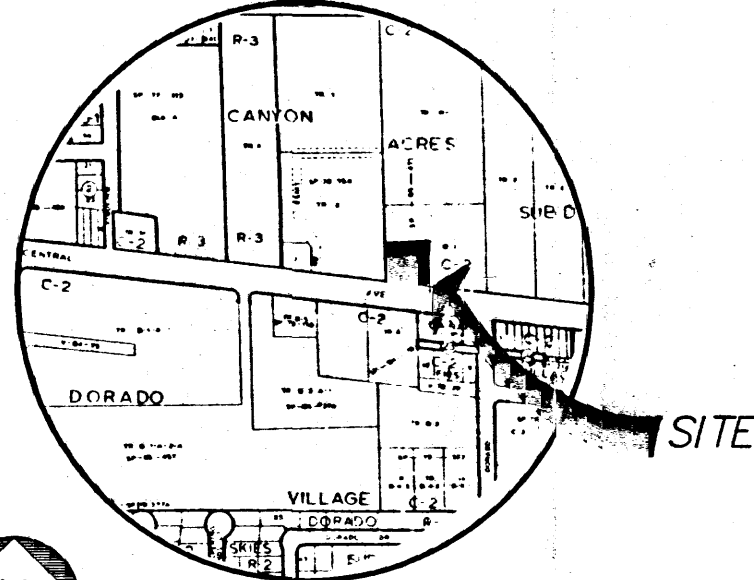


VICINITY MAP
L-22-Z

LEGAL DESCRIPTION:

TRACT G-1-A, CANYON ACRES, ALBUQUERQUE, NEW MEXICO

BENCH-MARK INFORMATION:

ON SITE BENCH-MARK BEING THE TOP OF CURB AT THE SOUTHWEST OF SITE BEARS ELEVATION 5497.94 (MSL) SPRAY PAINTED $\square$ TBM. REFERENCE TO CITY BENCH-MARK 2-L-22 LOCATED AT TRAMWAY AND CENTRAL BEARING ELEVATION 5659.96 (MSL)

DRAINAGE CALCULATIONS

- I. REFERENCES:
- CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL (DPM) VOL. 2 DESIGN CRITERIA, CHAPTER 22: DRAINAGE, FLOOD CONTROL, AND EROSION CONTROL
 - SOIL SURVEY OF BERNALILLO COUNTY AND PARTS OF SANDOVAL AND VALENCIA COUNTIES, NEW MEXICO, UNITED STATES DEPARTMENT OF AGRICULTURE, SOIL CONSERVATION SERVICE
 - FLOODWAY, FLOOD BOUNDARY AND FLOODWAY MAP, CITY OF ALBUQUERQUE, NEW MEXICO, PANEL 37 OF 50.
 - ZONE ATLAS PAGE L-22-Z.

II. GENERAL INFORMATION:

A. SOIL TYPE (REF. B, PAGE 32) SOIL TYPE IS TIJERAS COMPLEX (TgB), HYDROLOGIC SOIL GROUP "B".

B. IMPERVIOUSNESS:

TYPE OF SURFACES	EXISTING SQ. FT.	ACRES	PROPOSED SQ. FT.	ACRES
BUILDING ROOF	0	0.0000	2897	0.0665
CONCRETE SURFACES	0	0.0000	1662	0.0382
ASPHALT SURFACES	6468	0.1485	16631	0.3818
LANDSCAPING	0	0.0000	1687	0.0387
UNDEVELOPED	16409	0.3767	0	0.0000
SITE TOTAL	22877	0.5252	22877	0.5252

C. "C" FACTOR

EXISTING IMPERVIOUS SURFACES	"C" FACTOR	AREA	C X A
BUILDING ROOF	0.90	0.0000	0.0000
CONCRETE SURFACES	0.95	0.0000	0.0000
ASPHALT SURFACES	0.95	0.1485	0.1411
LANDSCAPING	0.25	0.0000	0.0000
UNDEVELOPED	0.40	0.3767	0.1507
SITE TOTAL		0.5252	0.2918

EXISTING WEIGHTED "C" FACTOR 0.56

PROPOSED IMPERVIOUS SURFACES

"C" FACTOR	AREA	C X A
BUILDING ROOF	0.90	0.0665
CONCRETE SURFACES	0.95	0.0382
ASPHALT SURFACES	0.95	0.3818
LANDSCAPING	0.25	0.0387
UNDEVELOPED	0.40	0.0000
SITE TOTAL		0.5252

