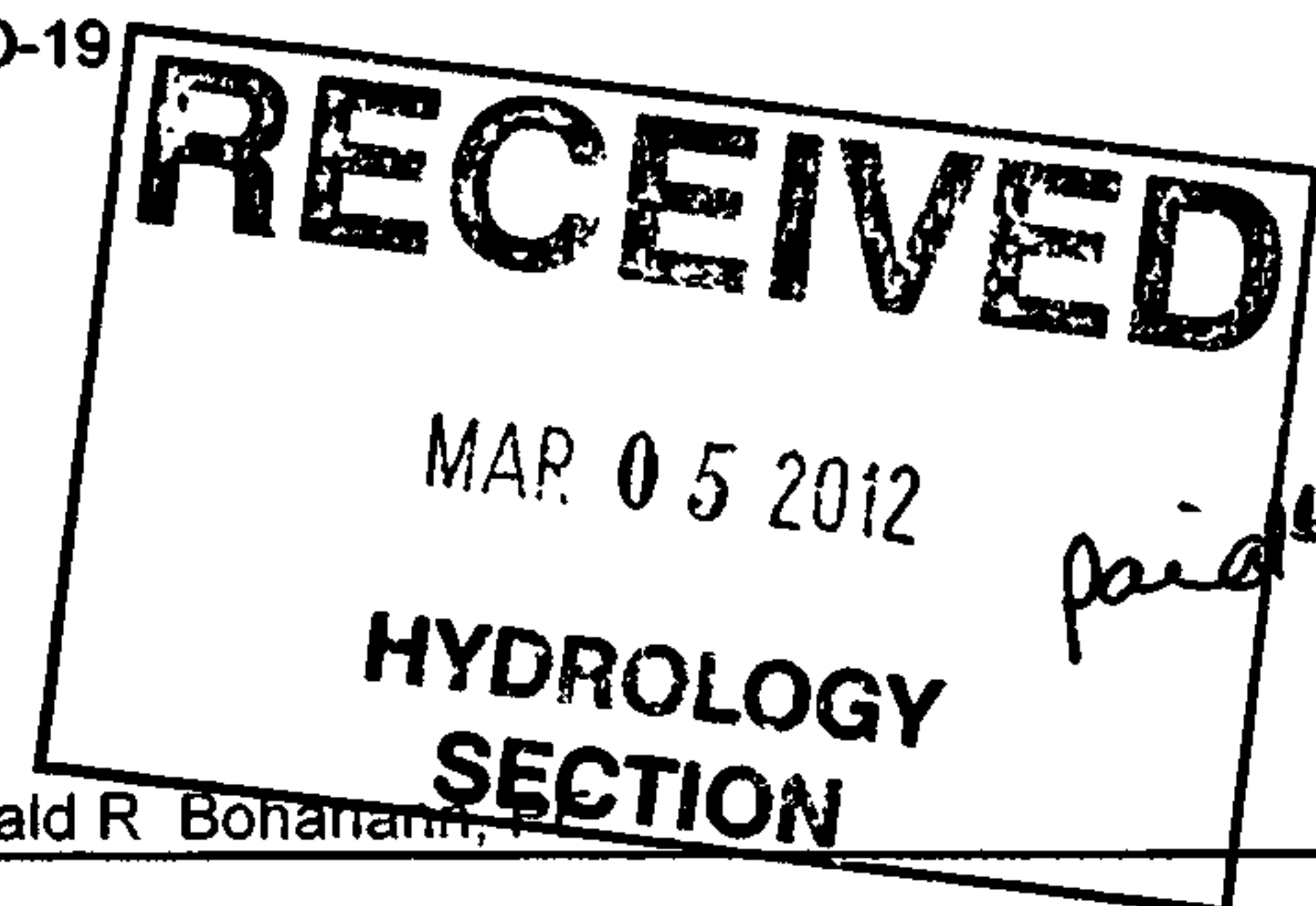
- ☐ SIA / FINANACIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☒ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM.)
☐ CERTIFICATE OF OCCUPANCY (TEMP.)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ SO-19

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☒ NO
☐ COPY PROVIDED

DATE SUBMITTED: 2/28/2012

BY: Ronald R. Bohannon



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plans:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



August 27, 2012

Ronald Ray Bohannon, P.E.
Tierra West, LLC.
5571 Midway Park Place N.E.
Albuquerque, NM 87109

rrb@tierrawestllc.com

**Re: Rocky Mountain RV and Marine, 12700 Central Ave SE,
Request for Permanent C.O. –Accepted
Engineer's Stamp dated: 02-29-12, (L22/D035B)
Certification dated: 08-23-12**

Dear Mr. Bohannon,

Based upon the information provided in the Certification received 08-23-12, the above referenced Certification is acceptable for a release of a Permanent Certificate of Occupancy by Hydrology.

Hydrology is asking for an electronic copy, in .pdf format, of this certification for our records. This certification can be e-mailed to me at: tsims@cabq.gov.

If you have any questions, you can contact me at 924-3982.

Sincerely,

Timothy E. Sims,
Plan Checker—Hydrology Section
Development and Building Services

C: CO Clerk—Katrina Sigala
File

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: Rocky Mountain RV and Marine
DRB #: 1006828 EPC #: _____

ZONE MAP/DRG. FILE # L-22 / 00358.
WORK ORDER #: _____

LEGAL DESCRIPTION: Tract B-1-A-1-B of Dorado Village Subdivision
CITY ADDRESS: 12700 Central Avenue, SE

ENGINEERING FIRM: Tierra West, LLC
ADDRESS: 5571 Midway Park Place NE
CITY, STATE: Albuquerque, NM

CONTACT: Ron Bohannon
PHONE: (505) 858-3100
ZIP CODE: 87109

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CITY, STATE: Albuquerque, NM

CONTACT: Rick Scholl
PHONE: 505-292-7800
ZIP CODE: 87123

ARCHITECT: Parkline/ West, Inc.
ADDRESS: PO Box 93457
CITY, STATE: Albuquerque, NM

CONTACT: Bruce Ross
PHONE: (505) 761-9700
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CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
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☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEERS CERTIFICATION (TCL)
☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
☐ OTHER

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☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
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☐ CERTIFICATE OF OCCUPANCY (TEMP.)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☒ NO
☐ COPY PROVIDED

50-19
RECEIVED
AUG 23 2012

DATE SUBMITTED: 8/23/2012 BY: Ronald R. Bohannan, PE

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

170012

DRAINAGE REPORT
For

ROCKY MOUNTAIN R.V. & MARINE
SALES AND SERVICE

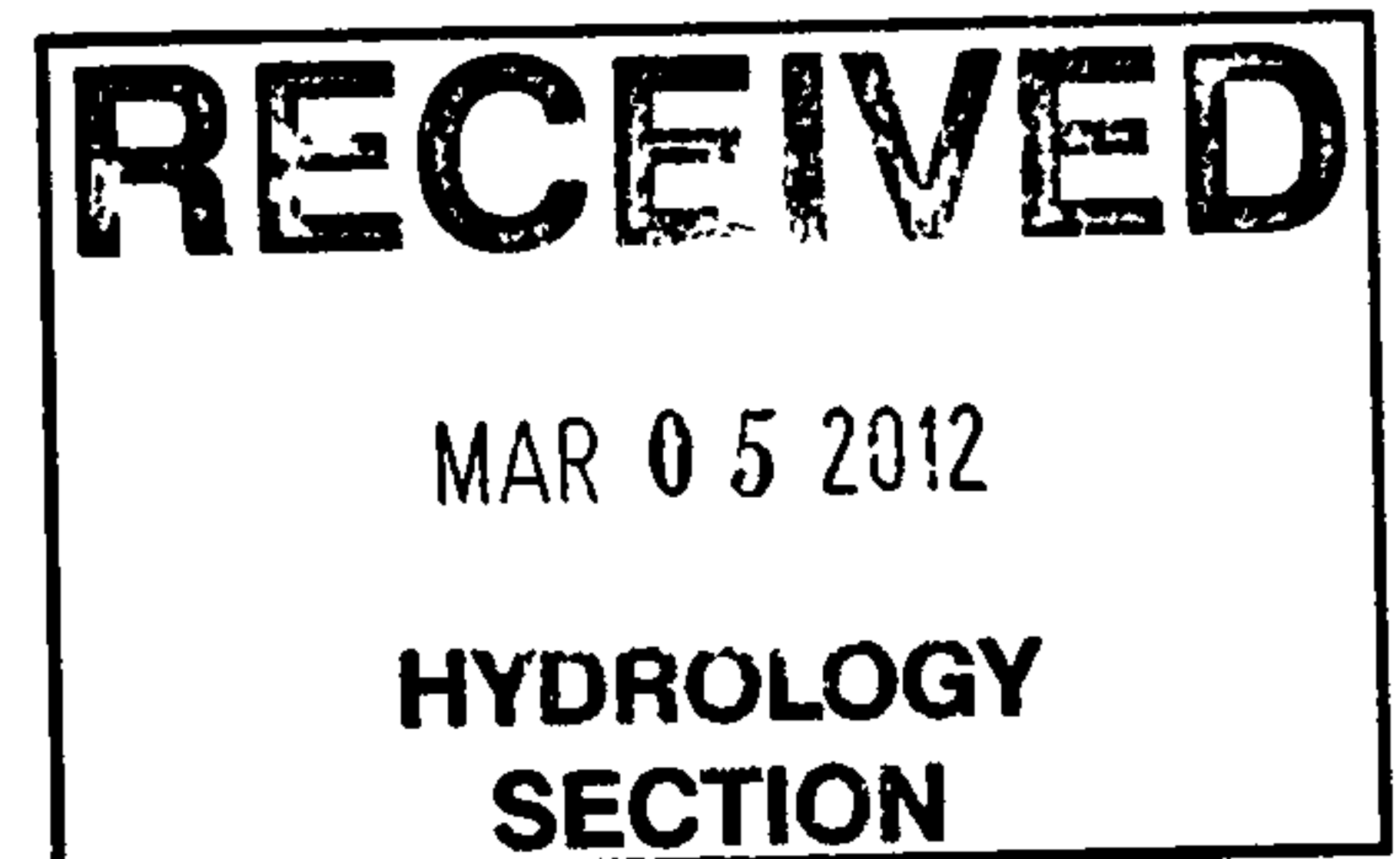
Prepared for :

Rocky Mountain R. V.
11109 Central Avenue, N.E.
Albuquerque, New Mexico 87123

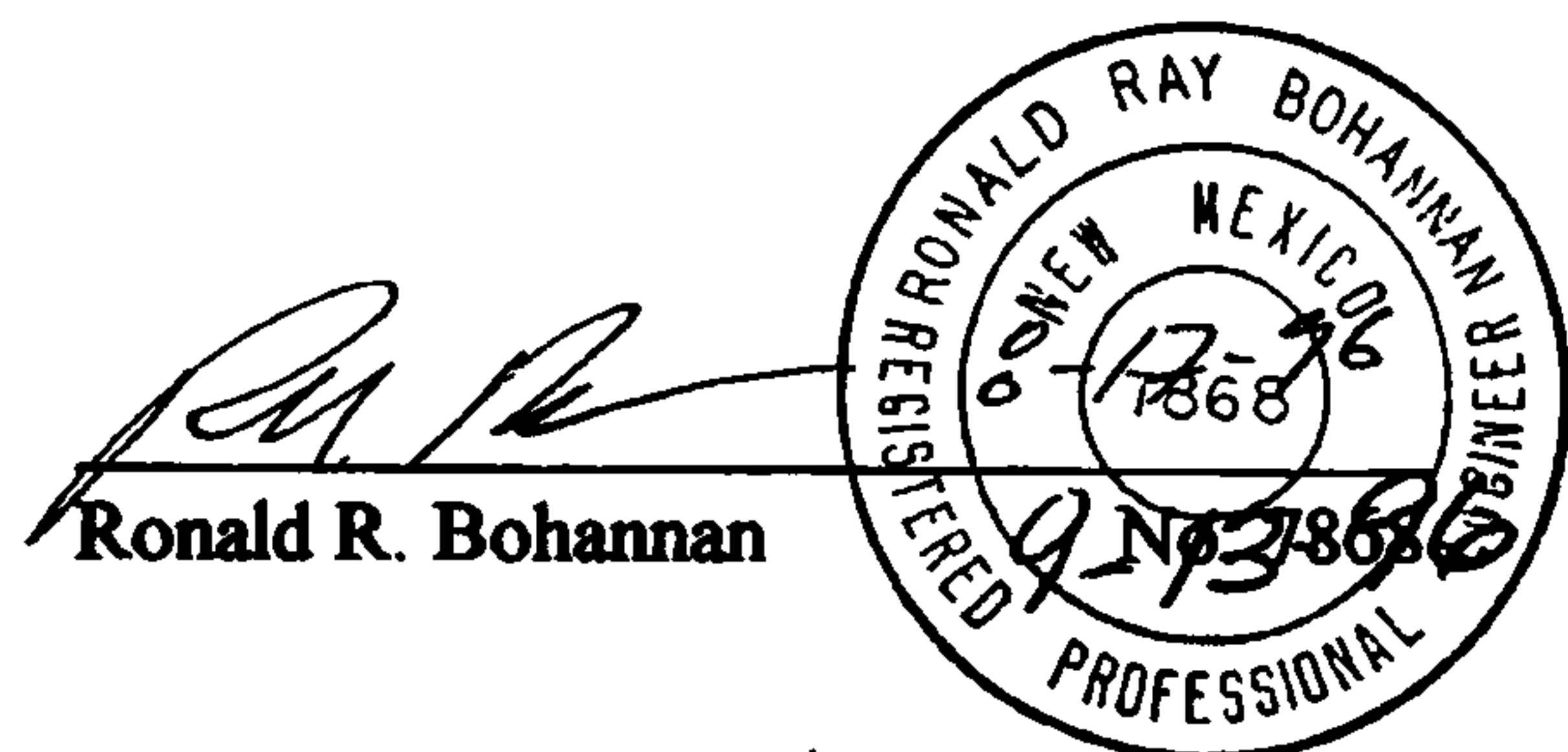
Prepared by:

Tierra West Development Management Services
4421 McLeod RD. N.E., Suite D
Albuquerque, New Mexico
(505) 883-7592

January, 1996
Revised August 1996



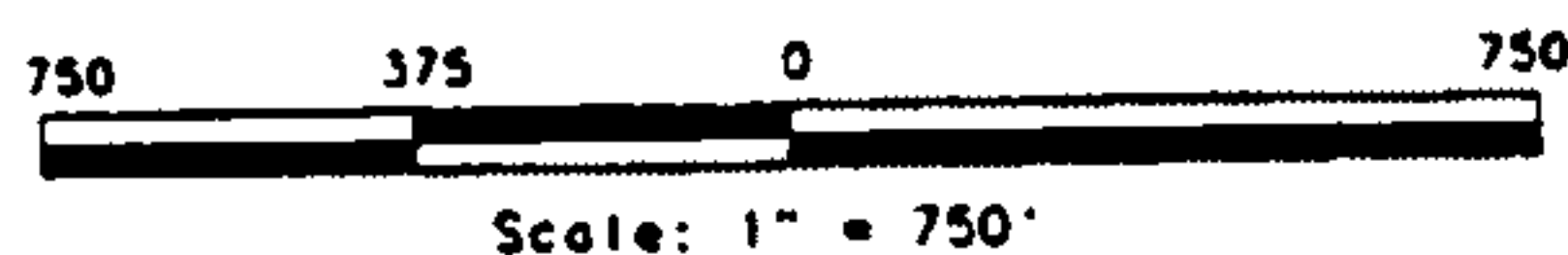
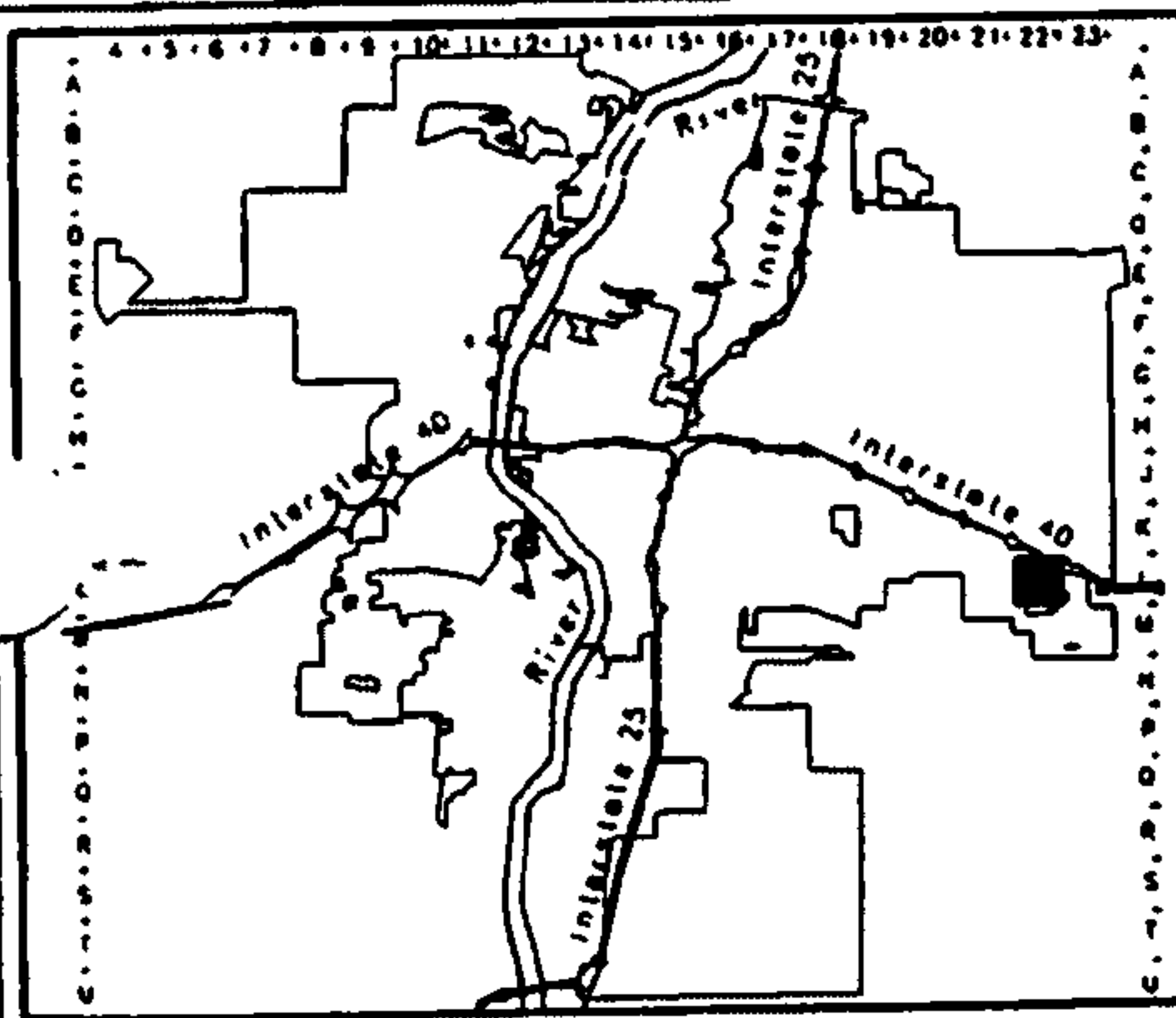
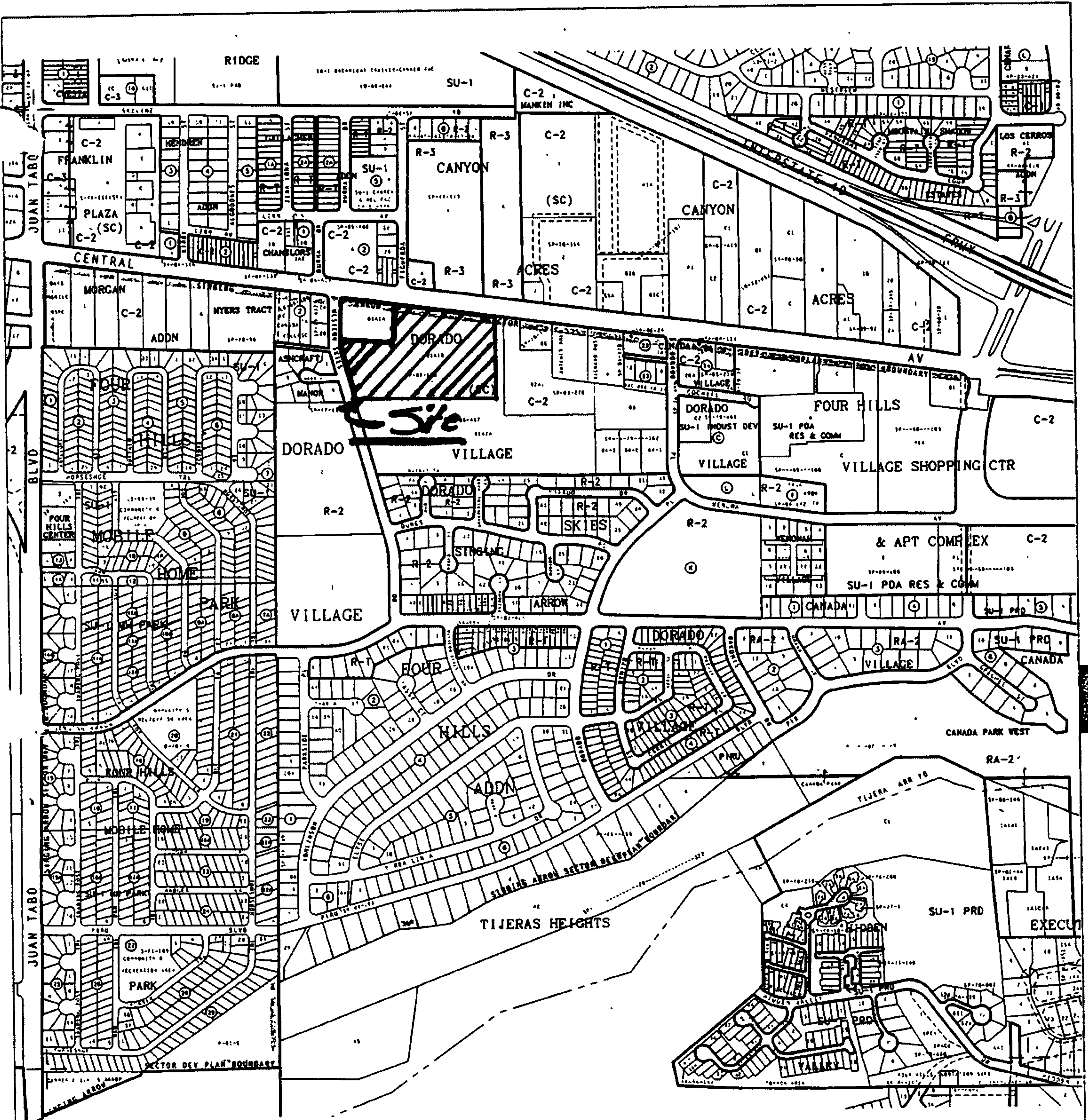
I certify that this report was prepared under my supervision, and I am a registered Professional Engineer in good standing with the State of New Mexico.



Ronald R. Bohannon

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A **G** **I** **S**
 Albuquerque Geographic Information System
 City of Albuquerque

© Planning Department July 06, 1993

LEGAL DESCRIPTION

T10N
 R4E
 SEC 27

UNIFORM PROPERTY CODE

1-022-056

L-22-Z

LOCATION

The site is located at the southwest corner of a 42' private drive, Whispering Pines and Central Avenue. The site lies just east of Western Skies on the South side of Central Avenue. The street address is 12700 Central Avenue and comprises Lot B1A1B, Dorado Village, containing approximately 8.7303 acres. The intent of this report is to present the drainage management plan for Building Permit Purpose and Site Development Plan approval. All applicable ordinances and the Development Process Manual were utilized for this analysis.

DESIGN METHOD

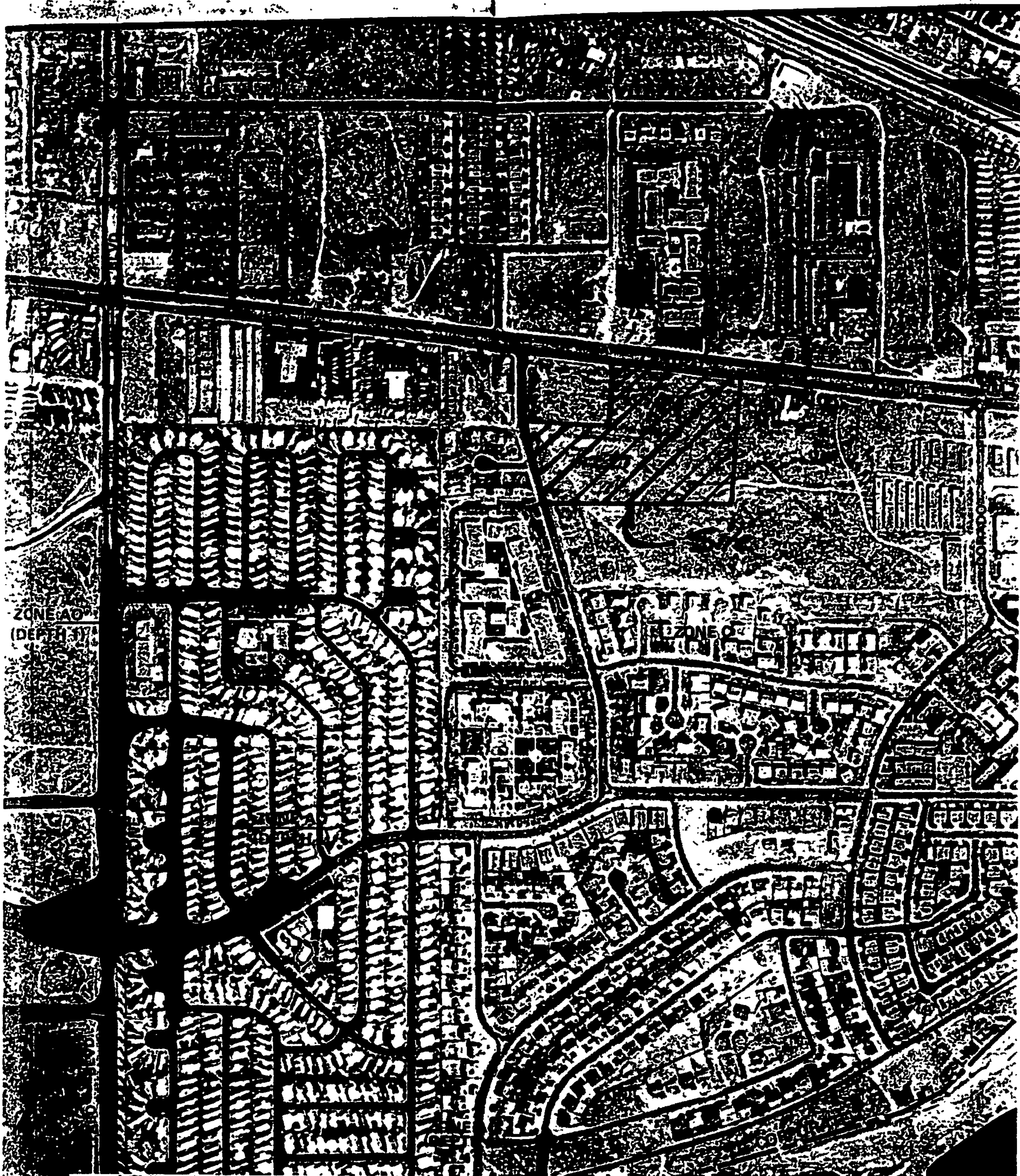
The method used will be and is designated in Part A for smaller water sheds under 40 acres, as described in the Design Procedures Manual. The runoff was calculated based on 100-year, 6 hour storm. The site lies within Zone 3, but to be more conservative, we have used the

 Zone 4 rain fall data in our runoff calculations due to proximity of zone line.

EXISTING CONDITIONS

The site lies on the south side and adjacent to Central Avenue and lies immediately east of Western Skies. A private access road (Whispering Pines) leads into a developed apartment complex on the east. Whispering Pines on the upstream development redirects and protects the site from any off-site flow from entering the site. Currently, flows on site sheet flows west to Western Skies and off-site.

The site is partially developed with the site having approximately six inches (6") of base course over the entire site. Some landscaping, while sparse, is present along the south and eastern edge of the site. The existing flow rate is 25.48 cfs. According to FEMA MAP 350002-0037C the site dose not fall within the flood zone. See attached FEMA MAP.



FEMA MAP

350002-0037C

PROPOSED MANAGEMENT PLAN

The City of Albuquerque has prepared storm drainage improvements in Central Avenue and Western Skies to handle localized flooding. This revised drainage plan proposes to discharge the runoff from the site into the new 24" storm drain system in Western Skies which connects to a 30" storm drain system in Central Avenue.

The site is divided into three proposed drainage basins. Basin 1 contains the eastern two-thirds of the site. This basin has a developed runoff flow of 31.16 cfs. It will drain into a parking lot pond (Pond 1) located on the south side of the basin. Two single 'D' catch basins will drain Pond 1 at a rate of 7.65 cfs through an 12" PVC pipe. The runoff will be routed to Pond 2 located on the south side of Basin 2. Basin 2 has a developed runoff rate of 9.32 cfs. The flow from Basin 2 will drain to Pond 2 located on the west side of the site. A 12" RCP pipe with a 10.25" orifice plate will route the flow to the existing 24" storm drain system in Western Skies. The pond will drain at a rate of 5.53 cfs which is less than the historical flow of 25.48 cfs. Basin 3 has a developed runoff flow of 3.38 cfs. This basin contains the northwest corner of the site. The developed flows will drain to the northwest and be conveyed into Western Skies Drive through three 12" sidewalk culverts. In case of events larger than a 100 year storm, Pond 1 will have an 30 foot wide emergency spillway and Pond 2 will have 12 foot wide emergency spillway

SUMMARY

There are three proposed basins on the site. Basin 1 has a runoff flow rate of 31.16 cfs, Basin 2 has a runoff flow rate of 9.32 cfs, and Basin 3 has a runoff rate of 3.38 cfs. Two detention ponds will limit the flow rate to the existing storm drain line in Western Skies to 5.53 cfs. The combined discharge from the sidewalk culverts and the pond is 8.91 cfs.

Runoff Calculations

SAMPLE CALCULATIONS FOR ROCKY MOUNTAIN RY

The site is @ Zone 4

LAND TREATMENT

Treatment D:

$$D = 90 \%$$

Treatment B:

$$B = 10 \%$$

DEPTH (INCHES) @ 100-YEAR, 6-HR STORM

$$P_{60} = 2.23 \text{ inches}$$

$$P_{360} = 2.90 \text{ inches}$$

$$P_{1440} = 3.65 \text{ inches}$$

DEPTH (INCHES) @ 10-YEAR, 6-HR STORM

$$\begin{aligned} P_{60} &= 2.23 \times 0.667 \\ &= 1.49 \text{ inches} \end{aligned}$$

$$P_{360} = 1.93$$

$$P_{1440} = 2.43$$

**Runoff
Summary Tables
for
Proposed and Existing
Drainage Basins**

DRAINAGE BASINS

Existing

| BASIN | AREA (SF) | AREA (AC) | AREA (MI ²) |
|-------|-----------|-----------|-------------------------|
| 1 | 380291.87 | 8.7303 | 0.013641 |

Proposed

| BASIN | AREA (SF) | AREA (AC) | AREA (MI ²) |
|-------|-----------|-----------|-------------------------|
| 1 | 270872.96 | 6.2184 | 0.009716 |
| 2 | 80943.32 | 1.8582 | 0.002903 |
| 3 | 29197.36 | 0.6703 | 0.001047 |

RUNOFF CALCULATION RESULTS

Existing

| BASIN | Q-100 CFS | Q-10 CFS | V-100 AC-FT | V-10 AC-FT |
|-------|--------------|-------------|----------------|---------------|
| 1 | 25.48 | 12.44 | 0.783 | 0.325 |

Proposed

| SUB-BASIN | Q-100 CFS | Q-10 CFS | V-100 AC-FT | V-10 AC-FT |
|-----------|--------------|-------------|----------------|---------------|
| 1 | 31.16 | 20.41 | 1.288 | 0.807 |
| 2 | 9.32 | 6.11 | 0.385 | 0.241 |
| 3 | 3.38 | 2.21 | 0.139 | 0.087 |

Storm Sewer

DROP INLET CALCULATIONS

ORIFICE EQUATION

$Q = CA \sqrt{2gH}$

$C = 0.6$

$g = 32.2$

| POND | TYPE OF INLET | AREA (SF) | Q (CFS) | H (FT) | H ALLOW (FT) |
|------|---------------|-----------|---------|--------|--------------|
| 1 | 2 Single 'D' | 4.60 | 31.16 | 1.9792 | 2 |
| 2 | Single 'D' | 2.30 | 9.32 | 0.7083 | 1.5 |

STORM DRAIN INLET
EFFECTIVE AREA ASSUMING A 50% CLOGGING FACTOR

SINGLE 'D':

Area at the grate:

$$\begin{aligned} L &= 38.375" - 7 (1/2" \text{ middle bars}) \\ &= 34.875" \\ &= 2.906' \end{aligned}$$

$$\begin{aligned} W &= 25.5" - 13 (1/2" \text{ middle bars}) \\ &= 19" \\ &= 1.583' \end{aligned}$$

$$\begin{aligned} \text{Area} &= 1.583 \times 2.906 \\ &= 4.601 \text{ ft}^2 \end{aligned}$$

$$\begin{aligned} \text{Effective Area} &= 4.601 - .5 (4.601) \text{ Clogging Factor} \\ &= 2.30 \text{ ft}^2 \text{ at the grate} \end{aligned}$$

DOUBLE 'D':

Area at the grate:

$$\begin{aligned} L &= 76.75" - 14 (1/2" \text{ middle bars}) - 6" \text{ center piece} \\ &= 63.75" \\ &= 5.3125' \end{aligned}$$

$$\begin{aligned} W &= 25.5" - 13 (1/2" \text{ middle bars}) \\ &= 19" \\ &= 1.583' \end{aligned}$$

$$\begin{aligned} \text{Area} &= 1.583' \times 5.3125' \\ &= 8.410 \text{ ft}^2 \end{aligned}$$

$$\begin{aligned} \text{Effective Area} &= 8.410 - .5 (8.410) \\ &= 4.21 \text{ ft}^2 \end{aligned}$$

PIPE VELOCITY

(Pipes flowing full)

12" Pipe Connecting Pond 1 and Pond 2:

$$V = Q/A$$

$$V = \frac{7.65}{\left(1^2 * \frac{\pi}{4}\right)}$$

$$V = 9.74 \text{ (cfs)} \text{ ft}^2/\text{s}$$

12" Outfall Pipe from Pond 2:

$$V = Q/A$$

$$V = \frac{5.53}{\left(1^2 * \frac{\pi}{4}\right)}$$

$$V = 7.04 \text{ (cfs)} \text{ ft}^2/\text{s}$$

Sidewalk Culvert

Orifice Equation

$$Q = CA\sqrt{2gH}$$

$$C = 0.6$$

$$A = (7 \times 12) / 144$$
$$= 0.5833 \text{ ft}^2$$

$$g = 32.2$$

$$H = 7 / (2 \times 12)$$
$$= 0.29167$$

$$Q = \text{flow (cfs)}$$

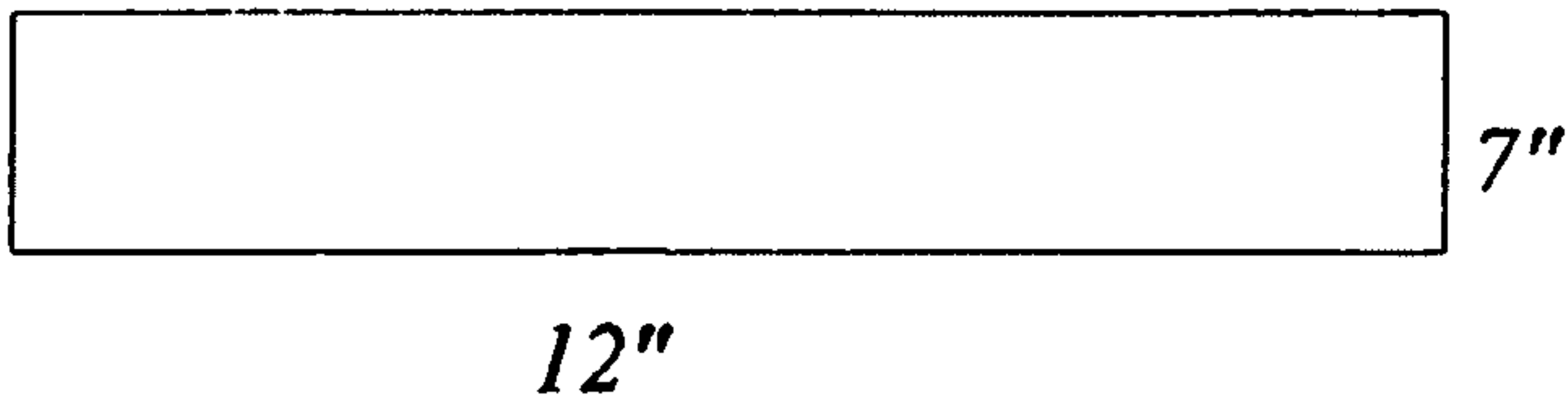
$$Q = 0.6 \times 0.5833 \sqrt{2 \times 32.2 \times 0.29167}$$

$$Q = 1.52 \text{ cfs}$$

$$\text{Basin 2} = 3.38 \text{ cfs}$$

$$3.38 \text{ cfs} / 1.52 \text{ cfs} = 2.22$$

Use 3 sidewalk culverts



Ponding Calculations

VOLUME CALCULATIONS

POND 1

Ab - Bottom Of The Pond Surface Area

At - Top Of The Pond Surface Area

D - Water Depth

Dt - Total Pond Depth

C - Change In Surface Area / Water Depth

$$\text{Volume} = \text{Ab} * \text{D} + 0.5 * \text{C} * \text{D}^2$$

$$\text{C} = (\text{At} - \text{Ab}) / \text{Dt}$$

$$\text{Ab} = 13.59 \text{ (@ elevation 5567.00)}$$

$$\text{At} = 35,309.72 \text{ (@ elevation 5569.00)}$$

$$\text{Dt} = 2.00$$

$$\text{C} = 17648.07$$

| ACTUAL ELEV. | DEPTH (FT) | VOLUME (AC-FT) | Q (CFS) |
|-----------------|---------------|-------------------|------------|
| 64 | 0 | 0 | 0.0000 |
| 67.00 | 3 | 0.0009 | 5.9794 |
| 67.20 | 3.2 | 0.0091 | 6.2139 |
| 67.40 | 3.4 | 0.0335 | 6.4400 |
| 67.60 | 3.6 | 0.0740 | 6.6583 |
| 67.80 | 3.8 | 0.1308 | 6.8698 |
| 68.00 | 4 | 0.2038 | 7.0749 |
| 68.20 | 4.2 | 0.2930 | 7.2742 |
| 68.40 | 4.4 | 0.3984 | 7.4682 |
| 68.60 | 4.6 | 0.5200 | 7.6573 |
| 68.80 | 4.8 | 0.6578 | 7.8418 |
| 69.00 | 5 | 0.8118 | 8.0221 |

Orifice Equation

$$Q = \text{CA} \text{ SQRT}(2gH)$$

$$\text{C} = 0.6$$

$$\text{Diameter (in)} = 12$$

$$\text{Area (ft}^2\text{)} = 0.785398$$

$$g = 32.2$$

$$\text{H (ft)} = \text{Depth of water above center of orifice}$$

$$\text{Q (cfs)} = \text{Flow}$$

VOLUME CALCULATIONS

POND 2

Ab - Bottom Of The Pond Surface Area

At - Top Of The Pond Surface Area

D - Water Depth

Dt - Total Pond Depth

C - Change In Surface Area / Water Depth

$$\text{Volume} = \text{Ab} * \text{D} + 0.5 * \text{C} * \text{D}^2$$

$$\text{C} = (\text{At} - \text{Ab}) / \text{Dt}$$

$$\text{Ab} = 6.80 \text{ (@ elevation 5559.50)}$$

$$\text{At} = 21,976.07 \text{ (@ elevation 5560.00)}$$

$$\text{Dt} = 0.50$$

$$\text{C} = 43938.54$$

$$\text{Ab} = 21,976.07 \text{ (@ elevation 5560.00)}$$

$$\text{At} = 25,114.04 \text{ (@ elevation 5561.00)}$$

$$\text{Dt} = 1.00$$

$$\text{C} = 3137.97$$

| ACTUAL ELEV. | DEPTH (FT) | VOLUME (AC-FT) | Q (CFS) |
|-----------------|---------------|-------------------|------------|
| 60.5 | 0 | 0 | 0.0000 |
| 63.50 | 3 | 0.0005 | 4.4257 |
| 63.70 | 3.2 | 0.0207 | 4.5945 |
| 63.90 | 3.4 | 0.0812 | 4.7573 |
| 64.00 | 3.5 | 0.1266 | 4.8367 |
| 64.20 | 3.7 | 0.2290 | 4.9916 |
| 64.40 | 3.9 | 0.3342 | 5.1418 |
| 64.60 | 4.1 | 0.4423 | 5.2878 |
| 64.80 | 4.3 | 0.5533 | 5.4299 |
| 65.00 | 4.5 | 0.6672 | 5.5683 |

Orifice Equation

$$Q = \text{CA} \text{ SQRT}(2gH)$$

$$\text{C} = 0.6$$

$$\text{Diameter (in)} = 10.25$$

$$\text{Area (ft}^2\text{)} = 0.573027$$

$$g = 32.2$$

$$\text{H (Ft)} = \text{Depth of water above center of orifice}$$

$$\text{Q (CFS)} = \text{Flow}$$

EMERGENCY SPILLWAY

Pond 2

Weir Equation:

$$Q = CLH^{3/2}$$

$$Q = 9.32 \text{ cfs}$$

$$C = 2.95$$

$$H = 0.5 \text{ ft}$$

L = Length of weir

$$L = \frac{9.32}{2.95(0.5)^{3/2}}$$

$$L = 8.94 \text{ ft}$$

Use **9.00 feet** for length of weir

Pond 1

Weir Equation:

$$Q = CLH^{3/2}$$

$$Q = 31.16 \text{ cfs}$$

$$C = 2.95$$

$$H = 0.5 \text{ ft}$$

L = Length of weir

$$L = \frac{31.16}{2.95(0.5)^{3/2}}$$

$$L = 29.87 \text{ ft}$$

Use **30.00 feet** for length of weir

**AHYMO
Runoff Input
and
Summary Output
for
Proposed and Existing
Drainage Basins**

```

*****
*                                ROCKY MOUNTAIN RV                                *
*****
*                                6-HR STORM                                        *
*****
*                                EXISTING CONDITIONS 100-YEAR STORM                *
*****
*
START          TIME=0.0
RAINFALL       TYPE=1 RAIN QUARTER=0.0 IN
               RAIN ONE=2.23 IN RAIN SIX=2.90 IN
               RAIN DAY=3.65 IN DT=0.03333 HR
COMPUTE NM HYD ID=1 HYD NO=100.1 AREA=0.013641 SQ MI
               PER A=0.00 PER B=100.00 PER C=0.00 PER D=0.00
               TP=-0.1333 HR MASS RAINFALL=-1
*
*****
*                                EXISTING CONDITIONS 10-YEAR STORM                *
*****
*
START          TIME=0.0
RAINFALL       TYPE=1 RAIN QUARTER=0.0 IN
               RAIN ONE=1.49 IN RAIN SIX=1.93 IN
               RAIN DAY=2.43 IN DT=0.03333 HR
COMPUTE NM HYD ID=1 HYD NO=110.1 AREA=0.013641 SQ MI
               PER A=0.00 PER B=100.00 PER C=0.00 PER D=0.00
               TP=-0.1333 HR MASS RAINFALL=-1
*
*
*****
*                                PROPOSED/FUTURE CONDITIONS 100-YEAR STORM        *
*****
*
START          TIME=0.0
*
* BASIN 1
*
RAINFALL       TYPE=1 RAIN QUARTER=0.0 IN
               RAIN ONE=2.23 IN RAIN SIX=2.90 IN
               RAIN DAY=3.65 IN DT=0.03333 HR
COMPUTE NM HYD ID=1 HYD NO=101.1 AREA=0.009716 SQ MI
               PER A=0.00 PER B=10.00 PER C=0.00 PER D=90.00
               TP=-0.1333 HR MASS RAINFALL=-1
*
* BASIN 2
*
COMPUTE NM HYD ID=1 HYD NO=101.1 AREA=0.001047 SQ MI
               PER A=0.00 PER B=10.00 PER C=0.00 PER D=90.00
               TP=-0.1333 HR MASS RAINFALL=-1
*
* BASIN 3
*
COMPUTE NM HYD ID=1 HYD NO=101.1 AREA=0.002903 SQ MI
               PER A=0.00 PER B=10.00 PER C=0.00 PER D=90.00
               TP=-0.1333 HR MASS RAINFALL=-1
*
*****
*                                PROPOSED/FUTURE CONDITIONS 10-YEAR STORM        *
*****

```


★

START TIME=0.0

★

★ BASIN 1

★

RAINFALL TYPE=1 RAIN QUARTER=0.0 IN
RAIN ONE=1.49 IN RAIN SIX=1.93 IN
RAIN DAY=2.43 IN DT=0.03333 HR
COMPUTE NM HYD ID=1 HYD NO=110.1 AREA=0.009716 SQ MI
PER A=0.00 PER B=10.00 PER C=0.00 PER D=90.00
TP=-0.1333 HR MASS RAINFALL=-1

★

★ BASIN 2

★

COMPUTE NM HYD ID=1 HYD NO=110.2 AREA=0.001047 SQ MI
PER A=0.00 PER B=10.00 PER C=0.00 PER D=90.00
TP=-0.1333 HR MASS RAINFALL=-1

★

★ BASIN 3

★

COMPUTE NM HYD ID=1 HYD NO=110.3 AREA=0.002903 SQ MI
PER A=0.00 PER B=10.00 PER C=0.00 PER D=90.00
TP=-0.1333 HR MASS RAINFALL=-1

★

★

FINISH

RUN DATE (MON/DAY/YR) =09/13/1996
USER NO.= R BOHANN.101

| | | FROM | TO | | | PEAK | RUNOFF | | | TIME TO | CFS | PAGE = 1 |
|------------------|---------------------------|--------|--------|--------------|-----------------|----------------|-----------------|--------------|----------|----------|--------|----------|
| COMMAND | HYDROGRAPH IDENTIFICATION | ID NO. | ID NO. | AREA (SQ MI) | DISCHARGE (CFS) | VOLUME (AC-FT) | RUNOFF (INCHES) | PEAK (HOURS) | PER ACRE | NOTATION | | |
| START | | | | | | | | | | | TIME= | .00 |
| RAINFALL TYPE= 1 | | | | | | | | | | | RAIN6= | 2.900 |
| COMPUTE NM HYD | 100.10 | - | 1 | .01364 | 25.48 | .783 | 1.07600 | 1.500 | 2.919 | PER IMP= | .00 | |
| START | | | | | | | | | | | TIME= | .00 |
| RAINFALL TYPE= 1 | | | | | | | | | | | RAIN6= | 1.930 |
| COMPUTE NM HYD | 110.10 | - | 1 | .01364 | 12.44 | .325 | .44688 | 1.500 | 1.424 | PER IMP= | .00 | |
| START | | | | | | | | | | | TIME= | .00 |
| RAINFALL TYPE= 1 | | | | | | | | | | | RAIN6= | 2.900 |
| COMPUTE NM HYD | 101.10 | - | 1 | .00972 | 31.16 | 1.288 | 2.48487 | 1.500 | 5.011 | PER IMP= | 90.00 | |
| COMPUTE NM HYD | 101.10 | - | 1 | .00105 | 3.38 | .139 | 2.48487 | 1.500 | 5.038 | PER IMP= | 90.00 | |
| COMPUTE NM HYD | 101.10 | - | 1 | .00290 | 9.32 | .385 | 2.48487 | 1.500 | 5.019 | PER IMP= | 90.00 | |
| START | | | | | | | | | | | TIME= | .00 |
| RAINFALL TYPE= 1 | | | | | | | | | | | RAIN6= | 1.930 |
| COMPUTE NM HYD | 110.10 | - | 1 | .00972 | 20.41 | .807 | 1.55658 | 1.500 | 3.282 | PER IMP= | 90.00 | |
| COMPUTE NM HYD | 110.20 | - | 1 | .00105 | 2.21 | .087 | 1.55658 | 1.500 | 3.297 | PER IMP= | 90.00 | |
| COMPUTE NM HYD | 110.30 | - | 1 | .00290 | 6.11 | .241 | 1.55658 | 1.500 | 3.286 | PER IMP= | 90.00 | |
| FINISH | | | | | | | | | | | | |

AHYMO
Input and Output
for
Ponding

* ROCKY MOUNTAIN RV PARK *

* 100-YEAR, 24-HR STORM (PONDING CALCULATIONS) *

START TIME=0.0
*
*
* BASIN 1
*
RAINFALL TYPE=2 RAIN QUARTER=0.0 IN
RAIN ONE=2.23 IN RAIN SIX=2.90 IN
RAIN DAY=3.65 IN DT=0.03333 HR
COMPUTE NM HYD ID=1 HYD NO=100.1 AREA=0.009716 SQ MI
PER A=0.00 PER B=10.00 PER C=0.00 PER D=90.00
TP=-0.1333 HR MASS RAINFALL=-1
* BASIN 1 PONDING
*
ROUTE RESERVOIR ID=2 HYD NO=501.1 INFLOW ID=1 CODE=24
OUTFLOW(CFS) STORAGE(AC-FT) ELEVATION(FT)
0.0000 0.0000 64.00
5.9794 0.0009 67.00
6.2139 0.0091 67.20
6.4400 0.0335 67.40
6.6583 0.0740 67.60
6.8698 0.1308 67.80
7.0749 0.2038 68.00
7.2742 0.2930 68.20
7.4682 0.3984 68.40
7.6573 0.5200 68.60
7.8418 0.6578 68.80
8.0221 0.8118 69.00
*
* BASIN 2
*
COMPUTE NM HYD ID=3 HYD NO=100.2 AREA=0.002903 SQ MI
PER A=0.00 PER B=10.00 PER C=0.00 PER D=90.00
TP=-0.1333 HR MASS RAINFALL=-1
*
* ADD POND 1 AND BASIN 2
*
ADD HYD ID=1 HYD NO=101.2 ID=2 ID=3
*
* BASIN 2 PONDING
*
ROUTE RESERVOIR ID=2 HYD NO=501.2 INFLOW ID=1 CODE=24
OUTFLOW(CFS) STORAGE(AC-FT) ELEVATION(FT)
0.0000 0.0000 60.50
4.4257 0.0005 63.50
4.5945 0.0207 63.70
4.7573 0.0812 63.90
4.8367 0.1266 64.00
4.9916 0.2290 64.20
5.1418 0.3342 64.40
5.2878 0.4423 64.60
5.4299 0.5533 64.80
5.5683 0.6672 65.00
*
*
*

RUN DATE (MON/DAY/YR) =09/13/1996
USER NO.= R_BOHANN.101

| | | FROM | TO | | PEAK | RUNOFF | | TIME TO | CFS | PAGE = 1 |
|------------------|----------------|------|-----|---------|-----------|---------|----------|---------|---------|----------------|
| | HYDROGRAPH | ID | ID | AREA | DISCHARGE | VOLUME | RUNOFF | PEAK | PER | |
| COMMAND | IDENTIFICATION | NO. | NO. | (SQ MI) | (CFS) | (AC-FT) | (INCHES) | (HOURS) | ACRE | NOTATION |
| START | | | | | | | | | TIME= | .00 |
| RAINFALL TYPE= 2 | | | | | | | | | RAIN24= | 3.650 |
| COMPUTE NM HYD | 100.10 | - | 1 | .00972 | 31.16 | 1.576 | 3.04092 | 1.500 | 5.011 | PER IMP= 90.00 |
| ROUTE RESERVOIR | 501.10 | 1 | 2 | .00972 | 7.65 | 1.578 | 3.04599 | 2.000 | 1.230 | AC-FT= .513 |
| COMPUTE NM HYD | 100.20 | - | 3 | .00290 | 9.32 | .471 | 3.04095 | 1.500 | 5.019 | PER IMP= 90.00 |
| ADD HYD | 101.20 | 2& 3 | 1 | .01262 | 16.40 | 2.049 | 3.04483 | 1.500 | 2.030 | |
| ROUTE RESERVOIR | 501.20 | 1 | 2 | .01262 | 5.53 | 2.049 | 3.04479 | 3.133 | .685 | AC-FT= .635 |
| FINISH | | | | | | | | | | |

AHYMO PROGRAM (AHYMO194) - AMAFCA Hydrologic Model - January, 1994
 RUN DATE (MON/DAY/YR) = 09/13/1996
 START TIME (HR:MIN:SEC) = 10:38:46 USER NO.= R_BOHANN.101
 INPUT FILE = a:pond2.dat

* ROCKY MOUNTAIN RV PARK *

* 100-YEAR, 24-HR STORM (PONDING CALCULATIONS) *

START TIME=0.0

*

*

* BASIN 1

*

RAINFALL TYPE=2 RAIN QUARTER=0.0 IN
 RAIN ONE=2.23 IN RAIN SIX=2.90 IN
 RAIN DAY=3.65 IN DT=0.03333 HR

COMPUTED 24-HOUR RAINFALL DISTRIBUTION BASED ON NOAA ATLAS 2 - PEAK AT 1.40 HR.