PROPOSED WEIGHTED "C" FACTOR 0.89

- D. 100 YEAR RAINFALL, 8 HOUR, P(6): (SEE REF. A, PLATE 22.2 D-2) P(6) = 2.49 INCHES (INTERPOLATION VALUE)
- E. TIME OF CONCENTRATION, T_c : $T_c = 10$ MINUTES (USE 10 MINUTES (MINIMUM VALUE) FOR CALCULATIONS)
- F. RAINFALL INTENSITY, I: (SEE REF. A, PLATE 22.2 D-2)
- $$I = P(6) \times 6.84 \times T_c \text{ EXP}(-0.51)$$
- $$= 2.49 \times 6.84 \times 10 \text{ EXP}(-0.51)$$
- $$= 5.26 \text{ INCHES/HOUR}$$

- III. PEAK DISCHARGE: (RATIONAL METHOD $Q=CIA$)
- A. EXISTING CONDITION
- $$Q(100) = 0.555 \times 5.26 \times 0.52 = 1.53 \text{ CFS}$$
- $$Q(10) = 0.657 \times 1.534 = 1.00 \text{ CFS (REF A, PLATE 22.2D-1)}$$
- B. PROPOSED CONDITION
- $$Q(100) = 0.892 \times 5.26 \times 0.52 = 2.46 \text{ CFS}$$
- $$Q(10) = 0.657 \times 2.464 = 1.61 \text{ CFS (REF A, PLATE 22.2D-1)}$$
- IV. DISCHARGE VOLUME: (SCS METHOD) $V = DRO/12 \times A(\text{SQ. FT})$

- A. EXISTING CONDITION
- $$P(6) = 2.49$$
- $$CN = 70$$
- $$A(\text{SQ. FT}) = 22877$$
- $$Q(\text{INCHES}) = 2.668222 / 5.918571$$
- $$= 0.450484$$
- $$V = 858.8104 \text{ CU. FT.}$$

- B. PROPOSED CONDITION
- $$P(6) = 2.49$$
- $$CN = 88$$
- $$A(\text{SQ. FT}) = 22877$$
- $$Q(\text{INCHES}) = 4.816298 / 3.580909$$
- $$= 1.372919$$
- $$V = 2617.355 \text{ CU. FT.}$$

EROSION CONTROL MEASURES:

THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT FOR STORM RUNOFF DURING CONSTRUCTION; HE SHALL INSURE THAT THE FOLLOWING MEASURES ARE TAKEN:

- ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY THE CONSTRUCTION OF BERMS, DIKES, SWALES, PONDS AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUNOFF TO LEAVE THE SITE AND ENTERING ADJACENT PROPERTY.
- ADJACENT PUBLIC RIGHT-OF-WAYS SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUNOFF FROM THE SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER THE PUBLIC STREETS.
- THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY OR ALL SEDIMENT WITHIN THE PUBLIC STREETS THAT HAVE BEEN ERODED FROM THE SITE AND DEPOSITED THERE.

GENERAL NOTES:

- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION CONTRACTOR MUST CONTACT LINE LOCATING SERVICE AT 765-1234 FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- ALL CONSTRUCTION WITHIN CITY RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.
- FINISH FLOOR ELEVATION SHOWN HEREON REFLECTS THE LEVEL PORTION OF THE BUILDING. SEE ARCHITECTURAL PLANS FOR DETAILS.

ABBREVIATION LEGEND

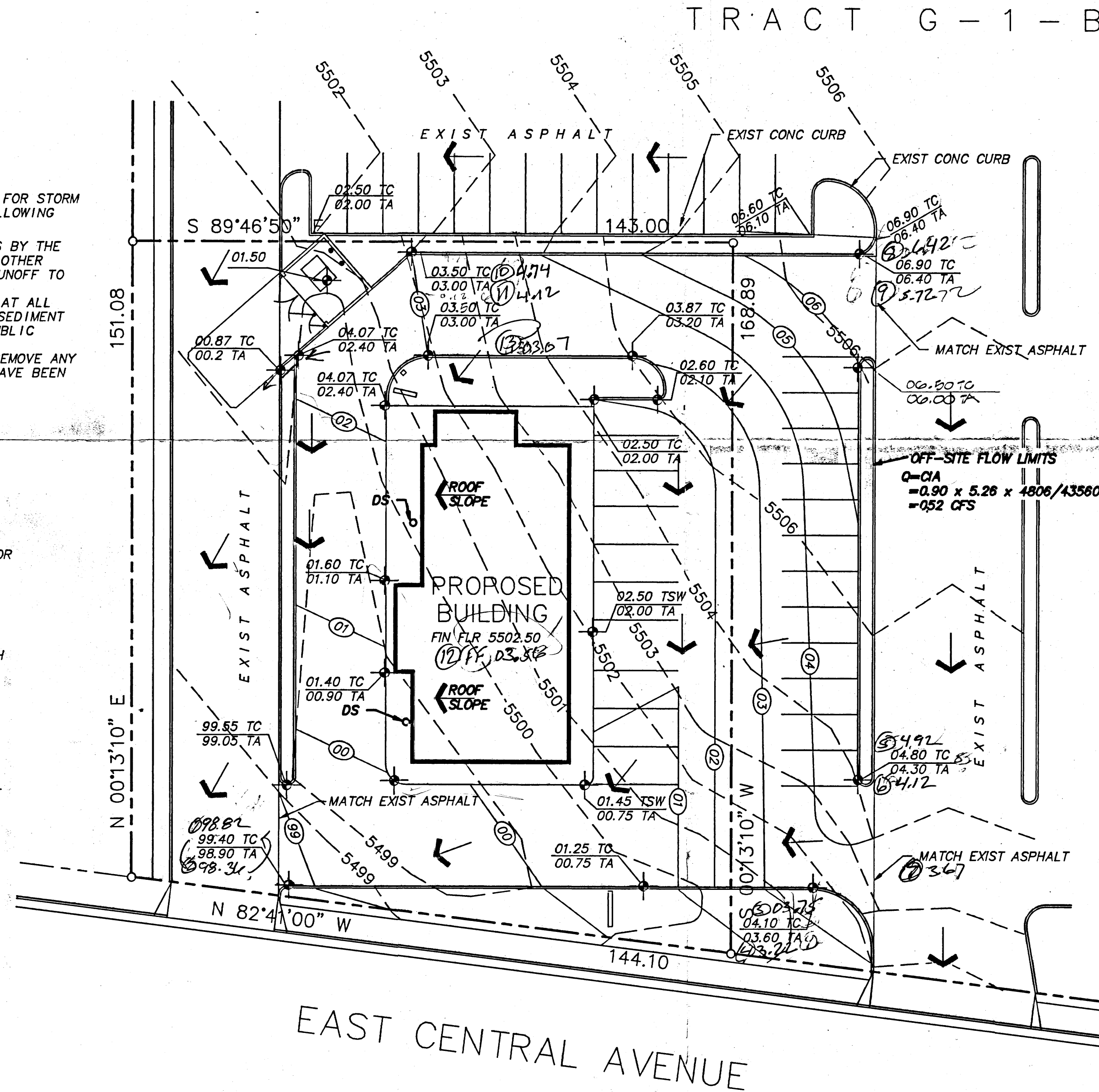
TOP OF SIDEWALK - TSW
TOP OF CURB - TC
TOP OF ASPHALT - TA
DOWN-SPOUT - DS

SYMBOL LEGEND

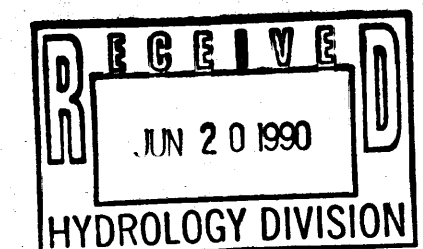
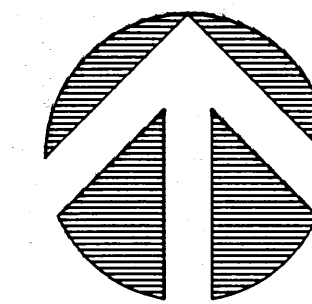
EXISTING CONTOUR
DESIGN CONTOUR
PROPOSED SPOT ELEVATION $\blacktriangle$ 98.90 TA
PROPERTY LINE
EASEMENT LINE
FLOW DIRECTION $\leftarrow$

HYDROLOGY APPROVAL & INSPECTION

APPROVED FOR BUILDING PERMIT
ENGINEER B. M. Ortega DATE 7/1/90
INSPECTION REQUESTED DATE 9-25-90
APPROVAL DATE 9-25-90 DISAPPROVED
SHEET NO. 1 OF 1
BY DATE 9-25-90
1. CHECKED BY DM PAGE NO. 87-1 pg 107 #52
2. CHECKED BY DM PAGE NO. 87-1 pg 107 #52
3. CHECKED BY DM PAGE NO. 87-1 pg 107 #52