DT = .033330 HOURS END TIME = 19.964670 HOURS

| | | | | | | |
|--------|--------|--------|--------|--------|--------|--------|
| .0000 | .0055 | .0110 | .0167 | .0225 | .0284 | .0345 |
| .0406 | .0469 | .0534 | .0600 | .0668 | .0738 | .0809 |
| .0882 | .0958 | .1035 | .1115 | .1197 | .1282 | .1370 |
| .1461 | .1555 | .1653 | .1754 | .1860 | .1971 | .2086 |
| .2207 | .2334 | .2469 | .2530 | .2596 | .2667 | .2818 |
| .3156 | .3677 | .4425 | .5446 | .6787 | .8498 | 1.0629 |
| 1.3228 | 1.5642 | 1.6650 | 1.7500 | 1.8257 | 1.8946 | 1.9579 |
| 2.0168 | 2.0718 | 2.1233 | 2.1719 | 2.2176 | 2.2608 | 2.3018 |
| 2.3405 | 2.3773 | 2.4122 | 2.4453 | 2.4767 | 2.4850 | 2.4927 |
| 2.5002 | 2.5074 | 2.5143 | 2.5210 | 2.5275 | 2.5338 | 2.5400 |
| 2.5459 | 2.5518 | 2.5575 | 2.5630 | 2.5685 | 2.5738 | 2.5790 |
| 2.5841 | 2.5891 | 2.5940 | 2.5988 | 2.6036 | 2.6082 | 2.6128 |
| 2.6173 | 2.6218 | 2.6262 | 2.6305 | 2.6347 | 2.6389 | 2.6431 |
| 2.6471 | 2.6512 | 2.6552 | 2.6591 | 2.6630 | 2.6668 | 2.6706 |
| 2.6743 | 2.6780 | 2.6817 | 2.6853 | 2.6889 | 2.6925 | 2.6960 |
| 2.6995 | 2.7029 | 2.7063 | 2.7097 | 2.7131 | 2.7164 | 2.7197 |
| 2.7229 | 2.7262 | 2.7294 | 2.7325 | 2.7357 | 2.7388 | 2.7419 |
| 2.7450 | 2.7480 | 2.7511 | 2.7541 | 2.7570 | 2.7600 | 2.7629 |
| 2.7658 | 2.7687 | 2.7716 | 2.7745 | 2.7773 | 2.7801 | 2.7829 |
| 2.7857 | 2.7885 | 2.7912 | 2.7939 | 2.7966 | 2.7993 | 2.8020 |
| 2.8046 | 2.8073 | 2.8099 | 2.8125 | 2.8151 | 2.8177 | 2.8202 |
| 2.8228 | 2.8253 | 2.8279 | 2.8304 | 2.8329 | 2.8353 | 2.8378 |
| 2.8402 | 2.8427 | 2.8451 | 2.8475 | 2.8499 | 2.8523 | 2.8547 |
| 2.8571 | 2.8594 | 2.8618 | 2.8641 | 2.8664 | 2.8687 | 2.8710 |
| 2.8733 | 2.8756 | 2.8779 | 2.8801 | 2.8824 | 2.8846 | 2.8868 |
| 2.8890 | 2.8912 | 2.8934 | 2.8956 | 2.8978 | 2.9000 | 2.9021 |
| 2.9042 | 2.9063 | 2.9083 | 2.9104 | 2.9125 | 2.9146 | 2.9166 |
| 2.9187 | 2.9208 | 2.9228 | 2.9249 | 2.9269 | 2.9290 | 2.9310 |
| 2.9330 | 2.9351 | 2.9371 | 2.9391 | 2.9411 | 2.9431 | 2.9451 |
| 2.9471 | 2.9491 | 2.9511 | 2.9531 | 2.9551 | 2.9571 | 2.9591 |
| 2.9610 | 2.9630 | 2.9650 | 2.9669 | 2.9689 | 2.9708 | 2.9728 |
| 2.9747 | 2.9766 | 2.9786 | 2.9805 | 2.9824 | 2.9844 | 2.9863 |
| 2.9882 | 2.9901 | 2.9920 | 2.9939 | 2.9958 | 2.9977 | 2.9996 |
| 3.0015 | 3.0034 | 3.0052 | 3.0071 | 3.0090 | 3.0109 | 3.0127 |
| 3.0146 | 3.0164 | 3.0183 | 3.0201 | 3.0220 | 3.0238 | 3.0257 |
| 3.0275 | 3.0293 | 3.0312 | 3.0330 | 3.0348 | 3.0366 | 3.0384 |
| 3.0402 | 3.0420 | 3.0439 | 3.0457 | 3.0474 | 3.0492 | 3.0510 |
| 3.0528 | 3.0546 | 3.0564 | 3.0582 | 3.0599 | 3.0617 | 3.0635 |

| | | | | | | |
|--------|--------|--------|--------|--------|--------|--------|
| 3.0652 | 3.0670 | 3.0687 | 3.0705 | 3.0722 | 3.0740 | 3.0757 |
| 3.0775 | 3.0792 | 3.0809 | 3.0827 | 3.0844 | 3.0861 | 3.0878 |
| 3.0896 | 3.0913 | 3.0930 | 3.0947 | 3.0964 | 3.0981 | 3.0998 |
| 3.1015 | 3.1032 | 3.1049 | 3.1066 | 3.1082 | 3.1099 | 3.1116 |
| 3.1133 | 3.1149 | 3.1166 | 3.1183 | 3.1199 | 3.1216 | 3.1233 |
| 3.1249 | 3.1266 | 3.1282 | 3.1299 | 3.1315 | 3.1331 | 3.1348 |
| 3.1364 | 3.1381 | 3.1397 | 3.1413 | 3.1429 | 3.1446 | 3.1462 |
| 3.1478 | 3.1494 | 3.1510 | 3.1526 | 3.1542 | 3.1558 | 3.1574 |
| 3.1590 | 3.1606 | 3.1622 | 3.1638 | 3.1654 | 3.1670 | 3.1685 |
| 3.1701 | 3.1717 | 3.1733 | 3.1748 | 3.1764 | 3.1780 | 3.1795 |
| 3.1811 | 3.1827 | 3.1842 | 3.1858 | 3.1873 | 3.1889 | 3.1904 |
| 3.1919 | 3.1935 | 3.1950 | 3.1966 | 3.1981 | 3.1996 | 3.2012 |
| 3.2027 | 3.2042 | 3.2057 | 3.2072 | 3.2088 | 3.2103 | 3.2118 |
| 3.2133 | 3.2148 | 3.2163 | 3.2178 | 3.2193 | 3.2208 | 3.2223 |
| 3.2238 | 3.2253 | 3.2268 | 3.2283 | 3.2297 | 3.2312 | 3.2327 |
| 3.2342 | 3.2357 | 3.2371 | 3.2386 | 3.2401 | 3.2415 | 3.2430 |
| 3.2445 | 3.2459 | 3.2474 | 3.2488 | 3.2503 | 3.2517 | 3.2532 |
| 3.2546 | 3.2561 | 3.2575 | 3.2590 | 3.2604 | 3.2618 | 3.2633 |
| 3.2647 | 3.2661 | 3.2676 | 3.2690 | 3.2704 | 3.2718 | 3.2732 |
| 3.2747 | 3.2761 | 3.2775 | 3.2789 | 3.2803 | 3.2817 | 3.2831 |
| 3.2845 | 3.2859 | 3.2873 | 3.2887 | 3.2901 | 3.2915 | 3.2929 |
| 3.2943 | 3.2957 | 3.2971 | 3.2984 | 3.2998 | 3.3012 | 3.3026 |
| 3.3040 | 3.3053 | 3.3067 | 3.3081 | 3.3094 | 3.3108 | 3.3122 |
| 3.3135 | 3.3149 | 3.3163 | 3.3176 | 3.3190 | 3.3203 | 3.3217 |
| 3.3230 | 3.3244 | 3.3257 | 3.3271 | 3.3284 | 3.3297 | 3.3311 |
| 3.3324 | 3.3338 | 3.3351 | 3.3364 | 3.3378 | 3.3391 | 3.3404 |
| 3.3417 | 3.3431 | 3.3444 | 3.3457 | 3.3470 | 3.3483 | 3.3496 |
| 3.3510 | 3.3523 | 3.3536 | 3.3549 | 3.3562 | 3.3575 | 3.3588 |
| 3.3601 | 3.3614 | 3.3627 | 3.3640 | 3.3653 | 3.3666 | 3.3679 |
| 3.3691 | 3.3704 | 3.3717 | 3.3730 | 3.3743 | 3.3756 | 3.3768 |
| 3.3781 | 3.3794 | 3.3807 | 3.3819 | 3.3832 | 3.3845 | 3.3857 |
| 3.3870 | 3.3883 | 3.3895 | 3.3908 | 3.3921 | 3.3933 | 3.3946 |
| 3.3958 | 3.3971 | 3.3983 | 3.3996 | 3.4008 | 3.4021 | 3.4033 |
| 3.4046 | 3.4058 | 3.4070 | 3.4083 | 3.4095 | 3.4108 | 3.4120 |
| 3.4132 | 3.4145 | 3.4157 | 3.4169 | 3.4181 | 3.4194 | 3.4206 |
| 3.4218 | 3.4230 | 3.4243 | 3.4255 | 3.4267 | 3.4279 | 3.4291 |
| 3.4303 | 3.4315 | 3.4328 | 3.4340 | 3.4352 | 3.4364 | 3.4376 |
| 3.4388 | 3.4400 | 3.4412 | 3.4424 | 3.4436 | 3.4448 | 3.4460 |
| 3.4472 | 3.4484 | 3.4495 | 3.4507 | 3.4519 | 3.4531 | 3.4543 |
| 3.4555 | 3.4567 | 3.4578 | 3.4590 | 3.4602 | 3.4614 | 3.4625 |
| 3.4637 | 3.4649 | 3.4661 | 3.4672 | 3.4684 | 3.4696 | 3.4707 |
| 3.4719 | 3.4731 | 3.4742 | 3.4754 | 3.4765 | 3.4777 | 3.4788 |
| 3.4800 | 3.4812 | 3.4823 | 3.4835 | 3.4846 | 3.4858 | 3.4869 |
| 3.4880 | 3.4892 | 3.4903 | 3.4915 | 3.4926 | 3.4938 | 3.4949 |
| 3.4960 | 3.4972 | 3.4983 | 3.4994 | 3.5006 | 3.5017 | 3.5028 |
| 3.5040 | 3.5051 | 3.5062 | 3.5073 | 3.5085 | 3.5096 | 3.5107 |
| 3.5118 | 3.5129 | 3.5141 | 3.5152 | 3.5163 | 3.5174 | 3.5185 |
| 3.5196 | 3.5207 | 3.5218 | 3.5229 | 3.5241 | | |

COMPUTE NM HYD ID=1 HYD NO=100.1 AREA=0.009716 SQ MI
 PER A=0.00 PER B=10.00 PER C=0.00 PER D=90.00
 TP=-0.1333 HR MASS RAINFALL=-1

K = .072649HR TP = .133300HR K/TP RATIO = .545000 SHAPE CONSTANT, N = 7.106420
 UNIT PEAK = 34.523 CFS UNIT VOLUME = .9990 B = 526.28 P60 = 2.2300
 AREA = .008744 SQ MI IA = .10000 INCHES INF = .04000 INCHES PER HOUR
 RUNOFF COMPUTED BY INITIAL ABSTRACTION/INFILTRATION NUMBER METHOD - DT = .033330

K = .134742HR TP = .133300HR K/TP RATIO = 1.010815 SHAPE CONSTANT, N = 3.492236

UNIT PEAK = 2.3307 CFS UNIT VOLUME = .9945 B = 319.76 P60 = 2.2300
 AREA = .000972 SQ MI IA = .50000 INCHES INF = 1.25000 INCHES PER HOUR
 RUNOFF COMPUTED BY INITIAL ABSTRACTION/INFILTRATION NUMBER METHOD - DT = .033330

* BASIN 1 PONDING
 *

| ROUTE RESERVOIR | ID=2 HYD NO=501.1 INFLOW ID=1 CODE=24 | | |
|-----------------|---------------------------------------|----------------|---------------|
| | OUTFLOW(CFS) | STORAGE(AC-FT) | ELEVATION(FT) |
| | 0.0000 | 0.0000 | 64.00 |
| | 5.9794 | 0.0009 | 67.00 |
| | 6.2139 | 0.0091 | 67.20 |
| | 6.4400 | 0.0335 | 67.40 |
| | 6.6583 | 0.0740 | 67.60 |
| | 6.8698 | 0.1308 | 67.80 |
| | 7.0749 | 0.2038 | 68.00 |
| | 7.2742 | 0.2930 | 68.20 |
| | 7.4682 | 0.3984 | 68.40 |
| | 7.6573 | 0.5200 | 68.60 |
| | 7.8418 | 0.6578 | 68.80 |
| | 8.0221 | 0.8118 | 69.00 |

* * * * *

| TIME (HRS) | INFLOW (CFS) | ELEV (FEET) | VOLUME (AC-FT) | OUTFLOW (CFS) |
|---------------|-----------------|----------------|-------------------|------------------|
| .00 | .00 | 64.00 | .000 | .00 |
| .80 | 1.10 | 64.55 | .000 | 1.09 |
| 1.60 | 21.51 | 68.34 | .368 | 7.41 |
| 2.40 | 1.52 | 68.37 | .385 | 7.44 |
| 3.20 | .49 | 64.00 | .000 | .00 |
| 4.00 | .38 | 64.19 | .000 | .37 |
| 4.80 | .35 | 64.18 | .000 | .35 |
| 5.60 | .35 | 64.18 | .000 | .35 |
| 6.40 | .35 | 64.18 | .000 | .35 |
| 7.20 | .33 | 64.17 | .000 | .33 |
| 8.00 | .32 | 64.16 | .000 | .32 |
| 8.80 | .30 | 64.15 | .000 | .30 |
| 9.60 | .29 | 64.14 | .000 | .29 |
| 10.40 | .28 | 64.14 | .000 | .28 |
| 11.20 | .27 | 64.13 | .000 | .27 |
| 12.00 | .26 | 64.13 | .000 | .26 |
| 12.80 | .25 | 64.12 | .000 | .25 |
| 13.60 | .24 | 64.12 | .000 | .24 |
| 14.40 | .23 | 64.12 | .000 | .23 |
| 15.20 | .22 | 64.11 | .000 | .22 |
| 16.00 | .22 | 64.11 | .000 | .22 |
| 16.80 | .21 | 64.11 | .000 | .21 |
| 17.60 | .20 | 64.10 | .000 | .20 |
| 18.40 | .20 | 64.10 | .000 | .20 |
| 19.20 | .19 | 64.10 | .000 | .19 |

PEAK DISCHARGE = 7.646 CFS - PEAK OCCURS AT HOUR 2.00
 MAXIMUM WATER SURFACE ELEVATION = 68.589
 MAXIMUM STORAGE = .5130 AC-FT INCREMENTAL TIME= .033330HRS

*
 * BASIN 2
 *

COMPUTE NM HYD ID=3 HYD NO=100.2 AREA=0.002903 SQ MI
 PER A=0.00 PER B=10.00 PER C=0.00 PER D=90.00

TP=-0.1333 HR MASS RAINFALL=-1

K = .072649HR TP = .133300HR K/TP RATIO = .545000 SHAPE CONSTANT, N = 7.106420
UNIT PEAK = 10.315 CFS UNIT VOLUME = .9982 B = 526.28 P60 = 2.2300
AREA = .002613 SQ MI IA = .10000 INCHES INF = .04000 INCHES PER HOUR
RUNOFF COMPUTED BY INITIAL ABSTRACTION/INFILTRATION NUMBER METHOD - DT = .033330

K = .134742HR TP = .133300HR K/TP RATIO = 1.010815 SHAPE CONSTANT, N = 3.492236
UNIT PEAK = .69638 CFS UNIT VOLUME = .9804 B = 319.76 P60 = 2.2300
AREA = .000290 SQ MI IA = .50000 INCHES INF = 1.25000 INCHES PER HOUR
RUNOFF COMPUTED BY INITIAL ABSTRACTION/INFILTRATION NUMBER METHOD - DT = .033330

*
* ADD POND 1 AND BASIN 2
*
ADD HYD ID=1 HYD NO=101.2 ID=2 ID=3
*

* BASIN 2 PONDING
*

| ROUTE RESERVOIR ID=2 HYD NO=501.2 INFLOW ID=1 CODE=24 | | | |
|---|----------------|---------------|--|
| OUTFLOW(CFS) | STORAGE(AC-FT) | ELEVATION(FT) | |
| 0.0000 | 0.0000 | 60.50 | |
| 4.4257 | 0.0005 | 63.50 | |
| 4.5945 | 0.0207 | 63.70 | |
| 4.7573 | 0.0812 | 63.90 | |
| 4.8367 | 0.1266 | 64.00 | |
| 4.9916 | 0.2290 | 64.20 | |
| 5.1418 | 0.3342 | 64.40 | |
| 5.2878 | 0.4423 | 64.60 | |
| 5.4299 | 0.5533 | 64.80 | |
| 5.5683 | 0.6672 | 65.00 | |

* * * * *

| TIME (HRS) | INFLOW (CFS) | ELEV (FEET) | VOLUME (AC-FT) | OUTFLOW (CFS) |
|---------------|-----------------|----------------|-------------------|------------------|
| .00 | .00 | 60.50 | .000 | .00 |
| .80 | 1.42 | 61.46 | .000 | 1.42 |
| 1.60 | 13.85 | 64.18 | .218 | 4.97 |
| 2.40 | 7.90 | 64.75 | .528 | 5.40 |
| 3.20 | .14 | 64.92 | .623 | 5.51 |
| 4.00 | .49 | 64.35 | .308 | 5.10 |
| 4.80 | .46 | 63.66 | .017 | 4.56 |
| 5.60 | .46 | 60.81 | .000 | .46 |
| 6.40 | .46 | 60.81 | .000 | .46 |
| 7.20 | .43 | 60.79 | .000 | .43 |
| 8.00 | .41 | 60.78 | .000 | .41 |
| 8.80 | .39 | 60.77 | .000 | .39 |
| 9.60 | .38 | 60.75 | .000 | .38 |
| 10.40 | .36 | 60.74 | .000 | .36 |
| 11.20 | .35 | 60.73 | .000 | .35 |
| 12.00 | .33 | 60.73 | .000 | .33 |
| 12.80 | .32 | 60.72 | .000 | .32 |
| 13.60 | .31 | 60.71 | .000 | .31 |
| 14.40 | .30 | 60.70 | .000 | .30 |
| 15.20 | .29 | 60.70 | .000 | .29 |
| 16.00 | .28 | 60.69 | .000 | .28 |
| 16.80 | .27 | 60.69 | .000 | .27 |

| | | | | |
|-------|-----|-------|------|-----|
| 17.60 | .26 | 60.68 | .000 | .26 |
| 18.40 | .26 | 60.67 | .000 | .26 |
| 19.20 | .25 | 60.67 | .000 | .25 |

PEAK DISCHARGE = 5.529 CFS - PEAK OCCURS AT HOUR 3.13

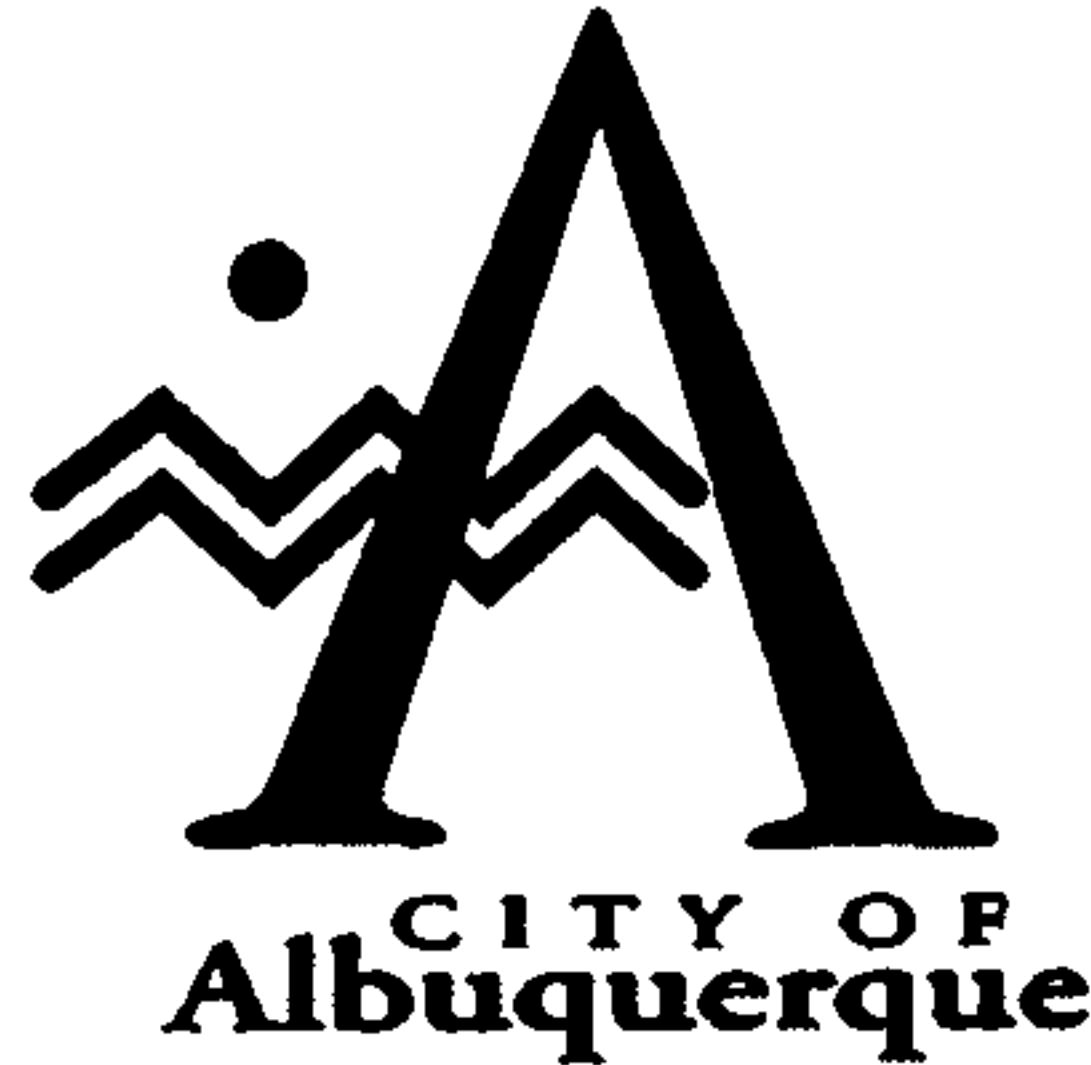
MAXIMUM WATER SURFACE ELEVATION = 64.944

MAXIMUM STORAGE = .6352 AC-FT INCREMENTAL TIME= .033330HRS

*
*
*

FINISH

NORMAL PROGRAM FINISH END TIME (HR:MIN:SEC) = 10:38:47



740012
Inc.
Hydrology File

September 16, 1996

Martin J. Chávez, Mayor
Ronald Bohannon
Tierra West Development
4421 McCleod NE
Suite D
Albuquerque, NM 87109

RE: ROCKY MOUNTAIN R.V. (L22-D35) DRAINAGE REPORT SUBMITTAL FOR SITE DEVELOPMENT PLAN FOR SUBDIVISION APPROVAL, BUILDING PERMIT APPROVAL, AND GRADING PERMIT APPROVAL. ENGINEER'S STAMP DATED 9-13-96.

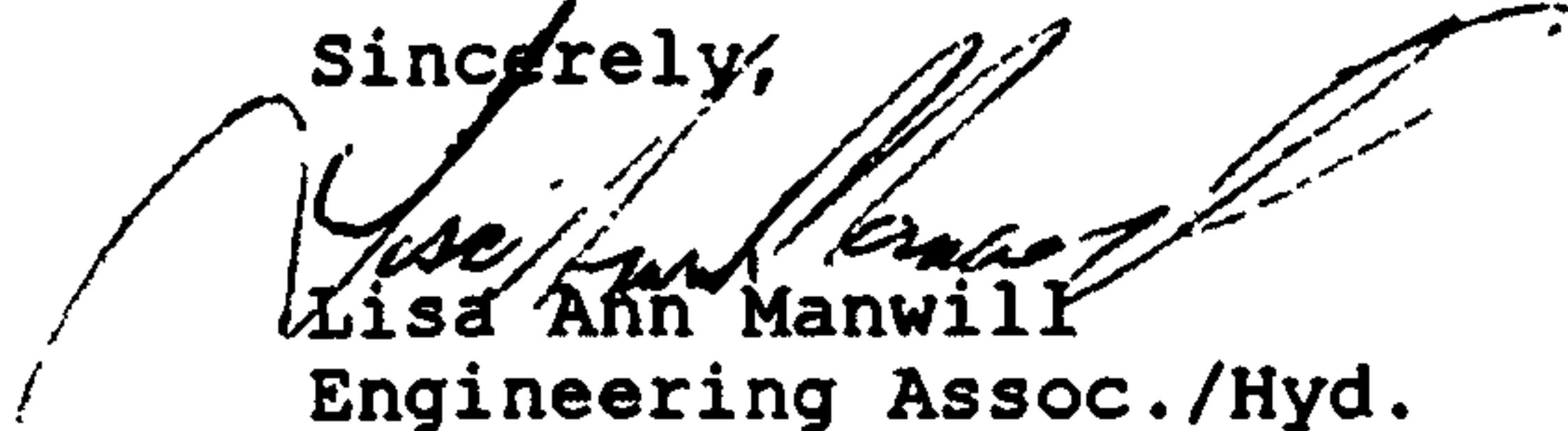
Dear Mr. Bohannon:

Based on the information provided on your August 20, 1996 submittal, the above referenced project is approved for Site Development Plan for Building Permit approval. Prior to Building or SO #19 Permit approvals, please address the following comments:

1. An SO #19 Permit is required for this project due to the work proposed in the right-of-way. Please be certain to show the required notes and sign-off block on the plan sheet. Also, provide two copies of the Grading and Drainage plan.
2. Shown on your plan sheet is a distance and bearing line from catch basin 2 to the corner of Western Skies and Central. Please change the line type. It looks very similar to a storm drain line.
3. If you desire, you can use an 12-inch pipe with a 10-inch orifice to tie into the back of the existing inlet on Western Skies.
4. Are your sidewalk culverts in a submerged condition? If not, I believe you can get away with using two sidewalk culverts instead of three

If I can be of further assistance, please feel free to contact me at 768-3622.

Sincerely,


Lisa Ann Manwill
Engineering Assoc./Hyd.

c: Andrew Garcia
File

Good for You, Albuquerque!





CITY OF
Albuquerque
Public Works Department
June 5, 1997

JN: 9400/2
✓ Incoming
Drainage

Martin J. Chávez, Mayor

Robert E. Gurulé, Director

Sara McCollam
Tierra West Development
4421 McLeod Rd. NE Suite D
Albuquerque, New Mexico 87109

RE: Drainage Plan for Rocky Mountain R.V. (L22-D35B) Received June 5, 1997

Dear Ms. McCollam:

The above referenced plan stamp dated June 5, 1997 is approve for the following:


1. The plan is approved for Building Permit.
2. Approval of the drainage plan allows the approval of the Site Development Plan from the drainage criteria. The drainage plan and the Site Plan should match for approval.
3. Approval of the Drainage Facilities Within City Right-Of-Way (SO #19) for the back of curb pipe connection.

A separate permit is required for construction within City Right-of Way. A copy of this approval letter must be on hand when applying for the excavation permit.

Prior to Certificate of Occupancy release the Engineer will need to certify the project per the DPM.

If you have any questions please call at 924-3984.

Sincerely,

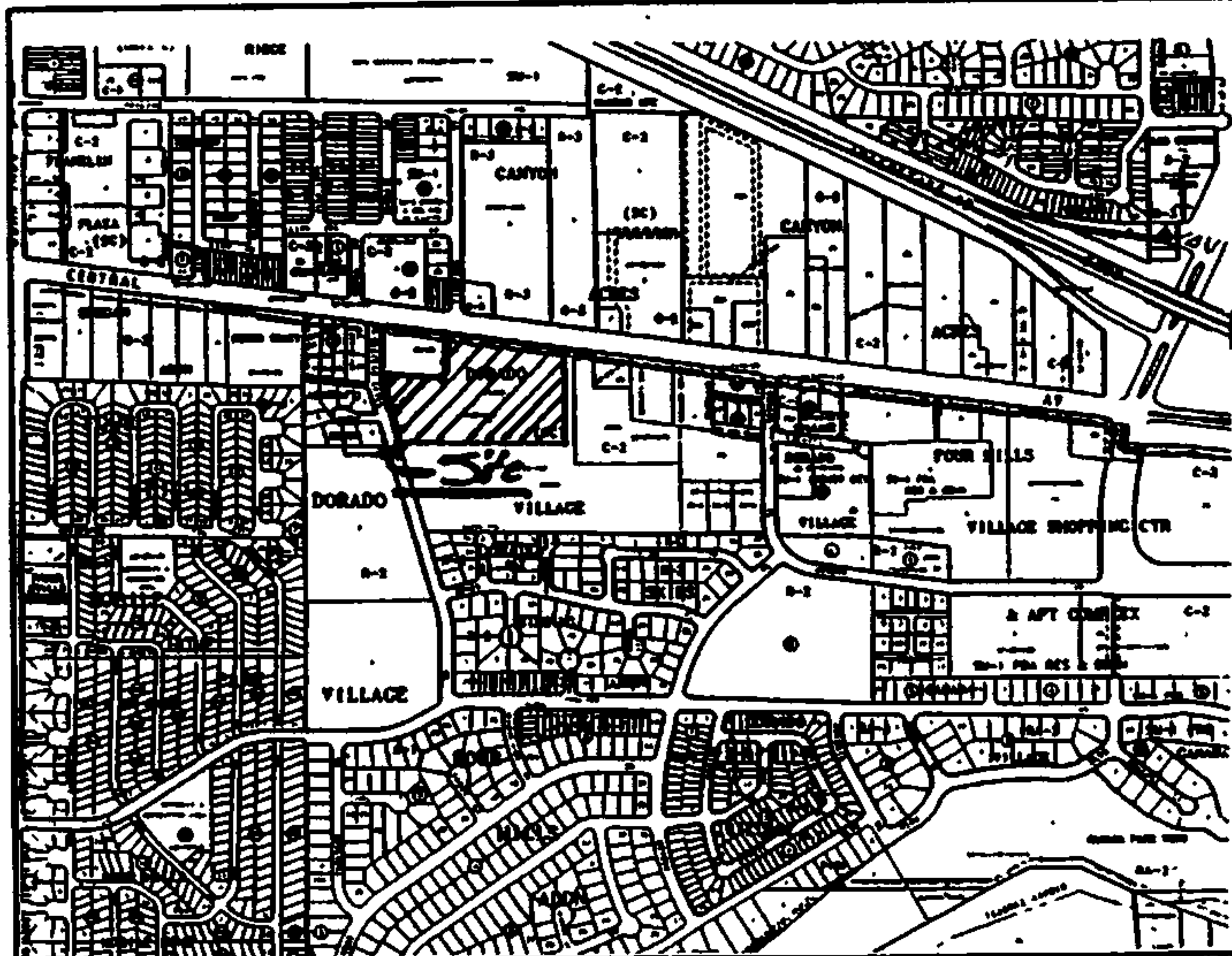

Carlos A. Montoya
Project Manager

c: Andrew Garcia
File

Good for You. Albuquerque!

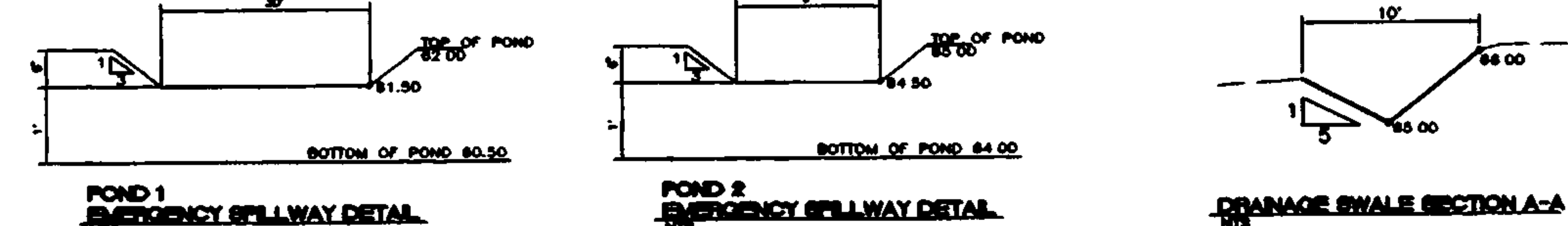
P.O. Box 1293, Albuquerque, New Mexico 87103





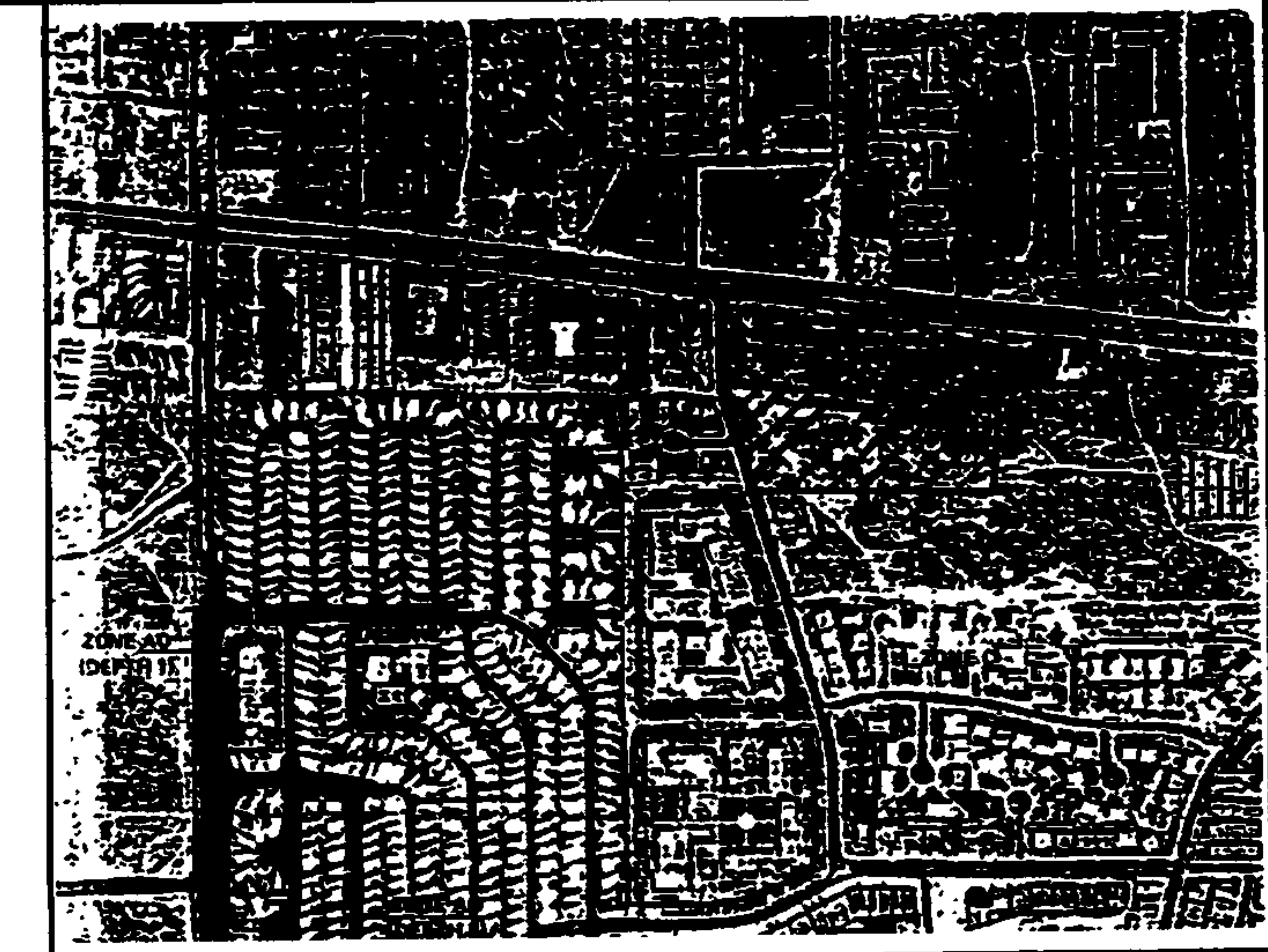
PROJECT BENCHMARK:
A STANDARD USDA BRASS TABLE STAMPED "NM BAY 4 1934 EL. 5560" SET IN TOP OF A CONCRETE POST PROJECTING 0.4 FT. TO REACH THE STATION FROM THE INTERSECTION OF CENTRAL AVE. 0.30 MILES TO THE JUNCTION WITH WESTERN SKIES DR. THE STATION IS LOCATED IN THE SOUTHEAST QUADRANT OF THE INTERSECTION. ELEVATION: 5560.114 FEET (M.S.L.D.)

LEGAL DESCRIPTION
TRACT B1A1B DORADO VILLAGE, UNIT 3



SITE VOLUME TABLE ADJUSTED

| Site | Stratum | Surf1 | Surf2 | yards | Cut | yards | Fill | yards | Net | Method |
|----------------------------------|---------|-------|-------|-------|------|-------|------|-------|----------|------------|
| voll | voll | ex | fg | | | | | | | |
| | | | | | 2746 | | 1331 | | 1415 (C) | Grid |
| | | | | | 3081 | | 1357 | | 1723 (C) | Composite |
| | | | | | 3454 | | 1484 | | 1970 (C) | End area |
| | | | | | 3454 | | 1485 | | 1989 (C) | Prismoidal |
| Average Excess Cut = 1769.25 yds | | | | | | | | | | |



FEMA MAP #350002 0037

VICINITY MAP ZONE ATLAS L-22-Z

LEGEND

- BOUNDARY
- EXISTING CEDAR FENCE
- CHAIN LINK FENCE
- DECORATIVE FENCE
- PROPOSED CONTOUR
- EXISTING CONTOUR
- EXISTING STORM SEWER LINE
- EXISTING SANITARY SEWER LINE
- BASIN
- NEW STORM SEWER MH
- NEW STORM SEWER INLET
- EXISTING SANITARY SEWER LINE

EROSION CONTROL PLAN NOTES

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING UP ANY SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE RUN-OFF WITHIN THE SITE DURING CONSTRUCTION.
- EROSION CONTROL BERM MUST BE IN PLACE PRIOR TO ANY CONSTRUCTION ON SITE.



GRAPHIC SCALE



SCALE: 1" = 50.00'

- NOTICE TO CONTRACTORS:**
- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
 - ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
 - TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 785-1234, FOR LOCATION OF EXISTING UTILITIES.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 - BACKFILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
 - MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
 - WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

| APPROVALS | NAME | DATE |
|--------------|------|------|
| HYDROLOGIST | | |
| INSPECTOR | | |
| A.C.E./FIELD | | |

ROUGH GRADING APPROVAL

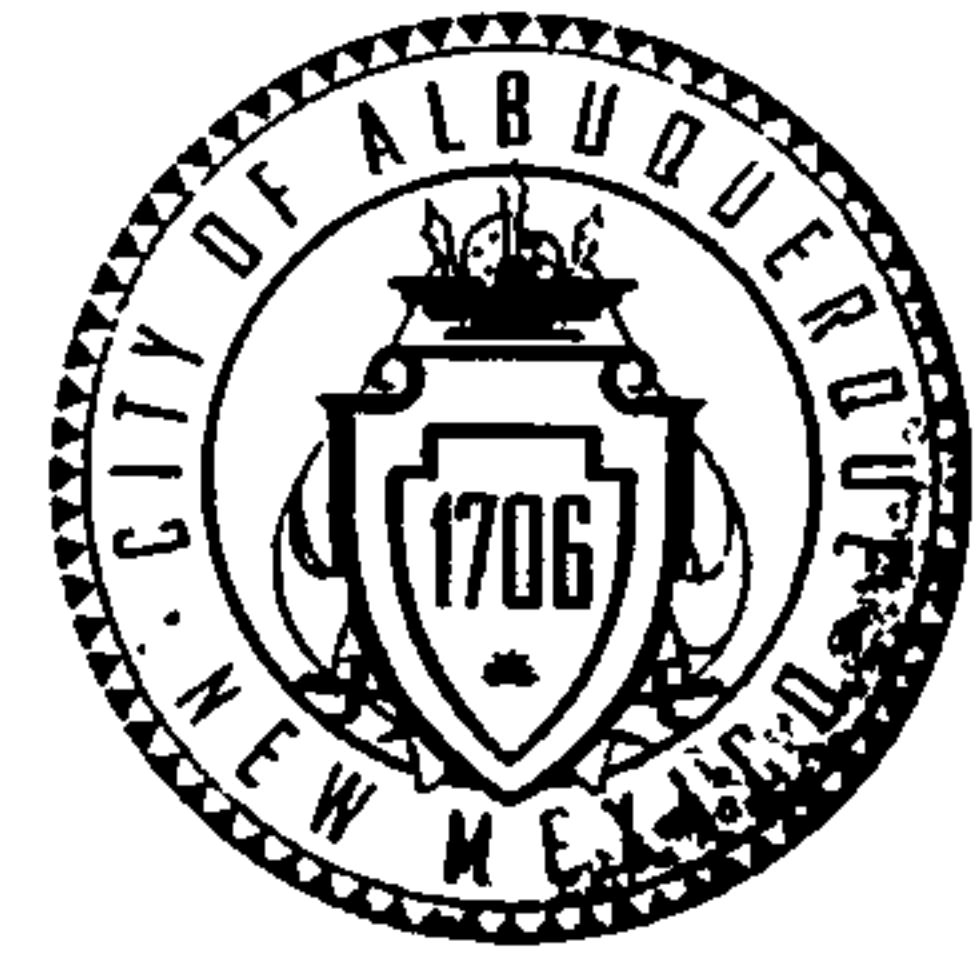
DATE

- NOTE:**
- ADD +5500 TO SPOT ELEVATIONS UNLESS OTHERWISE USED.
 - ALL THE STORM SEWER AND POND STRUCTURES SHOWN ON THE PLAN WILL BE BUILT IN PHASE I.

50\940012\9412GR.DWG\BDC\6-03-97

| | | | |
|--|---|--|---|
| | ENGINEER'S SEAL RONALD R. BOHANNON PROFESSIONAL ENGINEER STATE OF NEW MEXICO NO. 1285 | ROCKY MOUNTAIN R.V.-MARINE FACILITY GRADING AND DRAINAGE PLAN 12,700 CENTRAL S.E. ALBUQUERQUE, NM 87123 TERRA WEST DEVELOPMENT MANAGEMENT SERVICES 4421 MCLEOD ROAD, NE, SUITE D ALBUQUERQUE, NEW MEXICO 87109 (505)883-7592 | DRAWN BY: PVG DATE: 6-22-94 9412GR.DWG SHEET # JOB # 940012 |
| | | | |
| | | | |
| | | | |

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

September 10, 2012

Ronald R. Bohannon, PE
Tierra West, LLC
5571 Midway Park Place NE
Albuquerque, NM 87109

Re: **Certification for Permanent Building Certificate of Occupancy (C.O.)**
Rocky Mountain RV and Marine, [L-22/D035B]
12700 Central Ave. NE
Architect's Stamp Dated 09/06/12

Dear Mr. Bohannon:

Based upon the information provided in your submittal received 09-06-12,
Transportation Development has no objection to the issuance of a Permanent Certificate
of Occupancy.

This letter serves as a "green tag" from Transportation Development for a
Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact me at (505)924-3630.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: Rocky Mountain RV and Marine
DRB #: 1006828 EPC #: _____

ZONE MAP/DRG. FILE # L-22 / D0358
WORK ORDER #: _____

LEGAL DESCRIPTION: Tract B-1-A-1-B of Dorado Village Subdivision
CITY ADDRESS: 12700 Central Avenue, SE

ENGINEERING FIRM: Tierra West, LLC
ADDRESS: 5571 Midway Park Place NE
CITY, STATE: Albuquerque, NM

CONTACT: Ron Bohannon
PHONE: (505) 858-3100
ZIP CODE: 87109

OWNER: Rocky Mountain RV and Marine
ADDRESS: 12700 Central Avenue, SE
CITY, STATE: Albuquerque, NM

CONTACT: Rick Scholl
PHONE: 505-292-7800
ZIP CODE: 87123

ARCHITECT: Parkline/ West, Inc.
ADDRESS: PO Box 93457
CITY, STATE: Albuquerque, NM

CONTACT: Bruce Ross
PHONE: (505) 761-9700
ZIP CODE: 87199-3457

SURVEYOR: Precision Surveys, Inc.
ADDRESS: 5571 Midway Park Place, NE
CITY, STATE: Albuquerque, NM

CONTACT: Larry Medrano
PHONE: 505-856-5700
ZIP CODE: 87109

CONTRACTOR: TBD
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEERS CERTIFICATION (TCL)
☒ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANACIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM.)
☐ CERTIFICATE OF OCCUPANCY (TEMP.)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ SO-19

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☒ NO
☐ COPY PROVIDED

RECEIVED
AUG 6 - 2012
SEPL

DATE SUBMITTED: 9/5/2012 BY: Ronald R. Bohannan, PE

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plans:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

gan

TIERRA WEST, LLC

September 05, 2012

Ms. Kristal Metro, P.E.
Development and Building Services
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

**RE: AA SITE PLAN FOR BUILDING PERMIT
CERTIFICATION FOR PERMANENT CERTIFICATE OF OCCUPANCY
ROCKY MOUNTAIN RV AND MARINE, 12700 CENTRAL AVENUE, SE**

Dear Ms. Metro:

I, Ronald R. Bohannon, NMPE # 7868, of the firm Tierra West LLC, hereby request approval of the AA Site Plan for Building Permit for issuance of the Permanent Certificate of Occupancy for the project referenced above. This project is in substantial compliance as inspected on September 06, 2012, and is in accordance with the design intent of the Approved Administrative Amended Site Plan for Building Permit dated 5/22/12. This certification is submitted in support of the request for Permanent Certificate of Occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Enclosed, please find the information sheet and the as-built Approved Administrative Amended Site Plan for Building Permit. Therefore, we request approval of the as-built Approved Administrative Amended Site Plan for Building Permit for a Permanent Certificate of Occupancy

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,

Ronald R. Bohannon, P.E.

Enclosure/s

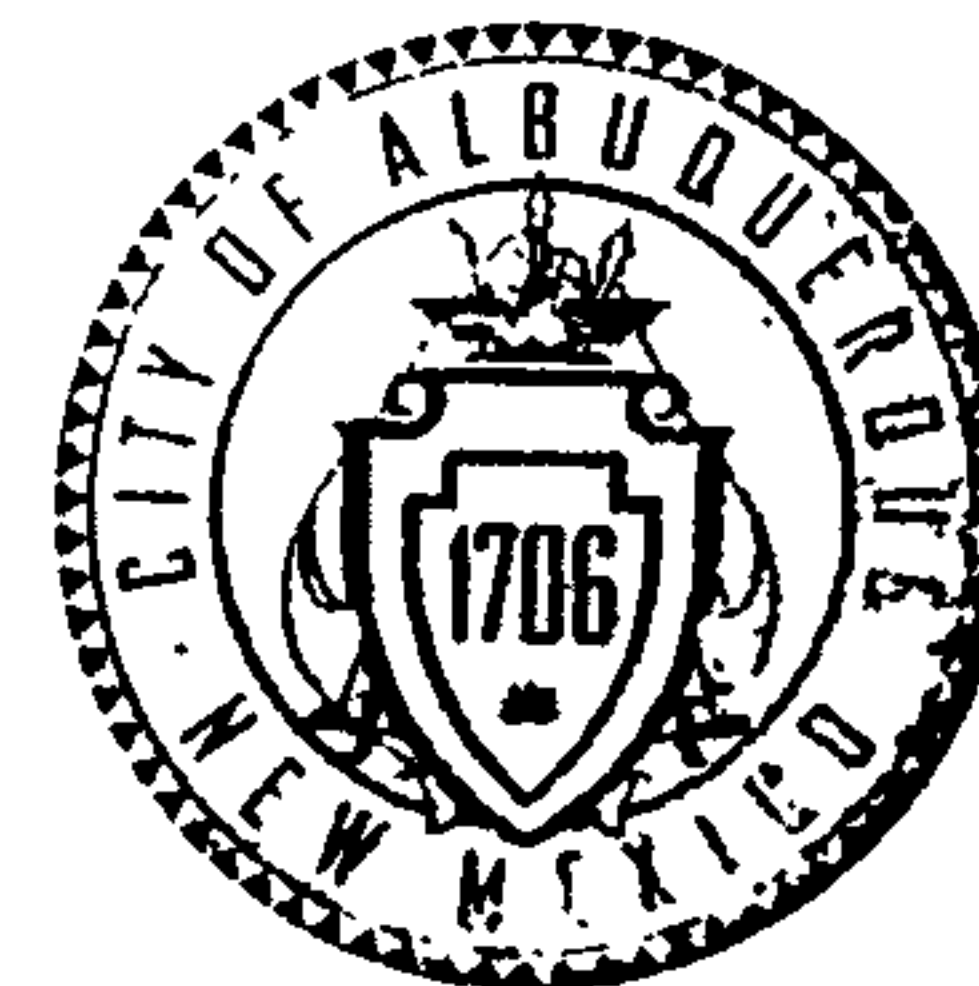
JN: 2011059
RRB/BF/cia

Z:\2011\2011059 - Rocky Mountain RV and Marine\Correspondence\2011059 Kristal Metro Perm CO Letter 9-05-12.doc

RECEIVED
AUG 6 - 2012

5571 Midway Park Place NE
Albuquerque, NM 87109
(505) 858-3100
Fax (505) 858-1118
1-800-245-3102
tierrawestllc.com

CITY OF ALBUQUERQUE



June 2, 2008

Ronald Ray Bohannon, P.E.
Tierra West, LLC.
5571 Midway Park Place N.E.
Albuquerque, NM 87109

Re: Rocky Mountain RV, 12700 Central Ave. SE, (L-22/D035B)
Approval of Permanent Certificate of Occupancy,
Engineer's Stamp Date 10/02/2007
Certification dates: 6-02-08

Mr. Bohannon,

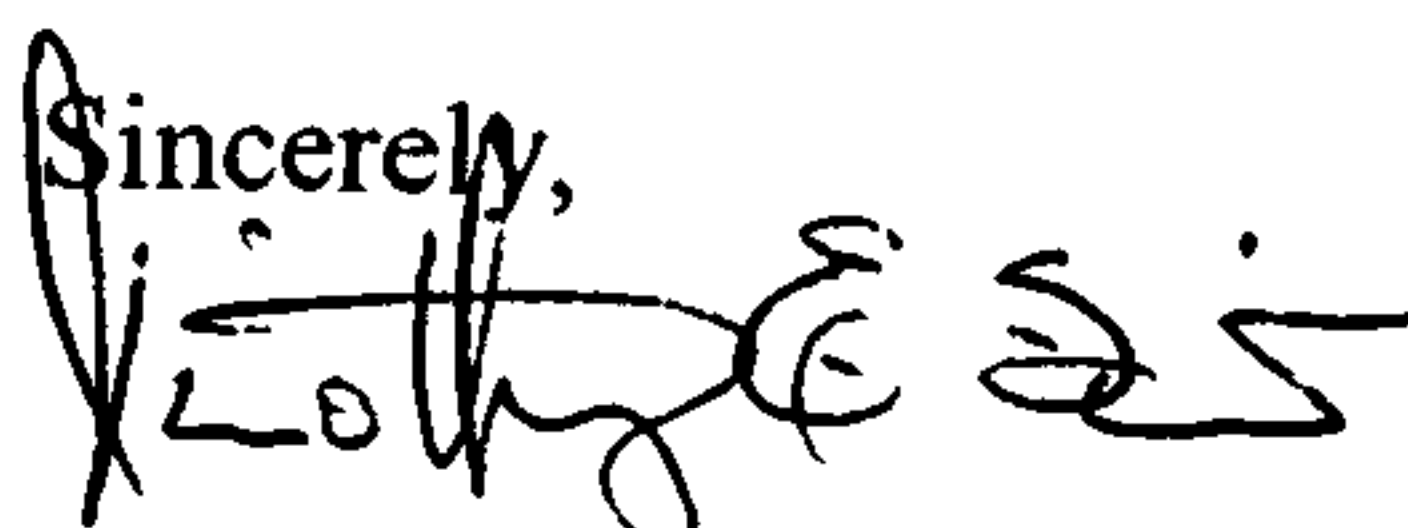
PO Box 1293

Based upon the information provided in your submittal received 6/02/08, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

Albuquerque

If you have any questions, you can contact me at 924-3982.

NM 87103

Sincerely,


Timothy Sims
Plan Checker-Hydrology, Planning Dept
Development and Building Services

www.cabq.gov

C: CO Clerk—Katrina Sigala
file

DRAINAGE AND TRANSPORTATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: Rocky Mountain RV
DRB #: _____ EPC #: _____

ZONE MAP/DRG. FILE # L-22 1D035B
WORK ORDER #: _____

LEGAL DESCRIPTION Tract B-1-A-1-B Dorado Village
CITY ADDRESS: 12700 Central Avenue SE

ENGINEERING FIRM: Tierra West, LLC
ADDRESS: 5571 Midway Park Place NW
CITY, STATE: Albuquerque, NM

CONTACT: Ronald R. Bohannon / Jessica Hunter
PHONE: (505) 858-3100
ZIP CODE: 87109

OWNER: Rocky Mountain RV
ADDRESS: 12700 Central Avenue SE
CITY, STATE: Albuquerque, NM

CONTACT: Terry Roberts
PHONE: (505) 292-7800
ZIP CODE: 87123

ARCHITECT: N/A
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

SURVEYOR: Forstbauer Surveying
ADDRESS: 4116 Lomas Blvd.
CITY, STATE: Albuquerque, NM

CONTACT: Ronald Forstbauer
PHONE: 268-2112
ZIP CODE: _____

CONTRACTOR: Shiver Construction, Inc.
ADDRESS: 1412 Broadway Boulevard SE
CITY, STATE: Albuquerque, NM

CONTACT: Bruce Ross
PHONE: (505) 344-3461
ZIP CODE: 87102

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

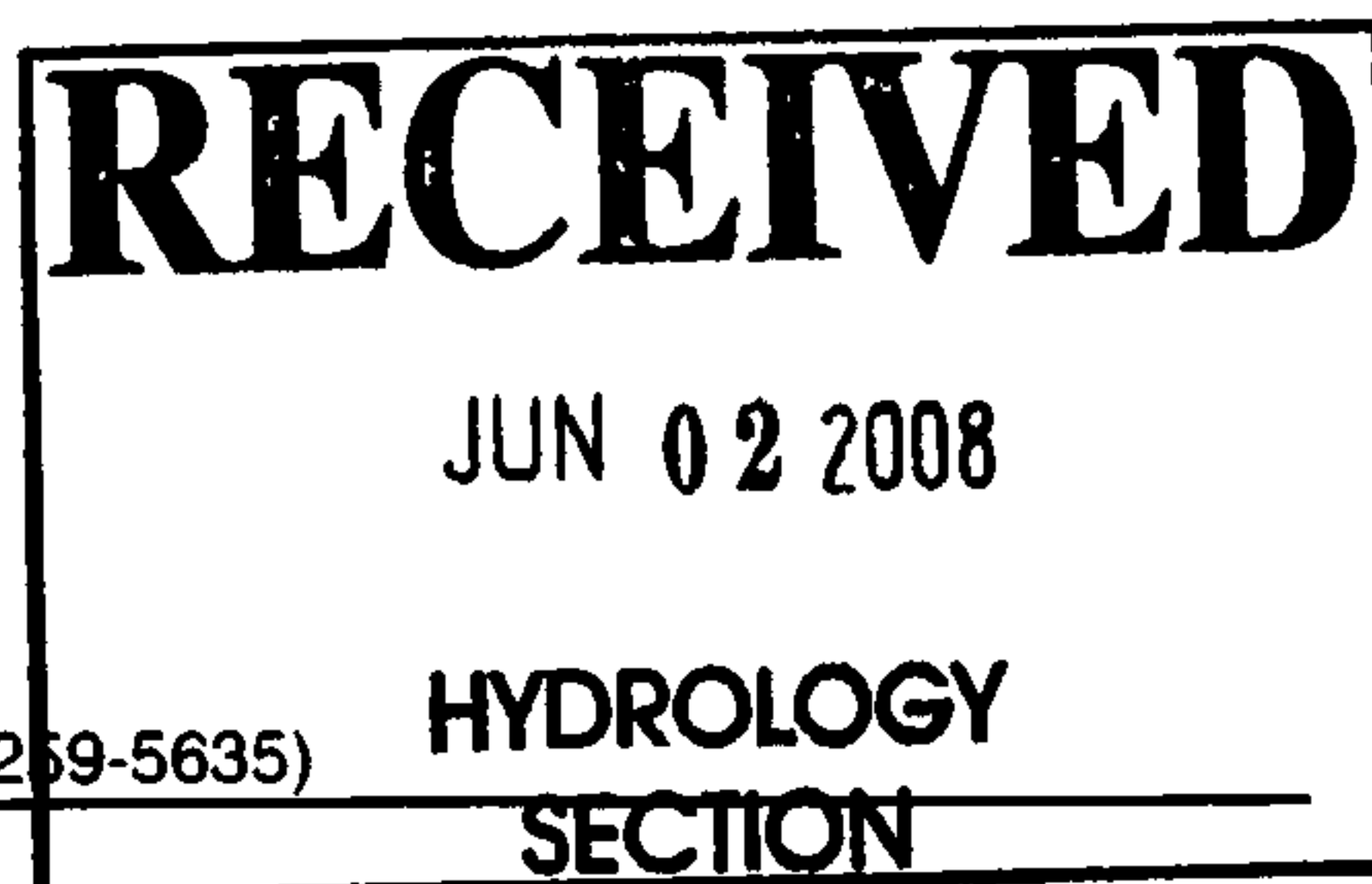
- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ SO-19

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: June 2, 2008

BY: Ron Wright (259-5635)



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plans:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

June 20, 2008

Kent Trauernicht, Registered Architect
AKT Architects, LLC
PO BOX 3366
Albuquerque, NM 87190

Re: Certification Submittal for Final Building Certificate of Occupancy for
Rocky Mountain RV & Marine Addition, [L-22 / D035B]
12700 Central Ave. SE
Architect's Stamp Dated 06/01/08

P.O. Box 1293

Dear Mr. Trauernicht:

Albuquerque

The TCL / Letter of Certification submitted on June 20, 2008 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

New Mexico 87103

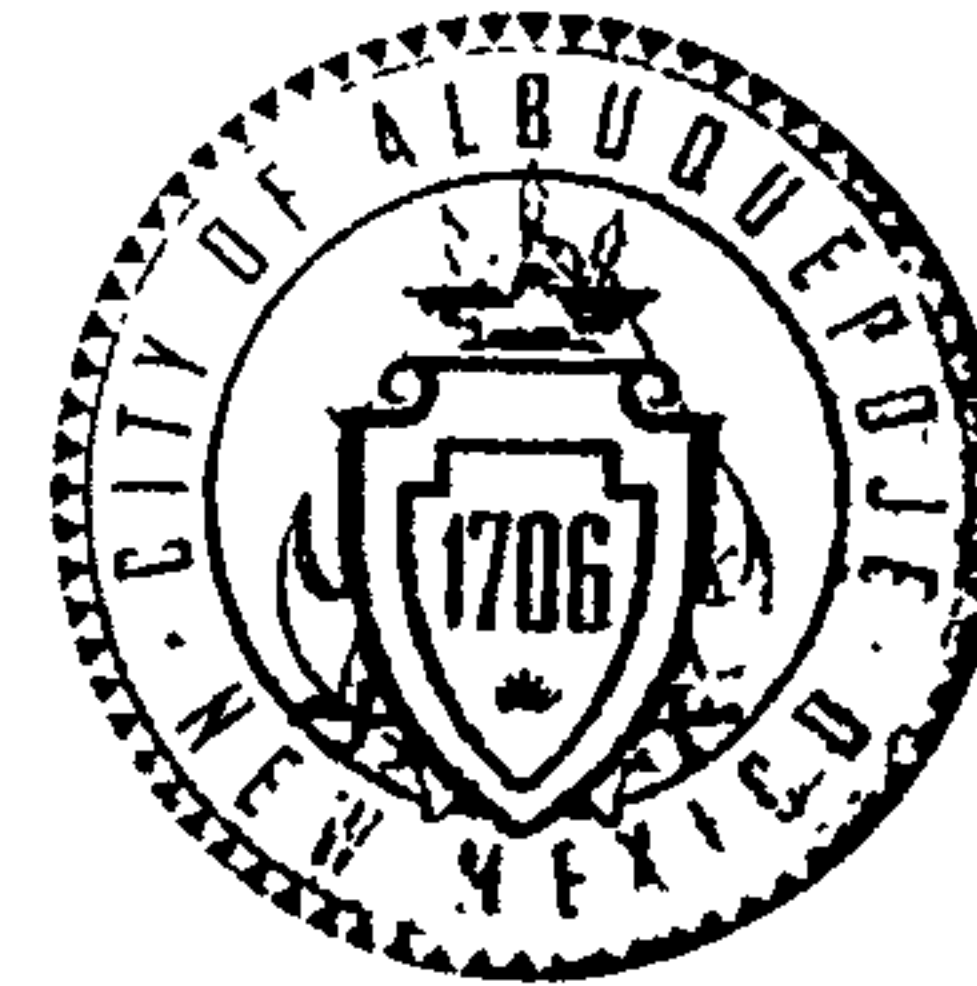
Sincerely,

www.cabq.gov


Milo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

June 18, 2008

Kent Trauernicht, Registered Architect,
AKT Architects, LLC
PO BOX 3366
Albuquerque, NM 87190

Re: Approval of Temporary Certificate of Occupancy (C.O.) for
Rocky Mountain RV & Marine Addition, [L-22 / D035B]
12700 Central Ave. SE
Architect's Stamp Dated 06/01/08

Dear Mr. Trauernicht:

Based on the information provided on your submittal dated June 17, 2008, the above referenced project is approved for a 90-day Temporary C.O.

A Temporary C.O. has been issued allowing the outstanding Site Plans (need to provide original DRB Site plan and the Administrated Amended Site that constructed addition) issues to be completed within this time period. When these remaining issues have been fully completed, are in substantial compliance, and a final Certification for Transportation has been resubmitted to the City's Hydrology office for approval, a Permanent C.O. will be issued.

The Certification package for Final C.O. must include an **exact** copy of the approved TCL, or signed off D.R.B. Site Plan, which is in each of the two City Permit Plan Sets—the contractor's City field set and the City's plan set in the basement of the Plaza Del Sol building. Package also must include a letter of certification on designer's letterhead-stamped with his seal, signed, and dated. Submit package along with fully completed Drainage Information Sheet to front counter personnel for log in and evaluation by Transportation.

If you have any questions, please call me at 924-3630.

Sincerely,


Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 12/2005)

PROJECT TITLE: Rocky Mountain RV - Addition ZONE MAP: L-22/d035B
DRB#: 006828 EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Tract B-1-A-1-B-1, Dorado Village
CITY ADDRESS: 12700 CENTRAL AVE SE, Alb., NM 87123

ENGINEERING FIRM: TIERRA WEST CONTACT: Ron
ADDRESS: 5571 MIDWAY PARK PLACE PHONE: 858-3100
CITY, STATE: Alb., NM 87109 ZIP CODE: 87109

OWNER: Rocky Mountain RV's, MARIE CONTACT: Rick Scholl
ADDRESS: 12700 CENTRAL AVE SE PHONE: 292-7800
CITY, STATE: Alb., NM ZIP CODE: 87123

ARCHITECT: KENT TRAERNICHT CONTACT: Rick
ADDRESS: 408 BROADWAY BLVD. SE PHONE: 344-3461
CITY, STATE: Alb., NM ZIP CODE: 87102

SURVEYOR: TIERRA WEST CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: SHIVER Construction CONTACT: Rick
ADDRESS: 408 BROADWAY BLVD SE PHONE: 344-3461
CITY, STATE: Alb., NM ZIP CODE: 87102

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) _____

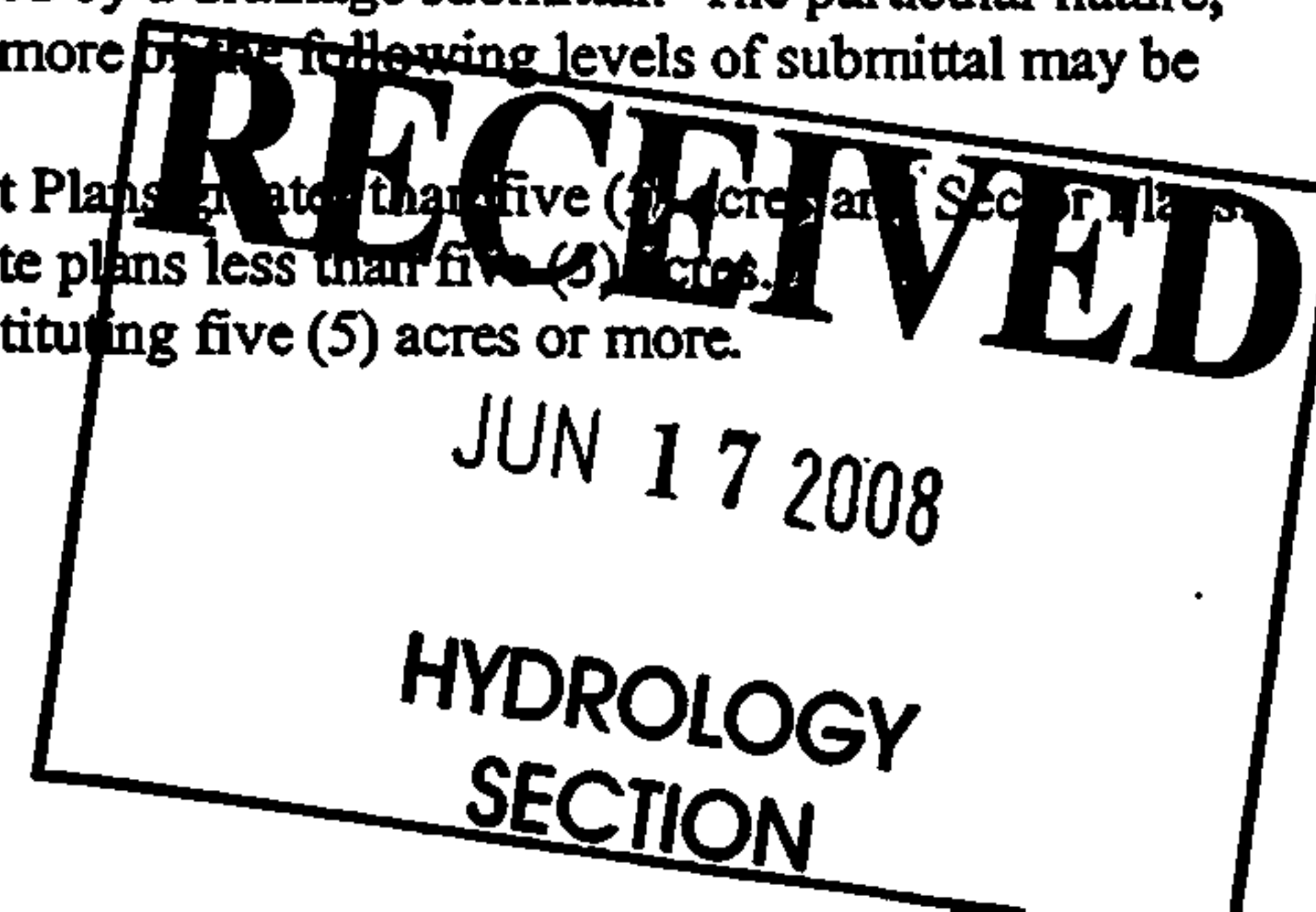
WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☒ NO
☐ COPY PROVIDED

DATE SUBMITTED: 6-17-08 BY: Rick B28 (SHIVER)

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.





P. O. B O X 3 3 6 6
ALBUQUERQUE, NM 87190
T: (505) 281 - 9560
F: (505) 286 - 1055
C: (505) 259 - 7919
aktarch@earthlink.net

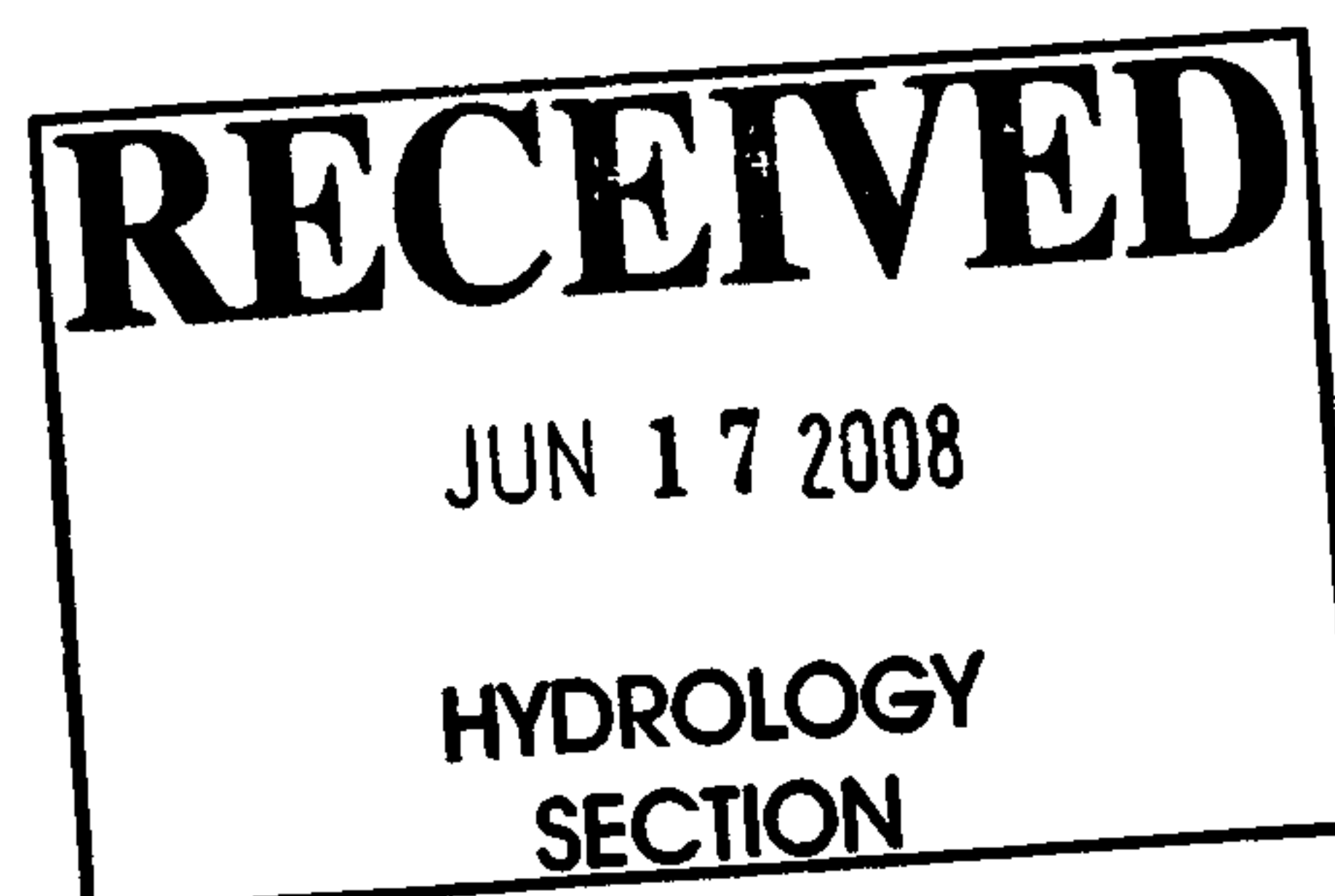
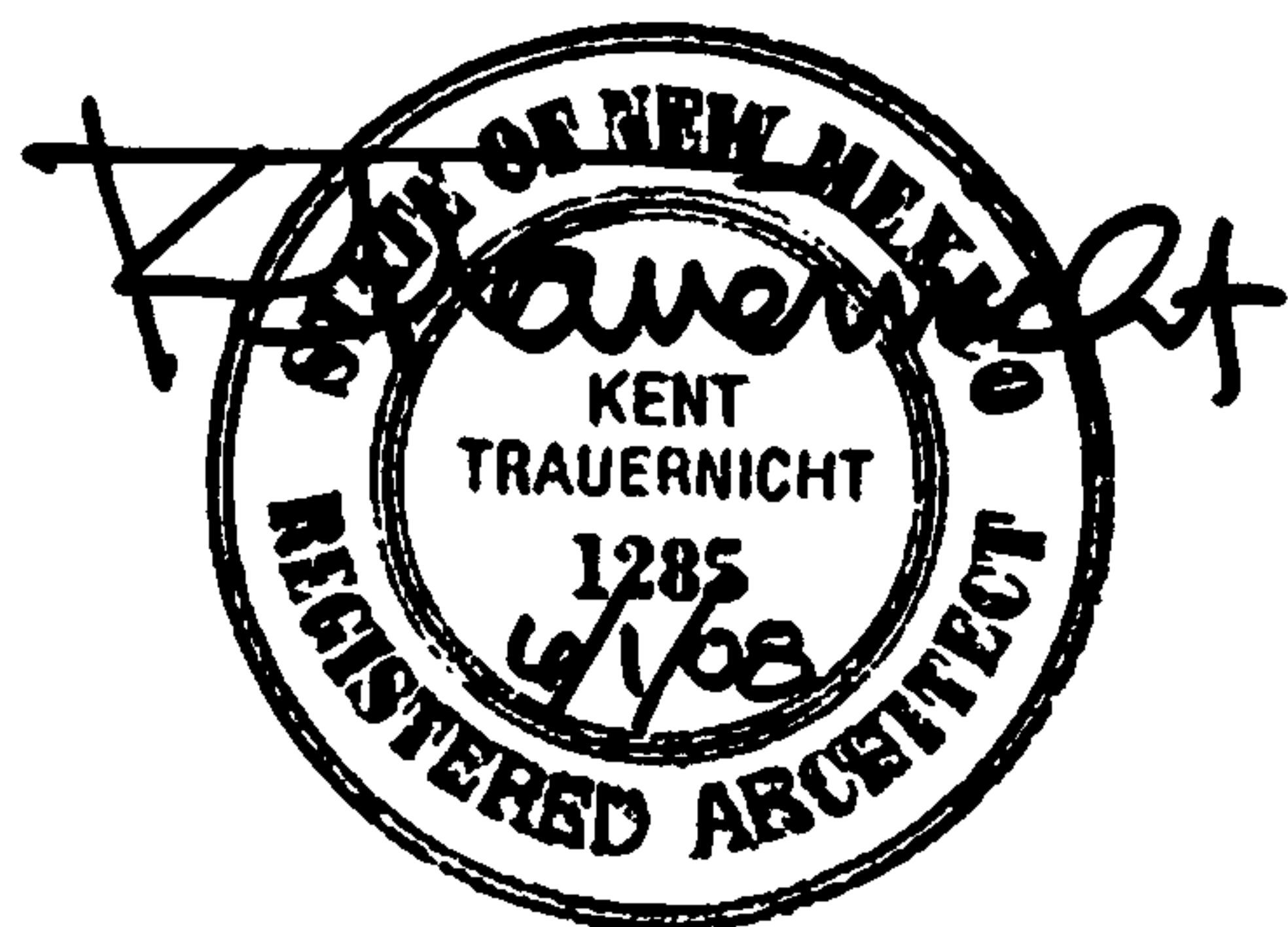
June 1, 2008

City of Albuquerque
Public Works Department
Transportation Development Services
600 2nd Street NW
Albuquerque, NM 87102

RE: Traffic Circulation Layout – Certification
COA BP# 0713368
Rocky Mountain RV & Marine Addition
12700 Central Ave SE
Albuquerque, NM 87123

I have visited the completed project and to the best of my knowledge and information it appears to be in substantial compliance with the intent of the design concepts and the "Traffic Circulation Layout", as approved by the City. Minor site changes may have occurred during the construction of this project but have no adverse impact to the site and its ability to comply with the approved plan. Those relying upon this record are advised to obtain independent verification of its accuracy before using it for any other purpose.

This document neither expresses nor implies a warranty.



SHIVER CONSTRUCTION COMPANY

408 Broadway Blvd SE
Albuquerque, New Mexico 87102
505-344-3461 Fax 505-764-8198
WWW.SHIVERCONSTRUCTIONCOMPANY.COM

***** ELECTRONIC TRANSMITTAL *****

June 20, 2008

To: **Nilo Fernandez**
City of Albuquerque
Transportation Development Section

From: **Rich**

Transmitted as attachment(s):

FOR TCL SUBMITTAL – FINAL C.O.

Original DRB Approved Site Plan
12700 Central Ave SE

Nilo,

Thanks for your time and attention to this matter.

Please, do not hesitate to call me with any questions. 344-3461

Thanks,



Richard Bills
Shiver Construction

* Nilo - please fax us a copy of the final approval.

CITY OF ALBUQUERQUE



October 4, 2007

Ronald Ray Bohannon, P.E.
Tierra West, LLC
5571 Midway Park Place NE
Albuquerque, NM 87109

**Re: Rocky Mountain R.V.- Marine Facility Grading and Drainage Plan
Engineer's Stamp dated 10-2-07 (L22/D035B)**

Dear Mr. Bohannon,

Based upon the information provided in your submittal received 10-3-07, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

P.O. Box 1293

Also, prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

Albuquerque

If you have any questions, you can contact me at 924-3695.

New Mexico 87103

Sincerely,

Curtis A. Cherne, P.E.
Engineering Associate, Planning Dept.
Development and Building Services

www.cabq.gov

C: file



CITY OF ALBUQUERQUE



August 31, 2007

Ronald Ray Bohannon, P.E.
Tierra West, LLC
5571 Midway Park Place NE
Albuquerque, NM 87109

Re: Rocky Mountain RV Grading and Drainage Plan
Engineer's Stamp dated 8-28-07 (L22/D035B)

Dear Mr. Bohannon,

Based upon the information provided in your submittal received 8-29-07, the above referenced plan is approved for Grading Permit and Paving Permit.

When submitting for Building Permit please provide the following information:

- A project narrative
- Drainage calculations
- New water surface elevation for Pond 1

If you have any questions, you can contact me at 924-3695.

Sincerely,

Curtis A. Cherne, P.E.
Engineering Associate, Planning Dept.
Development and Building Services

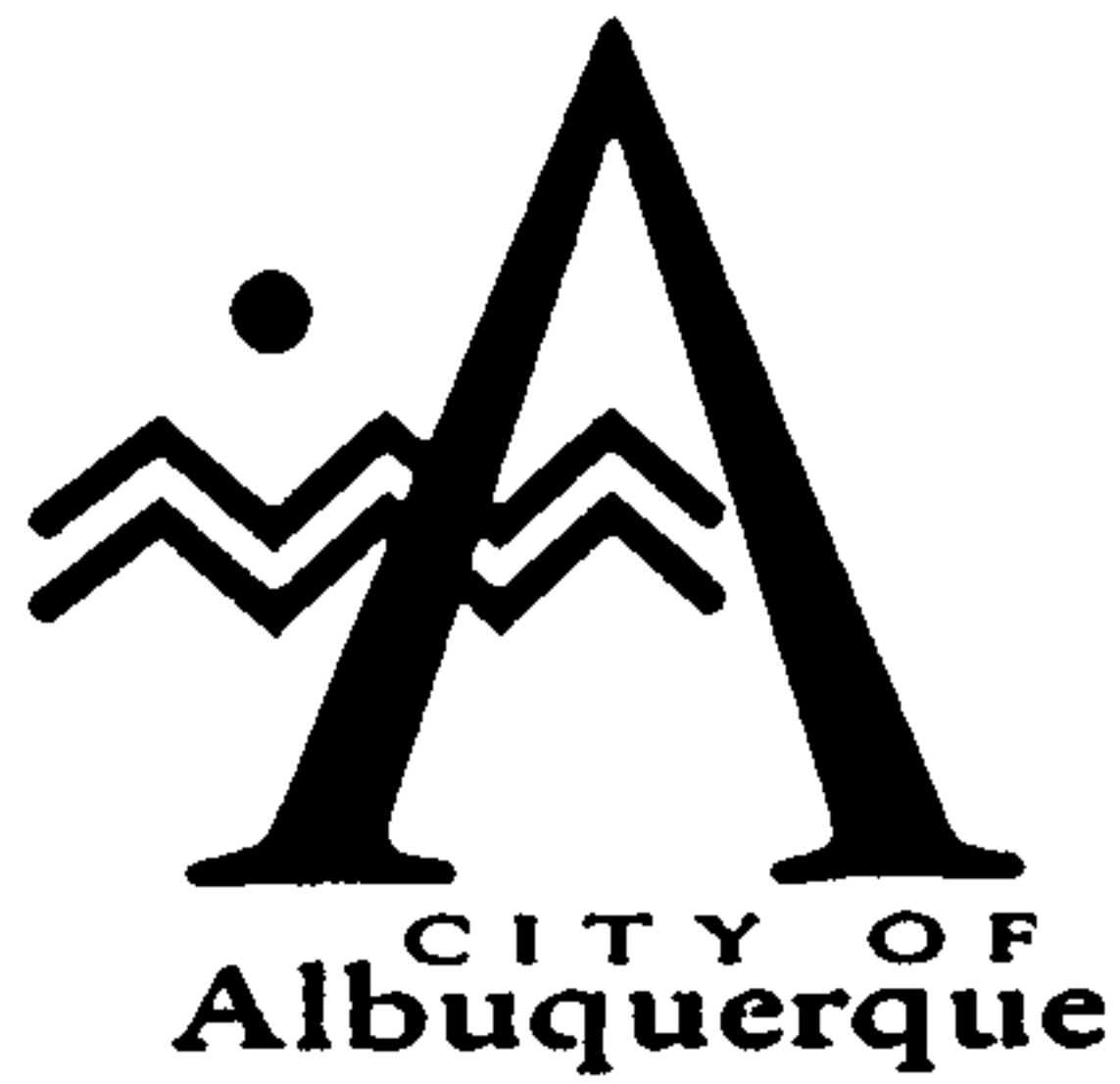
C: file

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov



February 26, 1998

Ronald Bohannon, P.E.
Tierra West, LLC
4421 McLeod NE
Albuquerque, NM 87109

**RE: *ROCKY MOUNTAIN RV MARINE FACILITY (L22-D35B). ENGINEER'S
CERTIFICATION DATED FEBRUARY 12, 1998.***

Dear Mr. Bohannon:

Based on the information provided on your February 10, 1998 submittal, the above referenced project is approved for Certificate of Occupancy.

If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,

Lisa Ann Manwill, P.E.
Hydrology

c: Andrew Garcia

File

Good for You, Albuquerque!



Rocky Mountain Marine and RV, copy of the green tag for the storm sewer work in the Public Right of Way. SO-19 Permit # 2001845.

SO-19

PUBLIC WORKS DEPARTMENT
SIDEWALK & DRIVEPAD INSPECTION

APPROVED

Inspector *[Signature]*

Permits Dispatch Insp. Office

Phone: 768-2551 857-8025 857-8036

Date 2-11-98 Permit No. 2001845

Contractor Rocky Mountain Marine and RV

Location 12700 Central

Time 9:30 AM



Tierra West, LLC

February 10, 1998

Mrs. Lisa Manwill
Albuquerque Public Works Dept.
P.O. Box 1293
Albuquerque, New Mexico 87103

Re: Certification of Occupancy and Certification of Drainage
Lot B-1-A-1-B, Dorado Village Subdivision
Rocky Mountain R.V. and Marine Facility, 11109 Central Avenue, NE
Albuquerque New Mexico 87123

Dear Lisa:

Enclosed please find one copy of the as-built Grading and Drainage Plan for Lot B-1-A-1-B, Dorado Village Subdivision and a copy of the SO- 19 green tag for the storm sewer work in the Public Right of Way. Banes Southwest is the prime contractor on the project and has completed the storm sewer, paving and site landscaping improvements. Also, all work completed has been constructed in substantial compliance with the approved plan. As-built grades have been provided by Ronald Forstbauer, a registered land surveyor. We are therefore certifying the site for drainage as required for Certificate of Occupancy.

Should you have any questions, please do not hesitate to contact our office.

Sincerely,

Ronald R. Bohannon, P.E.

Enclosure

cc: Judy Roberts
Banes Southwest
JN: 940012
RRB/rw

DRAINAGE INFORMATION SHEET

PROJECT TITLE: Rocky Mountain R.V. Marine Facility ZONE ATLAS/DRNG. FILE #: L-22-Z 1035 B

DRB #: 94-509 EPC #: Z-94-22 WORK ORDER #: N/A

LEGAL DESCRIPTION: Lot B-1-A-1-B, Dorado Village Subdivision

CITY ADDRESS: ~~12700 Central Ave, NE~~ NE Albuquerque, New Mexico 87123 12700 Central Ave, N.E.

ENGINEERING FIRM: TIERRA WEST, LLC CONTACT: RONALD R. BOHANNAN

ADDRESS: 4421 McCleod Rd. NE Suite D, 87109 PHONE: (505) 883-7592

OWNER: Rocky Mountain R.V. CONTACT: Judy Roberts

ADDRESS: 11109 Central Avenue, NE PHONE: (505) 292-7800

ARCHITECT: Kent Trauernicht CONTACT: Kent Trauernicht

ADDRESS: 100 Iron SE 87102 PHONE: (505) 344-3461

SURVEYOR: Forstbauer Surveying Co. CONTACT: Ronald Forstbaur

ADDRESS: 1100 Alvarado Dr. NE 87110 PHONE: (505) 268-2112

CONTRACTOR: Banes Corporation CONTACT: Bruce Ross

ADDRESS: 100 Iron SE 87102 PHONE: (505) 344-3461

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT

☒ DRAINAGE PLAN (as-built)

☐ CONCEPTUAL GRADING & DRAINAGE PLAN

☒ GRADING PLAN (as-built)

☐ EROSION CONTROL PLAN

☒ ENGINEER'S CERTIFICATION

☐ OTHER

PRE-DESIGN MEETING:

☐ YES

☒ NO

☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAN APPROVAL

☐ PRELIMINARY PLAT APPROVAL

☐ S. DEV. PLAN FOR SUB'D. APPROVAL

☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL

☐ SECTOR PLAN APPROVAL

☐ FINAL PLAT APPROVAL

☐ FOUNDATION PERMIT APPROVAL

☐ BUILDING PERMIT APPROVAL

☒ CERTIFICATE OF OCCUPANCY APPROVAL

☐ GRADING PERMIT APPROVAL

☐ PAVING PERMIT APPROVAL

☐ S. A. D. DRAINAGE REPORT

☐ DRAINAGE REQUIREMENTS

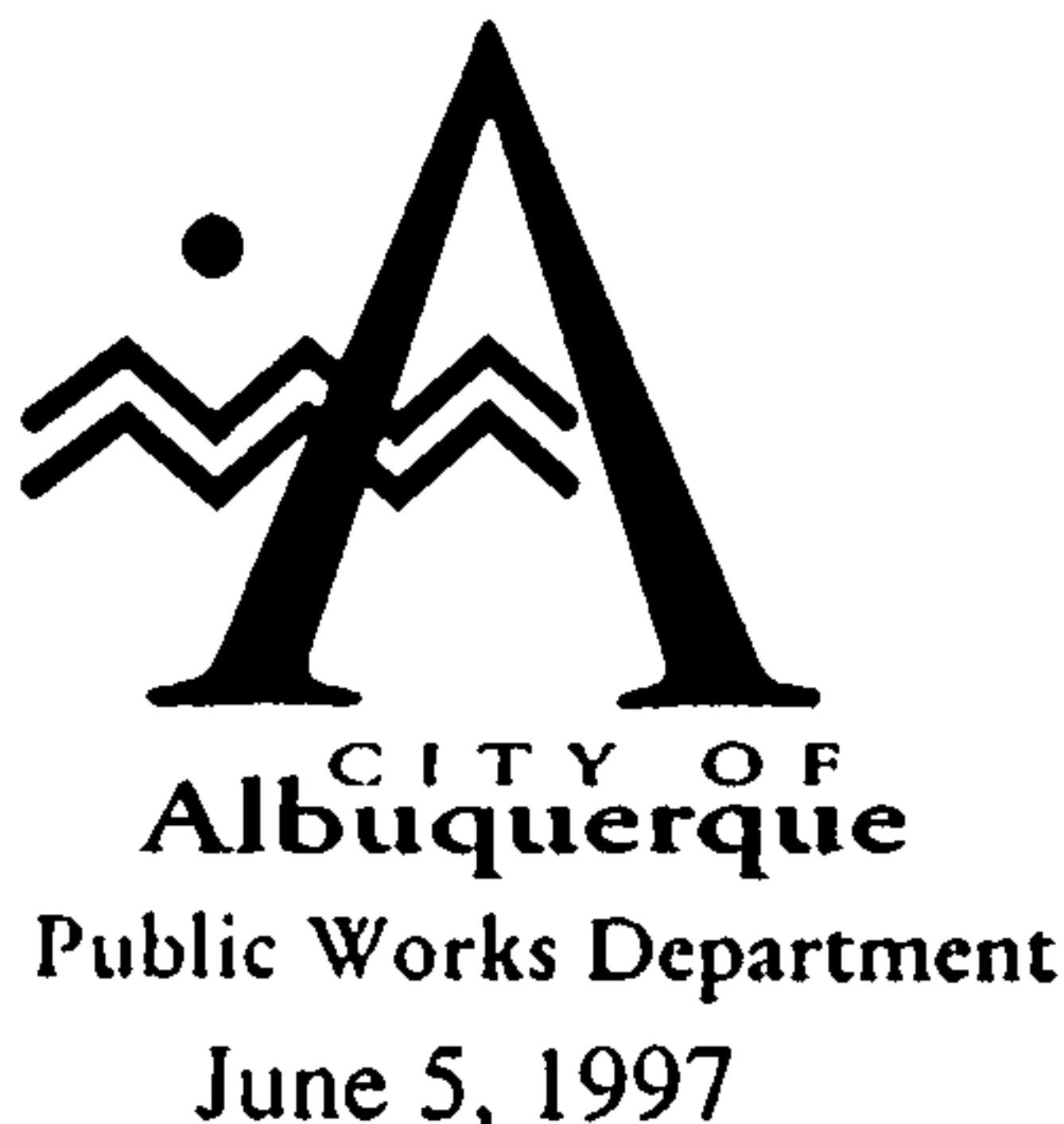
☐ OTHER

30 day Temp C.O. issued on 2-12-98

DATE SUBMITTED: February 10, 1998

BY: Ronald R Bohannon, P.E.

Ag



Martin J. Chávez, Mayor

Robert E. Gurulé, Director

Sara McCollam
Tierra West Development
4421 McLeod Rd. NE Suite D
Albuquerque, New Mexico 87109

RE: Drainage Plan for Rocky Mountain R.V. (L22-D35B) Received June 5, 1997

Dear Ms. McCollam:

The above referenced plan stamp dated June 5, 1997 is approve for the following:


1. The plan is approved for Building Permit.
2. Approval of the drainage plan allows the approval of the Site Development Plan from the drainage criteria. The drainage plan and the Site Plan should match for approval.
3. Approval of the Drainage Facilities Within City Right-Of-Way (SO #19) for the back of curb pipe connection.

A separate permit is required for construction within City Right-of Way. A copy of this approval letter must be on hand when applying for the excavation permit.

Prior to Certificate of Occupancy release the Engineer will need to certify the project per the DPM.

If you have any questions please call at 924-3984.

Sincerely,


Carlos A. Montoya
Project Manager

c: Andrew Garcia
File

Good for You, Albuquerque!

P.O. Box 1293, Albuquerque, New Mexico 87103



DRAINAGE INFORMATION SHEET

PROJECT TITLE: ROCKY MOUNTAIN R.V. ZONE ATLAS/DRNG. FILE #: L-22

DRB #: 94-509 EPC #: Z-94-92 WORK ORDER #: _____

LEGAL DESCRIPTION: TRACT B1A1B DORADO VILLAGE

CITY ADDRESS: 12700 CENTRAL AVENUE, N.E.

ENGINEERING FIRM: TIERRA WEST DEV. MAGT. SER. CONTACT: RONALD R. BOHANNAN

ADDRESS: 4421 McCLEOD NE SUITE #D, 87109 PHONE: (505) 883-7592

OWNER: ROCKY MOUNTAIN R.V. CONTACT: JUDY ROBERTS

ADDRESS: 11109 CENTRAL, NW, 87123 PHONE: (505) 292-7800

ARCHITECT: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

SURVEYOR: PRECISION SURVEYING CONTACT: LARRY MADRANO

ADDRESS: 2929 COORS BLVD. NW SUITE 105, ALBUQ. NM 87120 PHONE: (505) 839-0569

CONTRACTOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

☒ DRAINAGE REPORT

☐ DRAINAGE PLAN

☐ CONCEPTUAL GRADING & DRAINAGE PLAN

☒ GRADING PLAN

☐ EROSION CONTROL PLAN

☐ ENGINEER'S CERTIFICATION

☐ OTHER

PRE-DESIGN MEETING:

☐ YES

☒ NO

☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAN APPROVAL

☐ PRELIMINARY PLAT APPROVAL

☒ S. DEV. PLAN FOR SUB'D. APPROVAL

☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL

☐ SECTOR PLAN APPROVAL

☐ FINAL PLAT APPROVAL

☐ FOUNDATION PERMIT APPROVAL

☒ BUILDING PERMIT APPROVAL

☐ CERTIFICATE OF OCCUPANCY APPROVAL

☒ GRADING PERMIT APPROVAL

☐ PAVING PERMIT APPROVAL

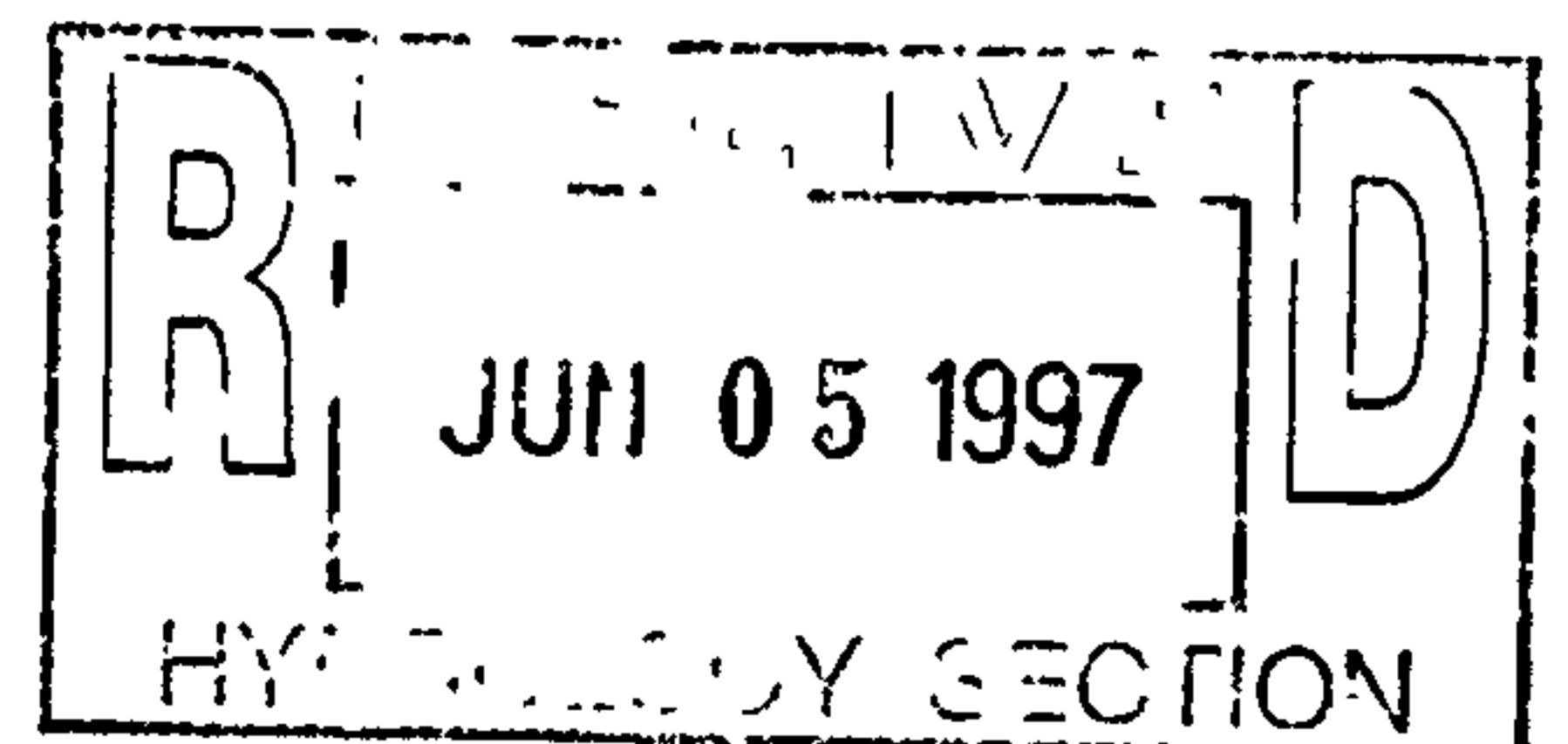
☐ S. A. D. DRAINAGE REPORT

☐ DRAINAGE REQUIREMENTS

☐ OTHER _____ (SPECIFY)

DATE SUBMITTED: 6/05/97

BY: SARA McCOLLAM



CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

June 5, 1997

INTER-OFFICE CORRESPONDENCE

HYDROLOGY DIVISION

TO: Desiderio Salas, Street Maintenance Division

FROM: Carlos A. Montoya, Project Manager, PWD *✓ pm*

SUBJECT: **PRIVATE DRAINAGE FACILITIES WITHIN PUBLIC
RIGHTS-OF-WAY/EASEMENT**

_____(L22-35B)_____

Transmitted herewith, is a copy of the approved drainage plan for the referenced project incorporating the S.O. #19 design.

In accordance with the new process, this plan is being submitted to you for permitting and inspection. Please provide this section with a signed-off copy per the signature block upon construction and acceptance by your office.

As you are aware, the signed-off S.O. #19 is required by this office for Certificate of Occupancy release; hence your expeditious processing of this plan would be greatly appreciated and would avoid any unnecessary delay in the release of the Certificate of Occupancy.

Thank you for your cooperation and if you should have any questions and/or comments regarding the process, please feel free to call me at 924-3984.

Attachment



**Tierra West Development
Management Services**

June 3, 1997

Mr. Carlos Montoya
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

Re: Rocky Mountain RV (L22-D35)

Dear Mr. Montoya:

We are addressing your comments regarding the Grading and Drainage Plan for the Rocky Mountain RV site.

1. The existing street grades on Central Avenue, Whispering Sands Drive, and Western Skies have been added to the grading plan.
2. The right-of-way dedication on Central Avenue will not effect any grades at the property line.
3. No runoff enters the site through the entrance on Central Avenue. The grades show an existing water block at the entrance.
4. All the storm drains will be constructed with the first phase of construction.
5. The entrance near Basin 3 has not been constructed. When Phase II is built the entrance will be graded to provide a water block. A new submittal with Phase II will be required.
6. There are no offsite flows entering the site. Western Skies, Central and Whispering Sands are all existing streets with curb and gutter.

If you have any questions regarding this matter, please do not hesitate to call me.

Sincerely,

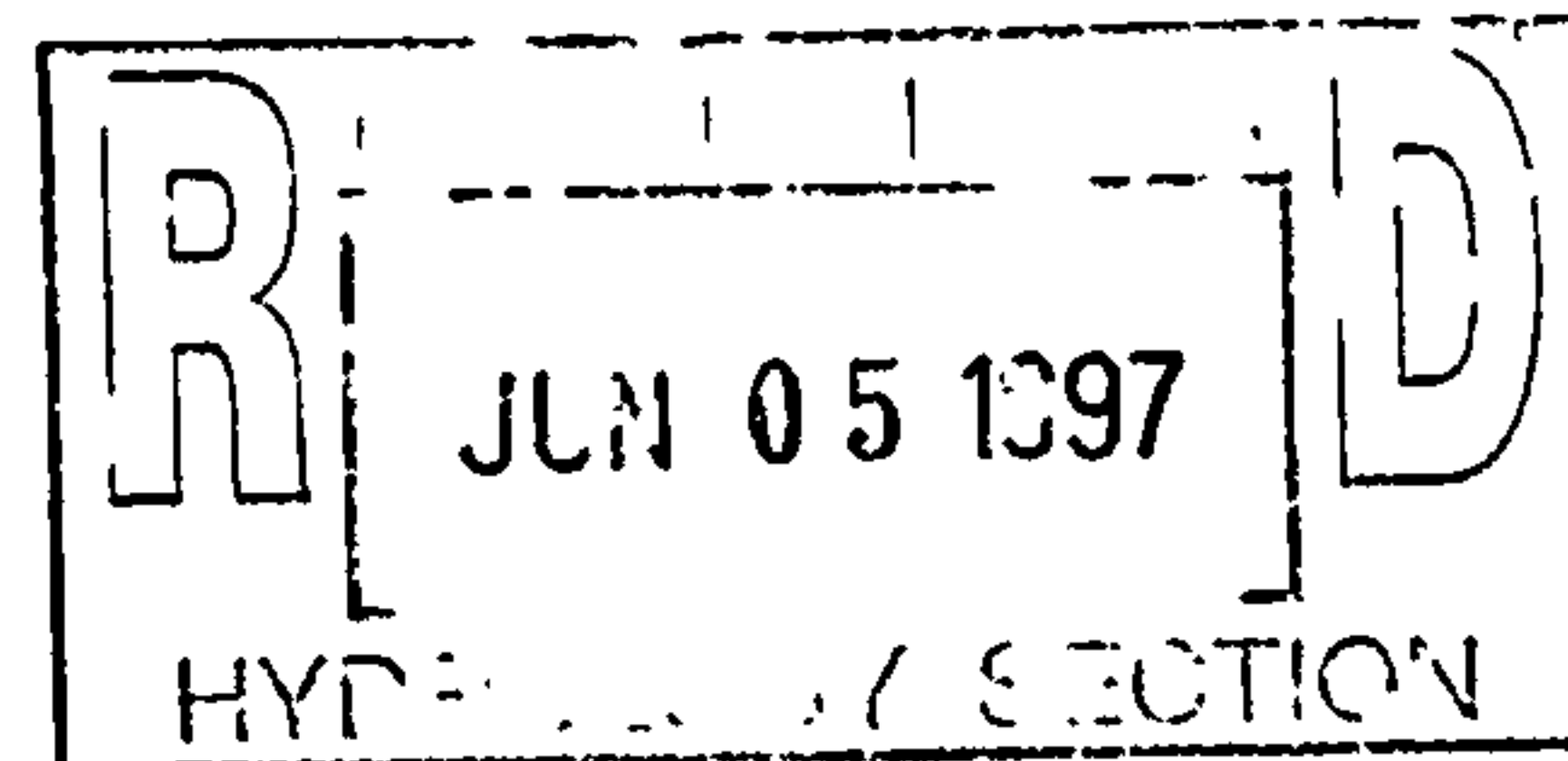
Sara McCollam

Enclosures

cc: Judy Roberts
Bruce Ross

JN: 940012

scm



940012: resubmt2.ltr



CITY OF
Albuquerque

Public Works Department
May 28, 1997

Martin J. Chávez, Mayor

Robert E. Gurulé, Director

Sara McCollam
Tierra West Development
4421 McLeod Rd. NE Suite D
Albuquerque, New Mexico 87109

RE: Drainage Plan for Rocky Mountain R.V. (L22-D35) Received April 25, 1997

Dear Ms. McCollam:

I have reviewed the referenced report and forward the following comments.

1. Please show existing street grades on Central Avenue, Whispering Sands Drive, and Western Skies.
2. How will the 12 foot Central widening effect the grades at the property line?
3. Does public runoff enter the property through the entrance on Central Avenue? Public water needs a public easement. Is there an inlet in this entrance?
4. Will all the storm drains be constructed in the first phase?
5. Is there a one foot water block in basin 3 entrance?
6. Are there any off site flows?

If you have any questions please call me at 924-3984.

Sincerely,

Carlos A. Montoya
Project Manager

c: Andrew Garcia

Good for You, Albuquerque!

P.O. Box 1293, Albuquerque, New Mexico 87103





**Tierra West Development
Management Services**

September 16, 1996

Ms. Lisa Manwill
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

Re: Rocky Mountain R.V. (L22-D35)

Dear Ms. Manwill:

We are addressing your comments regarding the Grading and Drainage Plan for the Rocky Mountain R.V. site.

1. The SO #19 notes and sign-off block has been added to the plan. We have also provided two copies of the latest grading plan for your review and approval.
2. The line type has been changed on the distance and bearing line. It no longer resembles the storm drain lines.
3. The pipe tying into the back of the existing inlet on Western Skies has been changed to a 12" RCP per your suggestion.
4. You also suggested we could reduce the three sidewalk culverts to two culverts. We have decided to keep the three culverts for a more conservative design.

If you have any questions regarding this matter, please do not hesitate to call me.

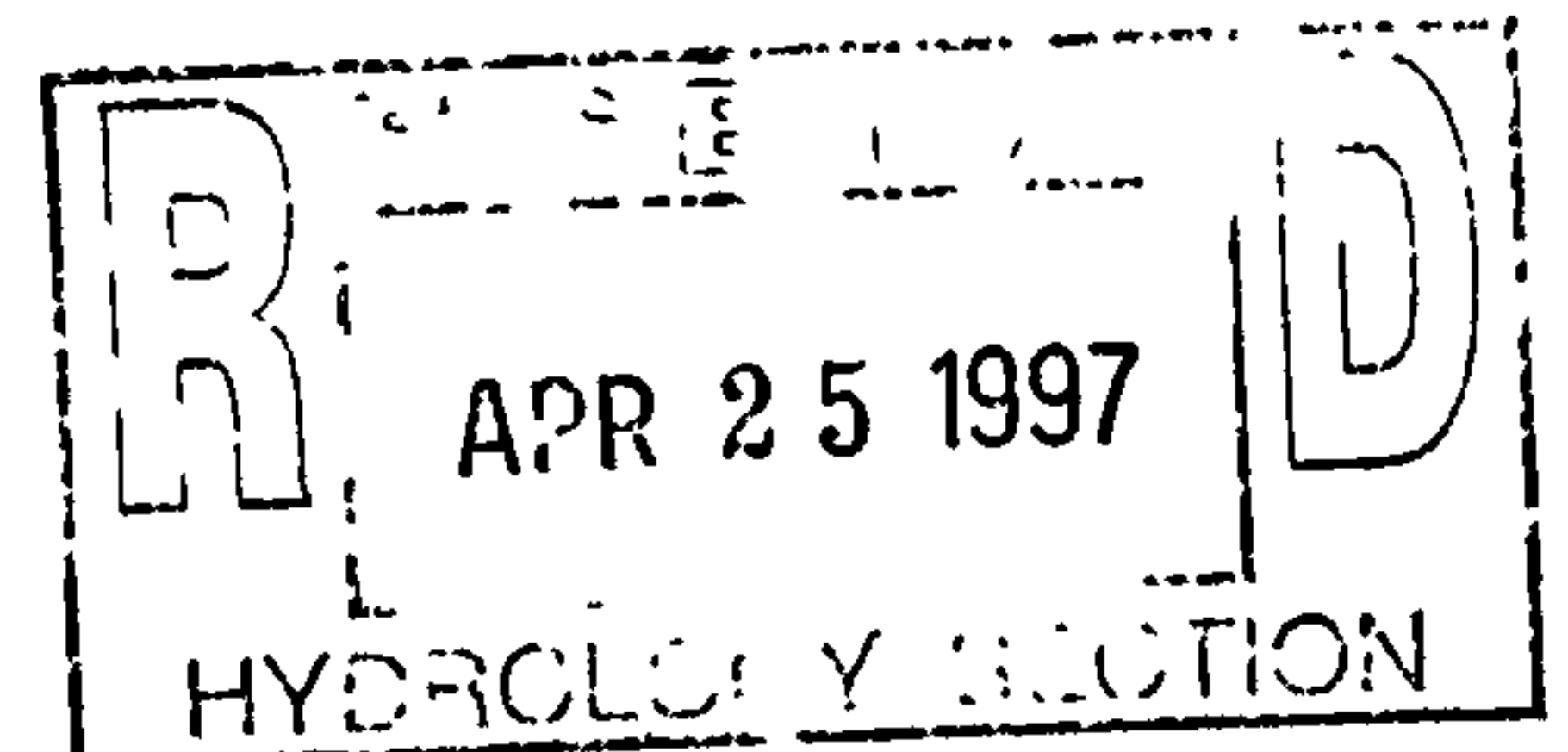
Sincerely,


Sara McCollam

Enclosures

cc:

JN: 940012
scm



940012: resubmit1.ltr

DRAINAGE INFORMATION SHEET

PROJECT TITLE: ROCKY MOUNTAIN R.V. ZONE ATLAS/DRNG. FILE #: L-22/D35B

DRB #: 94-509 EPC #: Z-94-92 WORK ORDER #: _____

LEGAL DESCRIPTION: TRACT B1A1B DORADO VILLAGE

CITY ADDRESS: 12700 CENTRAL AVENUE, N.E.

ENGINEERING FIRM: TIERRA WEST DEV. MAGT. SER. CONTACT: RONALD R. BOHANNAN

ADDRESS: 4421 McCLEOD NE SUITE #D, 87109 PHONE: (505) 883-7592

OWNER: ROCKY MOUNTAIN R.V. CONTACT: JUDY ROBERTS

ADDRESS: 11109 CENTRAL, NW, 87123 PHONE: (505) 292-7800

ARCHITECT: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

SURVEYOR: PRECISION SURVEYING CONTACT: LARRY MADRANO

ADDRESS: 2929 COORS BLVD. NW SUITE 105, ALBUQ. NM 87120 PHONE: (505) 839-0569

CONTRACTOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

☒ DRAINAGE REPORT

☐ DRAINAGE PLAN

☐ CONCEPTUAL GRADING & DRAINAGE PLAN

☒ GRADING PLAN

☐ EROSION CONTROL PLAN

☐ ENGINEER'S CERTIFICATION

☐ OTHER

PRE-DESIGN MEETING:

☐ YES

☒ NO

☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAN APPROVAL

☐ PRELIMINARY PLAT APPROVAL

☒ S. DEV. PLAN FOR SUB'D. APPROVAL

☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL

☐ SECTOR PLAN APPROVAL

☐ FINAL PLAT APPROVAL

☐ FOUNDATION PERMIT APPROVAL

☒ BUILDING PERMIT APPROVAL

☐ CERTIFICATE OF OCCUPANCY APPROVAL

☒ GRADING PERMIT APPROVAL

☐ PAVING PERMIT APPROVAL

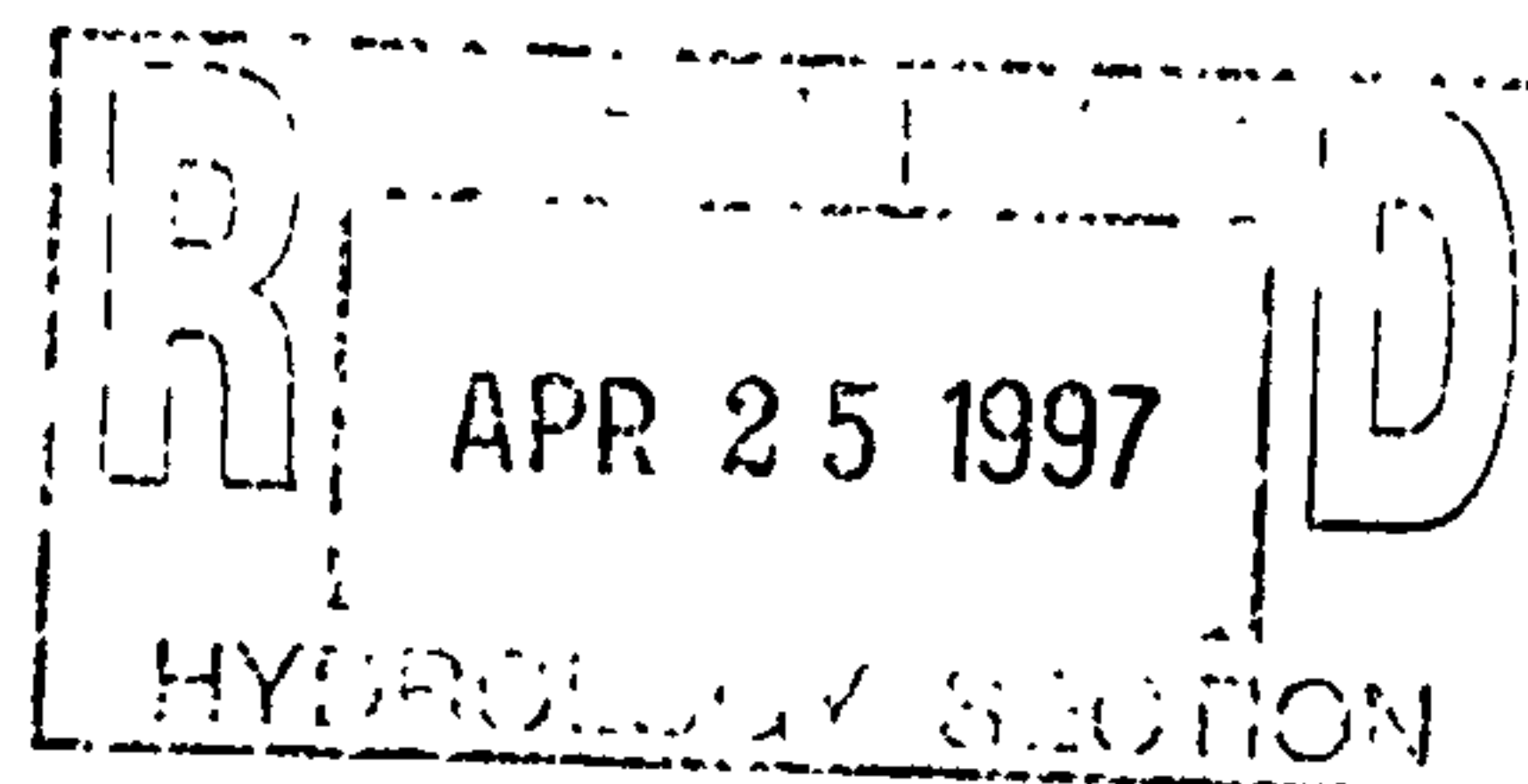
☐ S. A. D. DRAINAGE REPORT

☐ DRAINAGE REQUIREMENTS

☐ OTHER _____ (SPECIFY)

DATE SUBMITTED: 4/25/97

BY: SARA McCOLLAM



FILE COPY



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

MAYOR
KEN SCHULTZ

CHIEF
ADMINISTRATIVE OFFICER
GENE ROMO

DEPUTY CAO
PUBLIC SERVICES
FRANK MARTINEZ

DEPUTY CAO
PLANNING/DEVELOPMENT
BILL MUELLER

May 20, 1988

Louis Gross, P.E.
Logan/Gross & Associates, Inc.
925 Sixth Street, NW Suite 3
Albuquerque, New Mexico 87102

RE: REVISED GRADING PLAN FOR GENERAL VEHICLE STORAGE
(L-22/D35B) REVISION DATED MAY 18, 1988

Dear Mr. Gross:

Based on the information provided on your resubmittal of May 18, 1988, the above referenced plan is approved for Grading Permit.

Upon completion of the project, arrangements must be made with our drainage inspector for a field inspection. Also, we will need concurrence of Work Order No. 3529 release from the Inspection Section prior to final approval.

If I can be of further assistance, please feel free to call me at 768-2650.

Cordially,

Bernie J. Montoya, C.E.
Engineering Assistant

BJM/bsj

DRAINAGE INFORMATION SHEET

CITY OF ALBUQUERQUE, N.M.

PROJECT TITLE: Auto Sales Lot ZONE ATLAS/DRNG. FILE #: L22/ 35BLEGAL DESCRIPTION: Phase II, Lot B1-A-1-B, Unit 3, Dorado VillageCITY ADDRESS: Not KnownENGINEERING FIRM: Louis Gross & Assoc. Inc.CONTACT: Louis GrossADDRESS: 925 Sixth St. N.W.PHONE: 243-6353OWNER: Harold MartinezCONTACT: Harold MartinezADDRESS: 13041 Central N.E.PHONE: 294-8884ARCHITECT: None

CONTACT: _____

ADDRESS: _____

PHONE: _____

SURVEYOR: Louis Gross & Assoc. Inc.CONTACT: Louis GrossADDRESS: 925 Sixth St. N.W.PHONE: 243-6353CONTRACTOR: None

CONTACT: _____

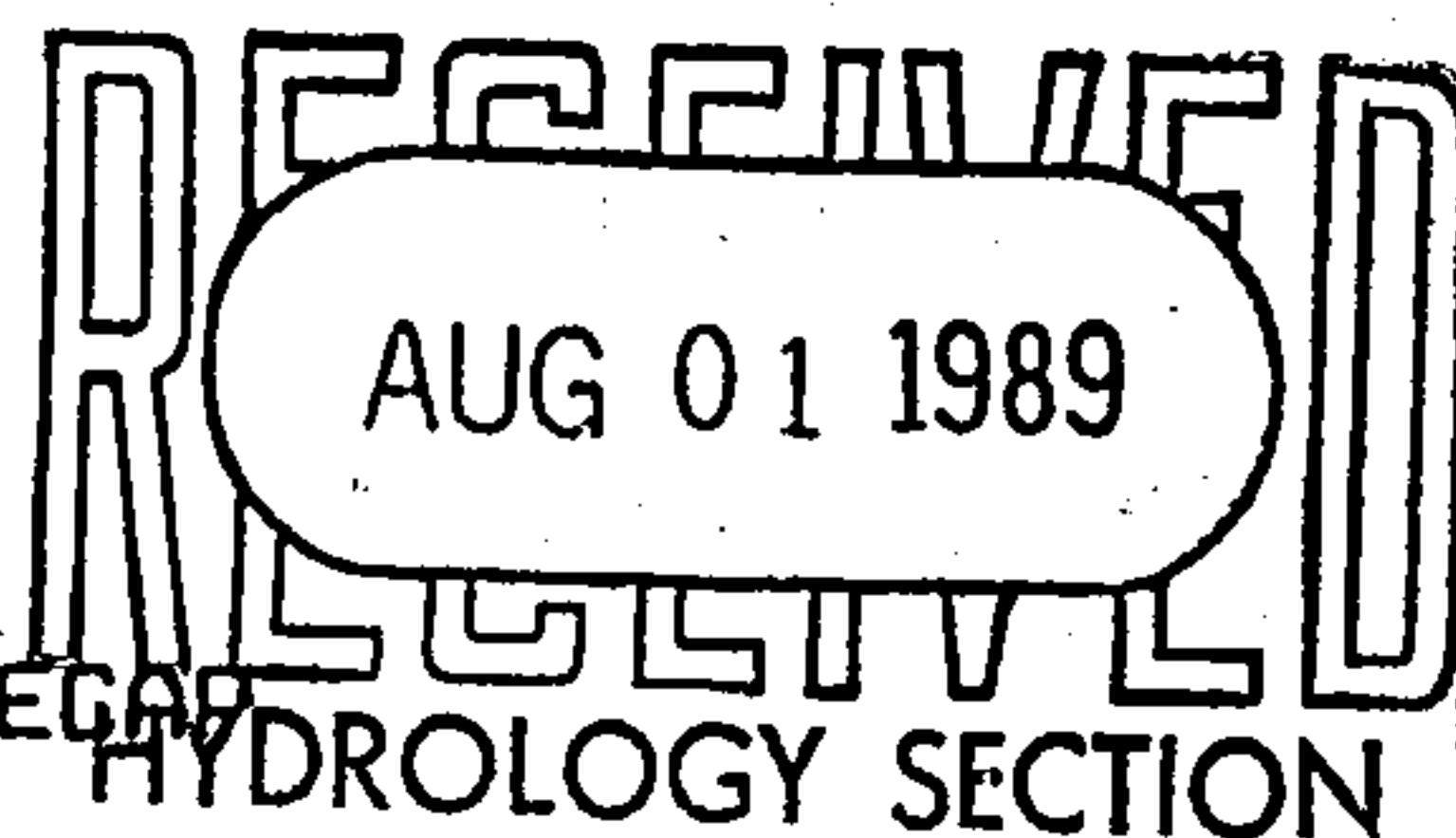
ADDRESS: _____

PHONE: _____

PRE-DESIGN MEETING:

☐ YES☒ NO☐ COPY OF CONFERENCE RECORD SHEET PROVIDED

See drainage plan L22/D35B



DRB NO. _____

EPC NO. _____

PROJ. NO. _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT☒ DRAINAGE PLAN☐ CONCEPTUAL GRADING & DRAINAGE PLAN☒ GRADING PLAN☐ EROSION CONTROL PLAN☐ ENGINEER'S CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL☐ PRELIMINARY PLAT APPROVAL☒ SITE DEVELOPMENT PLAN APPROVAL☐ FINAL PLAT APPROVAL☐ BUILDING PERMIT APPROVAL☐ FOUNDATION PERMIT APPROVAL☐ CERTIFICATE OF OCCUPANCY APPROVAL☐ ROUGH GRADING PERMIT APPROVAL☒ GRADING/PAVING PERMIT APPROVAL☐ OTHER _____ (SPECIFY)DATE SUBMITTED: 8/1/89

BY: _____

Louis W. Gross



KEN SCHULTZ
MAYOR

City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

August 15, 1989

Louis Gross, P.E.
Louis Gross & Associates, Inc.
925 Sixth Street, NW Suite 3
Albuquerque, New Mexico 87102

RE: DRAINAGE PLAN FOR AUTO SALES LOT
(L-22/D35B) RECEIVED AUGUST 1, 1989

Dear Mr. Gross:

Based on the information provided on your submittal of August 1, 1989, listed you will find certain items that will need to be addressed prior to final approval:

1. Zoning will require that the complete proposed Auto Sales Lot be paved.
2. New submittal showing computations for impervious area must be submitted for review.
3. Provision must be made to discharge the proposed developed area onto Central Avenue. Undeveloped historical flows are the only flows that the adjacent property is required to accept.

If I can be of further assistance, please feel free to call me at 768-2650.

Cordially,

Bernie J. Montoya

Bernie J. Montoya, C.E.
Engineering Assistant

BJM/bsj
(WP+733)

PUBLIC WORKS DEPARTMENT

Walter H. Nickerson, Jr., P.E.
Assistant Director Public Works

ENGINEERING GROUP

Telephone (505) 768-2500

AN EQUAL OPPORTUNITY EMPLOYER

DRAINAGE INFORMATION SHEET

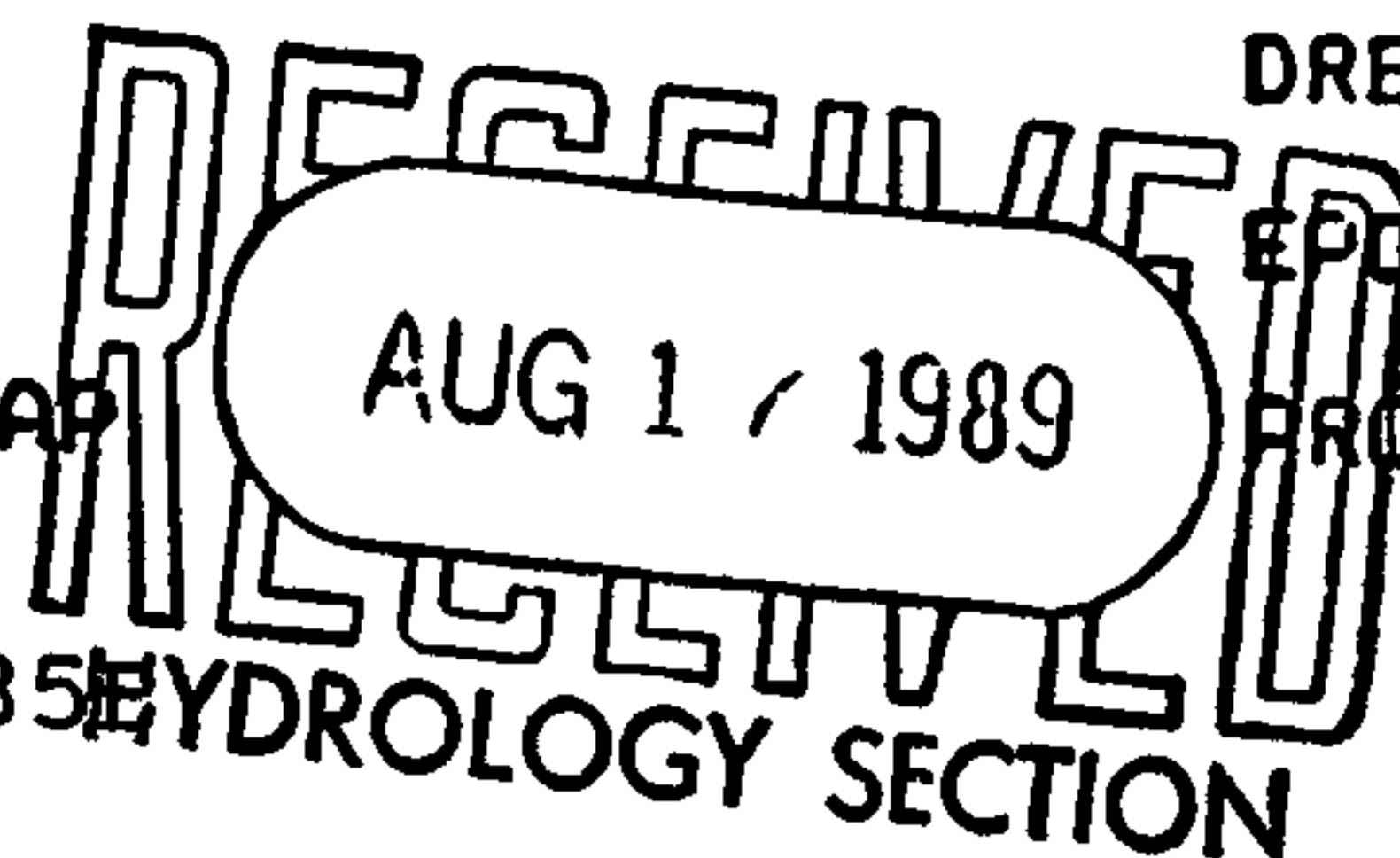
CITY OF ALBUQUERQUE, N.M.

PROJECT TITLE: Auto Sales Lot ZONE ATLAS/DRNG. FILE #: L22/
LEGAL DESCRIPTION: Phase II, Lot B1-A-1-B, Unit 3, Dorado Village
CITY ADDRESS: Not Known
ENGINEERING FIRM: Louis Gross & Assoc. Inc. CONTACT: Louis Gross
ADDRESS: 925 Sixth St. N.W. PHONE: 243-6353
OWNER: Harold Martinez CONTACT: Harold Martinez
ADDRESS: 13041 Central N.E. PHONE: 294-8884
ARCHITECT: None CONTACT: _____
ADDRESS: _____ PHONE: _____
SURVEYOR: Louis Gross & Assoc. Inc. CONTACT: Louis Gross
ADDRESS: 925 Sixth St. N.W. PHONE: 243-6353
CONTRACTOR: None CONTACT: _____
ADDRESS: _____ PHONE: _____

PRE-DESIGN MEETING:

☐ YES☒ NO☐ COPY OF CONFERENCE RECAP
SHEET PROVIDED

See drainage plan L22/D35



DRB NO. _____

EPD NO. _____

PROJ. NO. _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT☒ DRAINAGE PLAN☐ CONCEPTUAL GRADING & DRAINAGE PLAN☒ GRADING PLAN☐ EROSION CONTROL PLAN☐ ENGINEER'S CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL☐ PRELIMINARY PLAT APPROVAL☒ SITE DEVELOPMENT PLAN APPROVAL☐ FINAL PLAT APPROVAL☐ BUILDING PERMIT APPROVAL☐ FOUNDATION PERMIT APPROVAL☐ CERTIFICATE OF OCCUPANCY APPROVAL☐ ROUGH GRADING PERMIT APPROVAL☒ GRADING/PAVING PERMIT APPROVAL

OTHER _____ (SPECIFY)

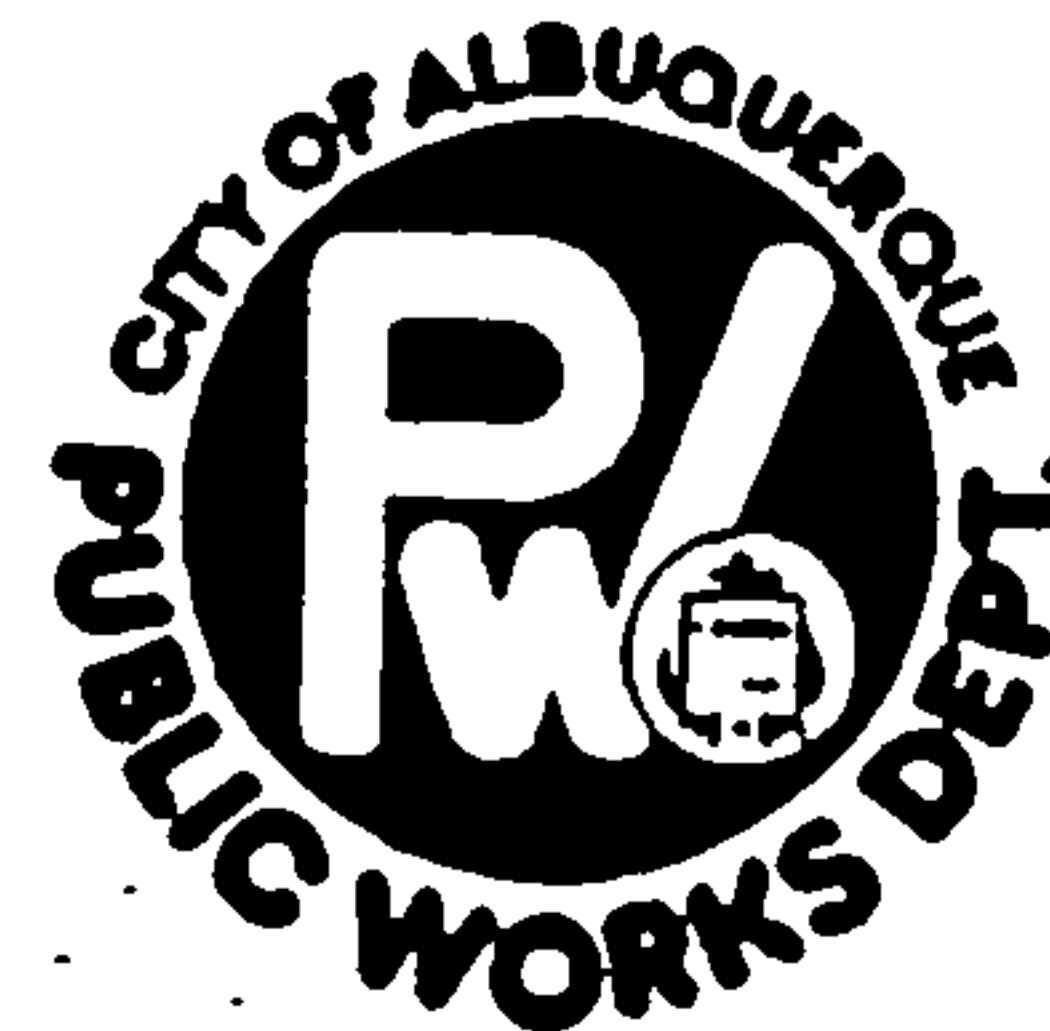
DATE SUBMITTED: 8/1/89

BY: _____

Louis W. Gross

FILE COPY

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT



INTER-OFFICE CORRESPONDENCE

August 30, 1989

ENGINEERING GROUP

TO: Desiderio Salas; Street Maintenance Division

FROM: Fred J. Aguirre, Hydrologist; Engineering Group/PWD *FJA*

SUBJECT: PRIVATE DRAINAGE FACILITIES WITHIN PUBLIC RIGHTS-OF-WAY/EASEMENT
AUTO SALES LOT (L-22/D35B)

Transmitted herewith, is a copy of the approved drainage plan for the referenced project incorporating the S.O. #19 design.

In accordance with the new process, this plan is being submitted to you for permitting and inspection. Please provide this section with a signed-off copy per the signature block upon construction and acceptance by your office.

As you are aware, the signed-off S.O. #19 is required by this office for Certificate of Occupancy release; hence your expeditious processing of this plan would be greatly appreciated and would avoid any unnecessary delay in the release of the Certificate of Occupancy.

Thank you for your cooperation, and if you should have any questions and/or comments regarding the process, please feel free to call me at 768-2650.

FJA/bsj

Attachment



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

June 6, 1990

Dennis Lorenz
Espey Huston & Assoc., Inc
317 Commercial NE
Albuquerque, New Mexico 87102

RE: DRAINAGE PLAN FOR AUTO SALES LOT (L-22/D35B) ENGINEER'S STAMP DATED
MAY 18, 1990

Dear Mr. Lorenz:

Based on the information provided on your May 18, 1990 submittal, the above
referenced drainage plan is approved for Site Development.

If I can be of further assistance, please feel free to contact me at 768-2650.

Sincerely,

for Bernice J. Matoya
Fred Aguirre, PE
Hydrology Division

BJM:jc
WP+733

PUBLIC WORKS DEPARTMENT

Walter H. Nickerson, Jr., P.E.
Assistant Director Public Works

ENGINEERING GROUP

Telephone (505) 768-2500

AN EQUAL OPPORTUNITY EMPLOYER

DRAINAGE INFORMATION SHEET

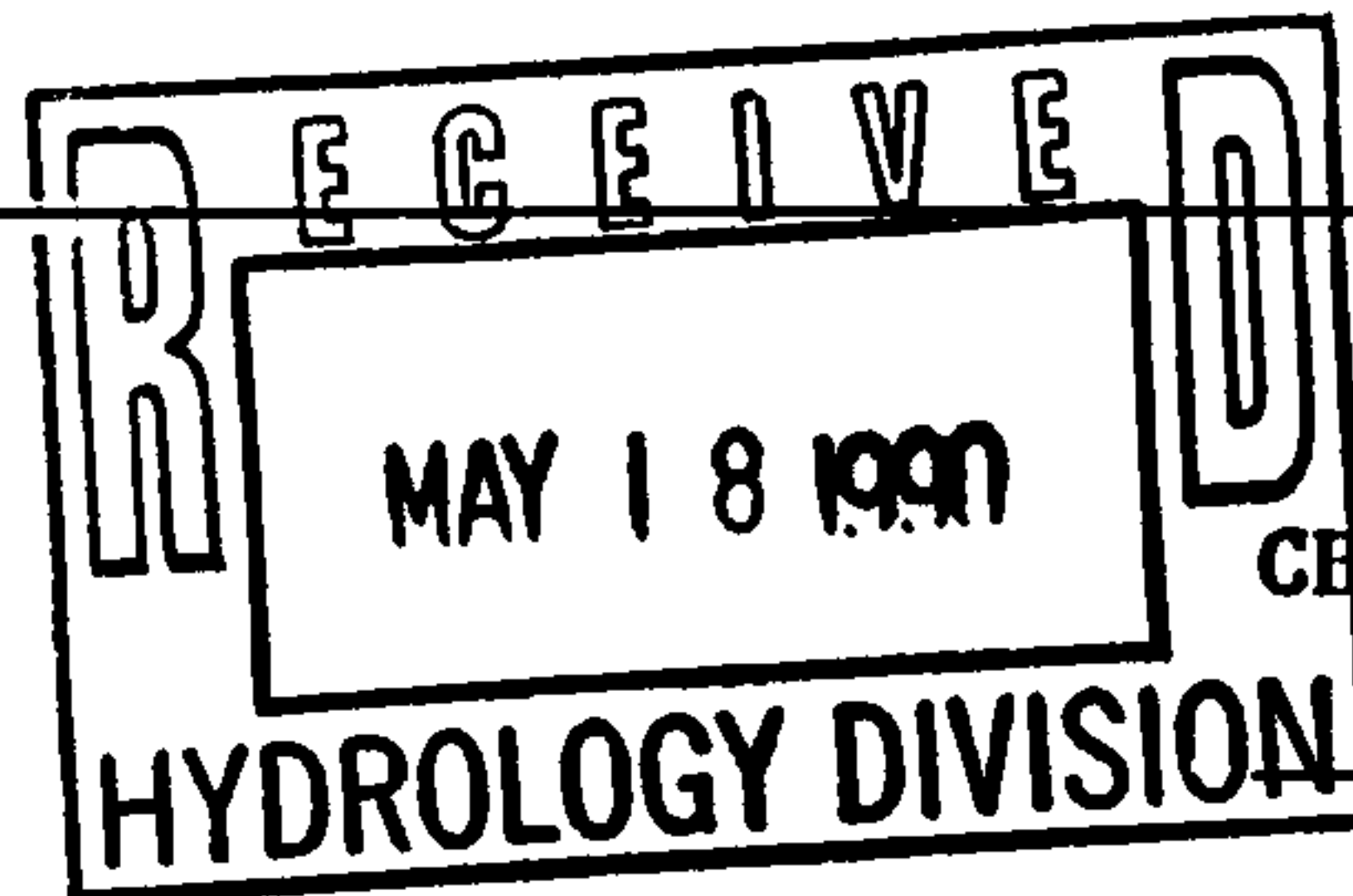
PROJECT TITLE: PHASE II LOT B1-A-1-B ZONE ATLAS/DRNG. FILE #: L22/P35
DRB #: _____ EPC #: Z-87125-1 WORK ORDER #: _____
LEGAL DESCRIPTION: PHASE II LOT B1-A-1-B, UNIT 3 DORADO VILLAGE
CITY ADDRESS: CENTRAL AVE SE
ENGINEERING FIRM: ESPEY HUSTON & ASSOC CONTACT: D. LORENZ
ADDRESS: 317 COMMERCIAL NE PHONE: 242 1909
OWNER: HAROLD MARTINEZ CONTACT: _____
ADDRESS: 13041 CENTRAL NE PHONE: 294 8884
ARCHITECT: NA CONTACT: _____
ADDRESS: _____ PHONE: _____
SURVEYOR: NA CONTACT: _____
ADDRESS: _____ PHONE: _____
CONTRACTOR: NA CONTACT: _____
ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☒ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION
☐ OTHER _____

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☒ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☐ OTHER _____ (SPECIFY)



PRE-DESIGN MEETING:

- ☐ YES
☒ NO
☐ COPY PROVIDED

DATE SUBMITTED: MAY 18, 1990
BY: DENNIS LORENZ

DRAINAGE INFORMATION SHEET

CITY OF ALBUQUERQUE, N.M.

PROJECT TITLE: General Vehicle Storage ZONE ATLAS/DRNG. FILE #: L-22/D35B

LEGAL DESCRIPTION: Lot B1-A-1-B, Unit 3, Dorado Village

CITY ADDRESS: Central S.E.

ENGINEERING FIRM: Logan/Gross & Assoc. Inc. CONTACT: Louis W. Gross

ADDRESS: 925 6th St. N.W. PHONE: 243-6353

OWNER: Harold Martinez CONTACT: Harold Martinez

ADDRESS: 3625 Central N.E. PHONE: 294-8884

ARCHITECT: Bill Buckley CONTACT: Bill Buckley

ADDRESS: 3625 Central N.E. PHONE: 255-9196

SURVEYOR: Ed Moore CONTACT: Ed Moore

ADDRESS: _____ PHONE: 897-7267

CONTRACTOR: Not selected yet. CONTACT: _____

ADDRESS: _____ PHONE: _____

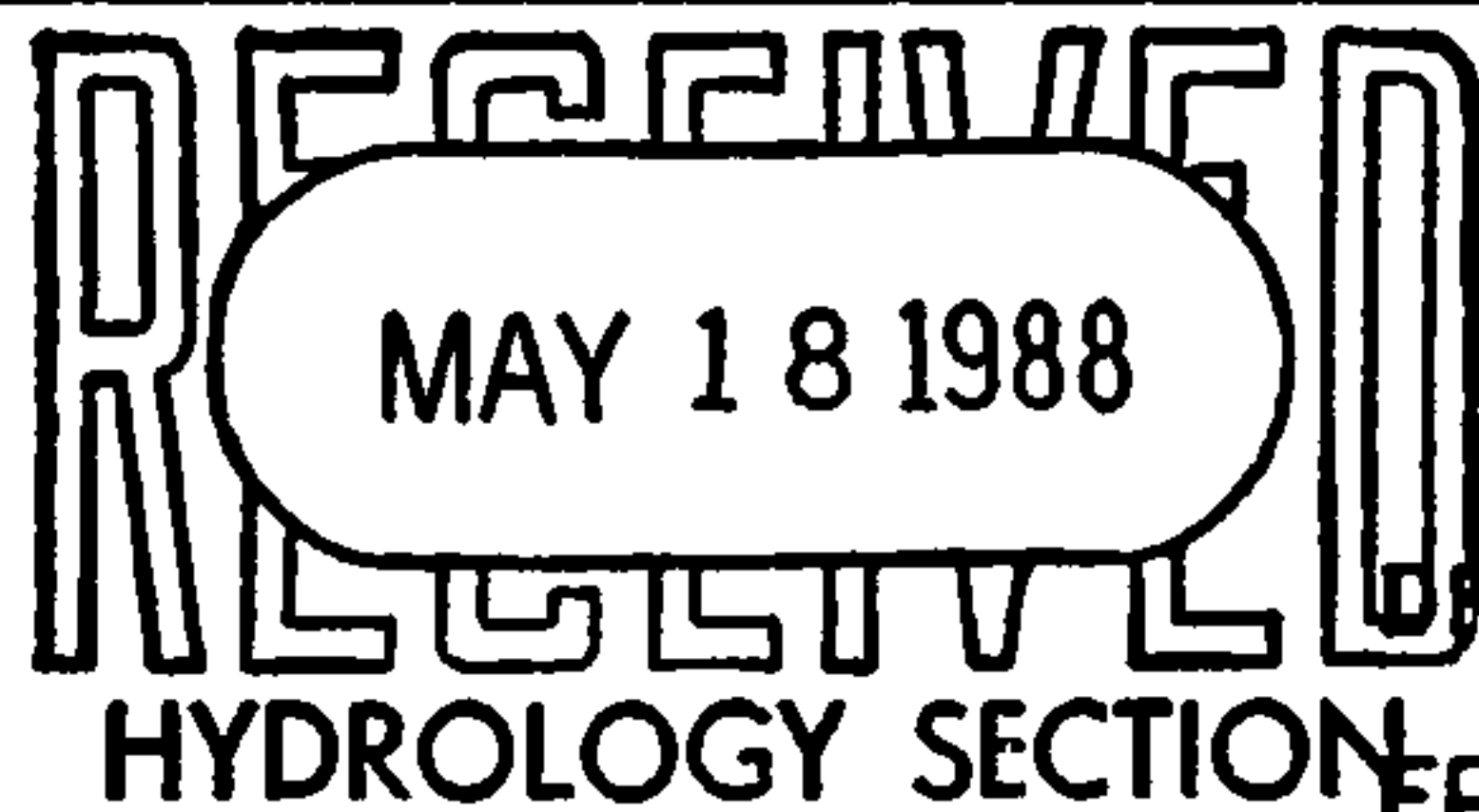
PRE-DESIGN MEETING:

☒ YES

☐ NO

☒ COPY OF CONFERENCE RECAP SHEET PROVIDED

☐ Letter with comments



DRB NO. Z-87-127

EPC NO. _____

PROJ. NO. _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT

☒ DRAINAGE PLAN

☐ CONCEPTUAL GRADING & DRAINAGE PLAN

☒ GRADING PLAN

☐ EROSION CONTROL PLAN

☐ ENGINEER'S CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL

☐ PRELIMINARY PLAT APPROVAL

☒ SITE DEVELOPMENT PLAN APPROVAL

☐ FINAL PLAT APPROVAL

☐ BUILDING PERMIT APPROVAL

☐ FOUNDATION PERMIT APPROVAL

☐ CERTIFICATE OF OCCUPANCY APPROVAL

☐ ROUGH GRADING PERMIT APPROVAL

☒ GRADING/PAVING PERMIT APPROVAL

☐ OTHER _____ (SPECIFY)

DATE SUBMITTED: 5/4/88 Revised 5/18/88

BY:

Louis W. Gross

CITY OF ALBUQUERQUE
MUNICIPAL DEVELOPMENT DEPARTMENT
ENGINEERING DIVISION/DESIGN HYDROLOGY SECTION

CONFERENCE RECAP

DRAINAGE FILE/ZONE ATLAS PAGE NO.: L22 DATE: 4/7/93
PLANNING DIVISION NOS: EPC: _____ DRB: _____
SUBJECT: _____
STREET ADDRESS (IF KNOWN): Tract B-1-A-1-B Unit 3 Deer Village
SUBDIVISION NAME: _____

APPROVAL REQUESTED:

| | |
|---|--|
| <input type="checkbox"/> PRELIMINARY PLAT | <input type="checkbox"/> FINAL PLAT |
| <input checked="" type="checkbox"/> SITE DEVELOPMENT PLAN | <input type="checkbox"/> BUILDING PERMIT |
| <input type="checkbox"/> OTHER | <input type="checkbox"/> ROUGH GRADING |

| | | |
|-------------|-------------------------|----------------------------|
| ATTENDANCE: | WHO | REPRESENTING |
| | <u>Bill Buckley</u> | <u>City of Albuquerque</u> |
| | <u>Bernie J Montoya</u> | |

FINDINGS:

1. An approved Conceptual Grading and Drainage Plan
required for Development Plan sign-off
2. Use site plan and include existing contours.
3. Notation referring to the one paved access to
City standards
4. Stamped date and signed by Architect.

The undersigned agrees that the above findings are summarized accurately and are only subject to change if further investigation reveals that they are not reasonable or that they are based on inaccurate information.

| | |
|----------------------------|----------------------------|
| SIGNED: <u>[Signature]</u> | SIGNED: <u>[Signature]</u> |
| TITLE: _____ | TITLE: _____ |
| DATE: _____ | DATE: _____ |

NOTE PLEASE PROVIDE A COPY OF THIS RECAP WITH THE DRAINAGE SUBMITTAL

DRAINAGE INFORMATION SHEET

CITY OF ALBUQUERQUE, N.M.

PROJECT TITLE: General Vehicle Storage ZONE ATLAS/DRNG. FILE #: L-22/35B

LEGAL DESCRIPTION: Lot B1-A-1-B, Unit 3, Dorado Village

CITY ADDRESS: Central S.E.

ENGINEERING FIRM: Logan/Gross & Assoc. Inc. CONTACT: Louis W. Gross

ADDRESS: 925 6th St. N.W. PHONE: 243-6353

OWNER: Harold Martinez CONTACT: Harold Martinez

ADDRESS: 3625 Central N.E. PHONE: 294-8884

ARCHITECT: Bill Buckley CONTACT: Bill Buckley

ADDRESS: 3625 Central N.E. PHONE: 255-9196

SURVEYOR: Ed Moore CONTACT: Ed Moore

ADDRESS: _____ PHONE: 897-7267

CONTRACTOR: Not selected yet. CONTACT: _____

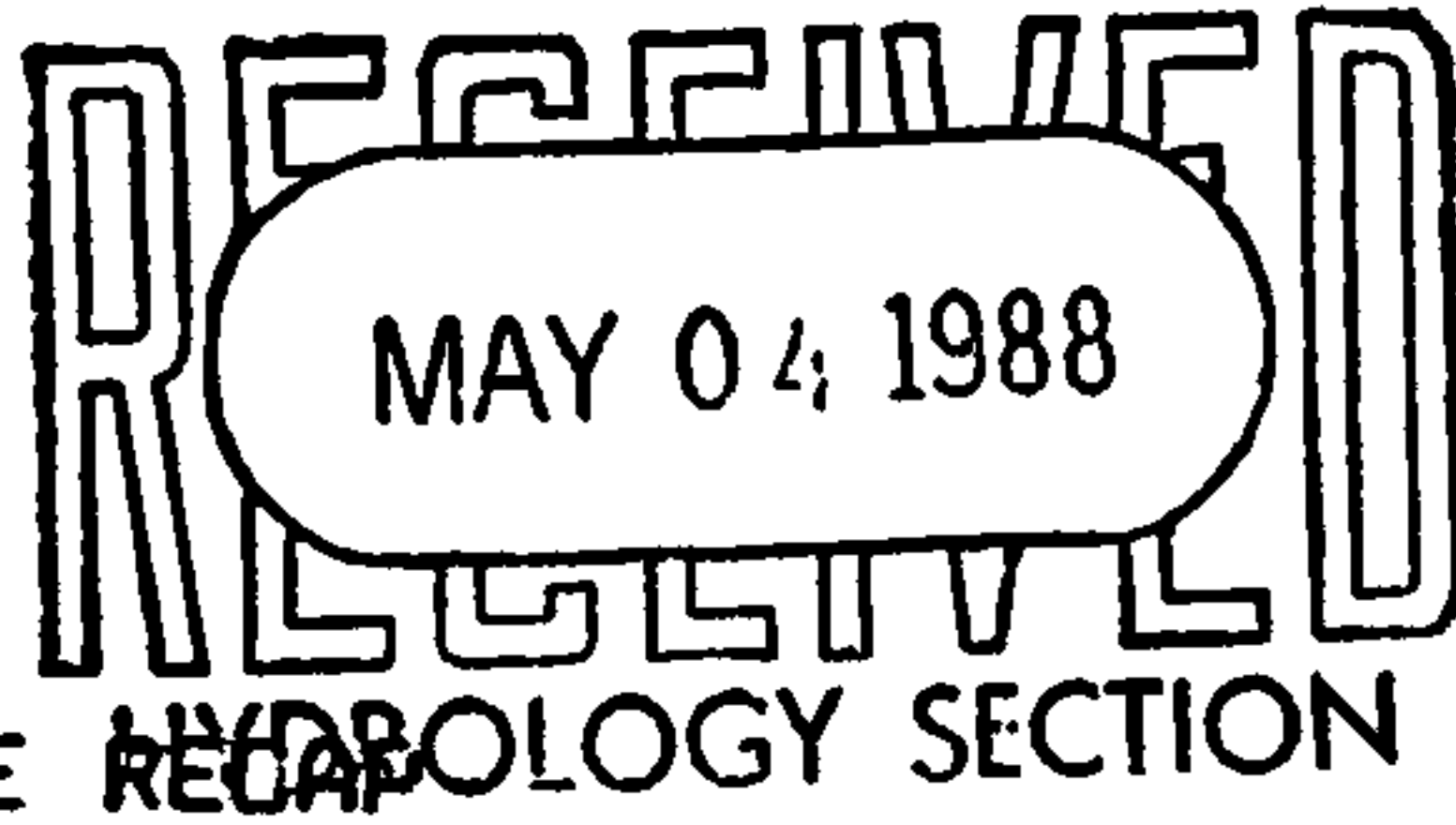
ADDRESS: _____ PHONE: _____

PRE-DESIGN MEETING:

☒ YES

☐ NO

☒ COPY OF CONFERENCE RECORD SHEET PROVIDED



DRB NO. Z-87-127

EPC NO. _____

PROJ. NO. _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT

☒ DRAINAGE PLAN

☐ CONCEPTUAL GRADING & DRAINAGE PLAN

☒ GRADING PLAN

☐ EROSION CONTROL PLAN

☐ ENGINEER'S CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL

☐ PRELIMINARY PLAT APPROVAL

☒ SITE DEVELOPMENT PLAN APPROVAL

☐ FINAL PLAT APPROVAL

☐ BUILDING PERMIT APPROVAL

☐ FOUNDATION PERMIT APPROVAL

☐ CERTIFICATE OF OCCUPANCY APPROVAL

☐ ROUGH GRADING PERMIT APPROVAL

☒ GRADING/PAVING PERMIT APPROVAL

☐ OTHER _____ (SPECIFY)

DATE SUBMITTED: 5/4/88

BY: Louis W. Gross
Louis W. Gross



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

MAYOR
KEN SCHULTZ

CHIEF
ADMINISTRATIVE OFFICER
GENE ROMO

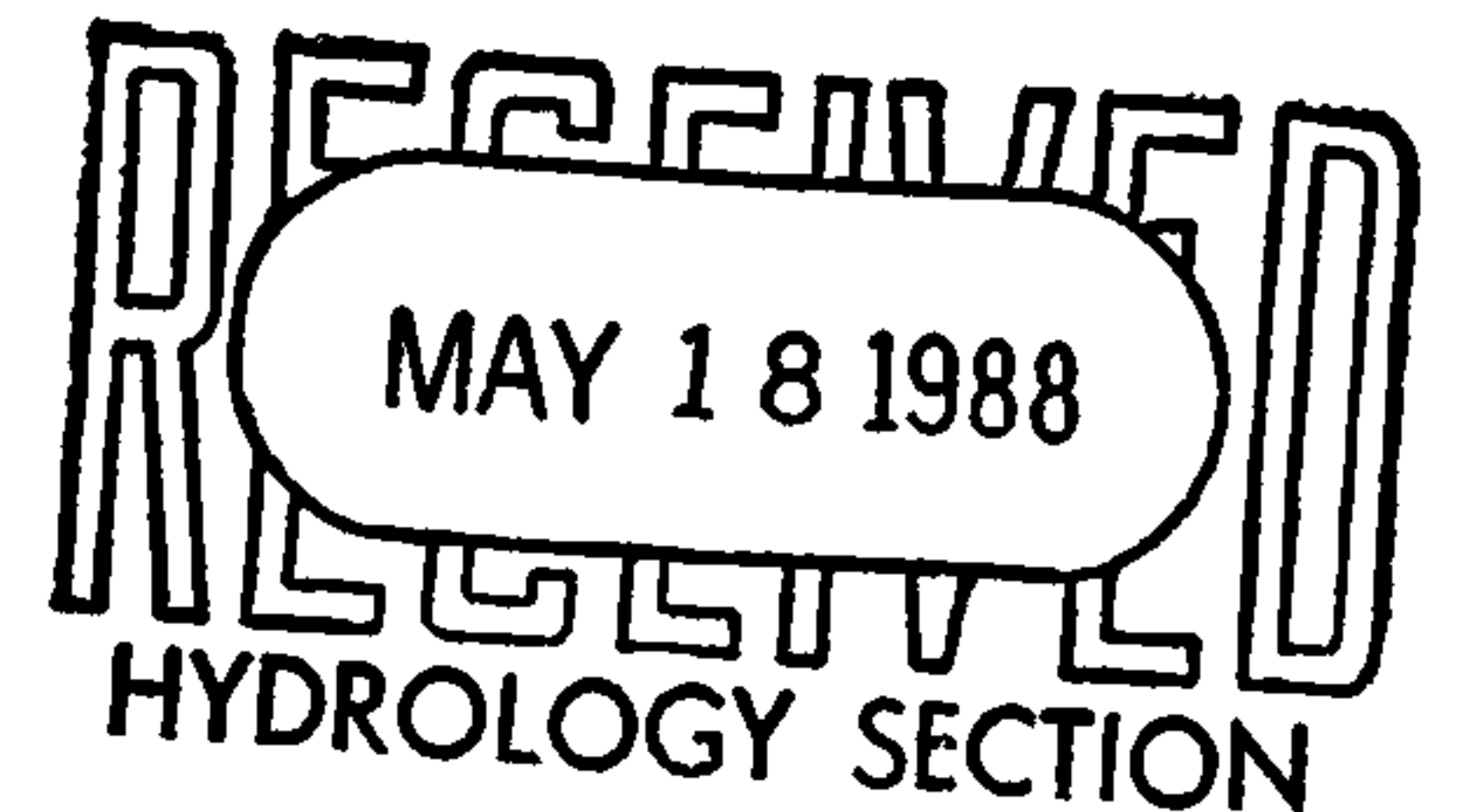
DEPUTY CAO
PUBLIC SERVICES
FRANK MARTINEZ

DEPUTY CAO
PLANNING/DEVELOPMENT
BILL MUELLER

May 11, 1988

Louis Gross, P.E.
Louis/Gross & Associates, Inc.
925 Sixth Street, NW Suite 3
Albuquerque, New Mexico 87102

RE: GRADING PLAN FOR GENERAL VEHICLE STORAGE
(L-22/D35B) ENGINEER'S STAMP DATED MAY 2, 1988



Dear Mr. Gross:

Based on the information provided on your submittal of May 4, 1988, listed you will find certain concerns that will need to be addressed prior to final approval:

1. How do you propose to route the runoff through the existing drive pad onto Western Skies (your plan shows a double line. Is this a proposed curb)? } Existing drive and curb & gutter clarified on plan.
2. How do you propose to control sediment into the street? } used wires to reduce velocity.
3. Your plan shows a 6' solid wood fence on the east property line. You cannot block offsite flows. } An existing private C&G street blocks the flows.
4. Your road design shows a crown in the middle. You will be blocking flows coming from the east vacant position. } FIXED
5. Where is your T.B.M. located? } SHOW ON BOTH SHEETS
6. What do the circled numbers mean? } NOTHING

If I can be of further assistance, please call me at 768-2650.

Cordially,

Roger L. Green
For Bernie J. Montoya, C.E.
Engineering Assistant

BJM/bsj

FILE COPY



KEN SCHULTZ
MAYOR

City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

August 30, 1989

PLEASE LOG OFF

ALSO APPROVED
FOR SITE DEVELOPMENT
AM/pebM

Louis Gross, P.E.
Louis Gross & Associates, Inc.
925 Sixth Street, NW Suite 3
Albuquerque, New Mexico 87102

RE: REVISED DRAINAGE PLAN FOR AUTO SALES LOT
(L-22/D35B) REVISION DATED AUGUST 17, 1989

Dear Mr. Gross:

Based on the information provided on your submittal of August 17, 1989, the referenced drainage plan is approved for Grading/Paving.

Upon completion of the referenced project, a request for inspection is required (please provide the file number when requesting the inspection).

A separate permit is required for construction within City right of way. A copy of this approval letter must be on hand when applying for the excavation permit.

Also, please be advised that on future submittals, orientation of the North arrow is generally to the top of the sheet. The north arrow may point either to the right or left of the sheet provided that it does not point below a line 45° above the horizontal toward the right of the sheet or below a line 45° below the horizontal toward the left of the sheet.

If I can be of further assistance, please feel free to call me at 768-2650.

Cordially,

Bernie J. Montoya, C.E.
Engineering Assistant

BJM/bsj
(WP+733)

PUBLIC WORKS DEPARTMENT

Walter H. Nickerson, Jr., P.E.
Assistant Director Public Works

ENGINEERING GROUP

Telephone (505) 768-2500

AN EQUAL OPPORTUNITY EMPLOYER

FLOOD MAP 37 SOIL TYPE B
TOTAL AREA = 0.918 ACRES = 40,000 S.F.
L-22/D3A CONCEPTUAL APPROVED 11/6/86
FINAL APPROVAL 4/29/87
FINAL PLAN APPROVED _____