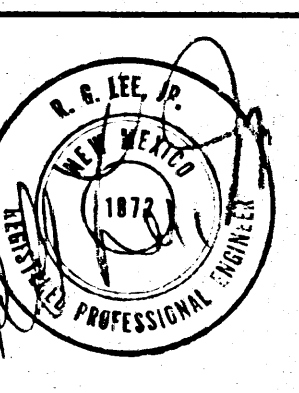


GRADING AND DRAINAGE PLAN SCALE: 1"=20.0'



KENTUCKY FRIED CHICKEN RESTAURANT
FOR MOTT RESOURCES, INC.
12921 CENTRAL AVENUE NE, ALBUQUERQUE, NEW MEXICO

ARCHITECTURE BY
THE KEN HONEY DESIGN GROUP INC.
505 255-9400 • 335 JEFFERSON STREET, SUITE B, ALBUQUERQUE, N.M. 87108



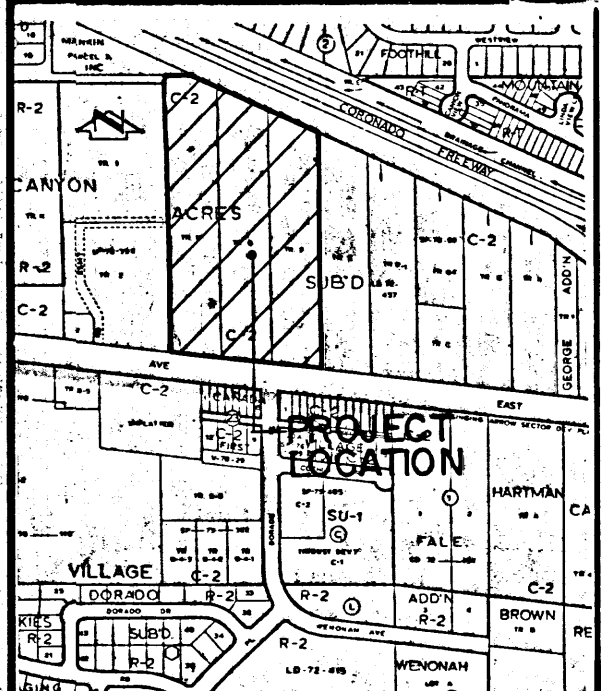
JOB NO: 9005

DATE: 0 JUNE 1990

REVISIONS

NO.	DESCRIPTION

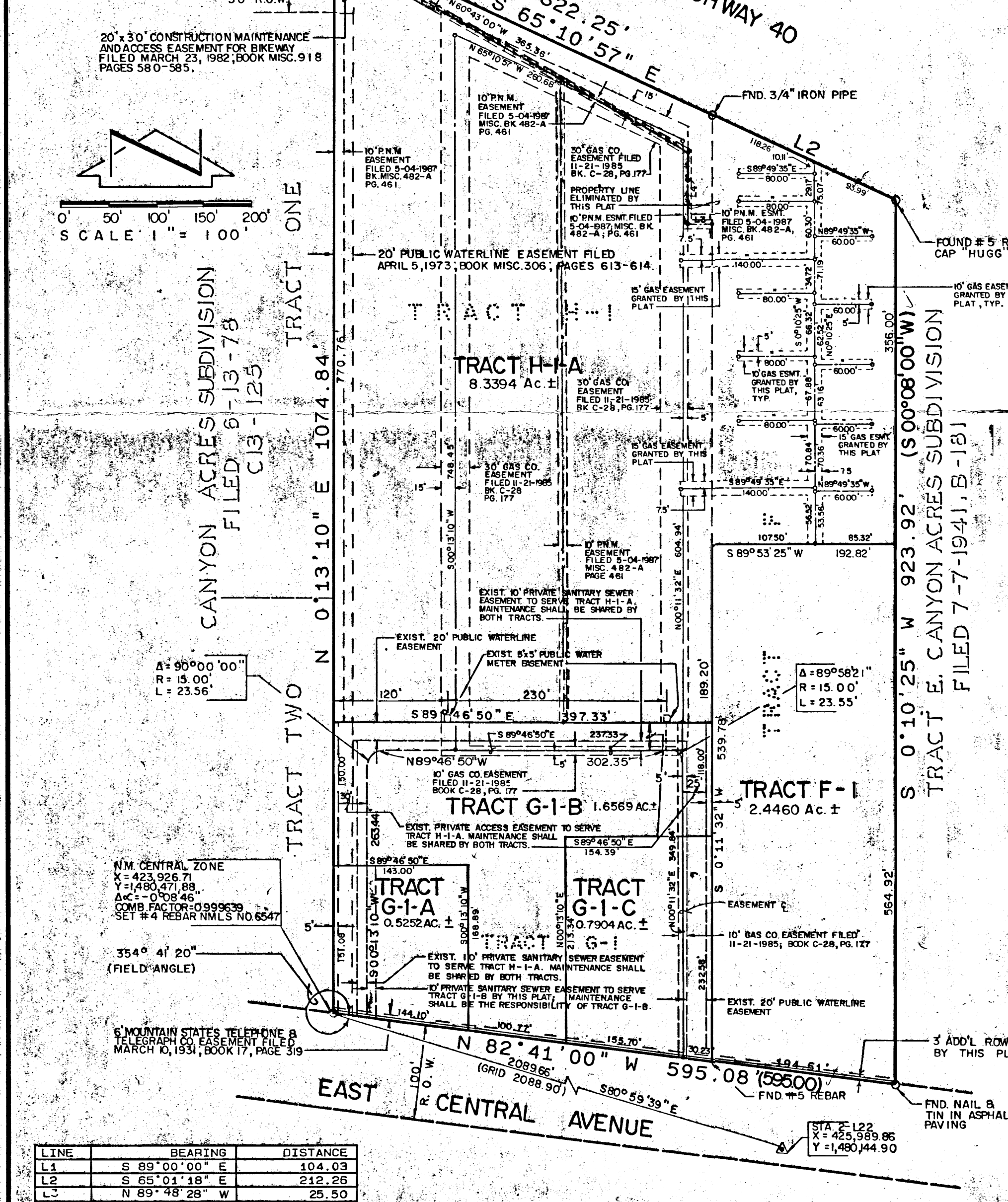
SHEET
C2



VICINITY MAP
SCALE: 1" = 800'

PLAT OF TRACTS F-1, G-1-A, G-1-B, G-1-C & H-1-A CANYON ACRES SUBDIVISION ALBUQUERQUE, NEW MEXICO JUNE, 1989

File of New Mexico
County of Bernalillo
Instrument was filed for record on
AUG 1 0 1989
Albuquerque, New Mexico
Records of said County Public
Deputy Clerk & Recorder



DESCRIPTION

A certain tract of land located within the Corporate Limits of the City of Albuquerque, New Mexico, comprising Tract F, Canyon Acres Subdivision, as shown on the plat filed in the Office of the County Clerk of Bernalillo County, New Mexico, on July 7, 1941, Book B, Page 181, and comprising Tracts G-1, and H-1, Canyon Acres Subdivision, as shown on the plat filed in the Office of the County Clerk of Bernalillo County, New Mexico, on November 21, 1985, Book C-28, Page 177, and being more particularly described as follows:

Beginning at the southeast corner of the parcel herein described, being common with the southeast corner of said Tract F and being a point on the north right-of-way line of East Central Avenue; thence N 82°41'00" W a distance of 595.08 feet along said right-of-way line; thence N 00°13'10" E a distance of 1074.84 feet; thence S 89°00'00" E a distance of 104.03 feet; thence S 65°10'57" E a distance of 322.25 feet; thence S 65°01'18" E a distance of 212.26 feet; thence S 00°10'25" W a distance of 923.92 feet to the point of beginning and containing 13.7988 acres more or less.

- Notes:**
- A field survey was performed on 09-04-85.
 - No street mileage was created.
 - All distances are ground distances.
 - Site located within Section 27, T10N, R4E, N.M.P.M.
 - Bearing base is plat of TRACTS G-1 & H-1 filed November 21, 1985, Book C28, Page 177.
 - The purpose of this plat is to reconfigure the common property lines between Tracts H-1 and F, and grant the private easements described by notes 8 and 9 and to subdivide Tract G-1 into G-1-A, G-1-B and G-1-C.
 - Record bearings and distances are shown in parenthesis.
 - Tract F-1 shall accept runoff from Tract H-1-A and Tracts G-1-A and G-1-B and G-1-C shall accept runoff from Tract F-1 for the purpose of conveying that runoff to East Central Avenue. Conveyance shall take place via paved surfaces and shall constitute a private drainage easement. Maintenance of this easement shall be the responsibility of the respective tract owner.
 - Tracts G-1-A, G-1-B and G-1-C shall share a reciprocal private access, parking, drainage and utility easement subject to existing easements and improvements of record affecting said property. The maintenance of this blanket easement shall be the responsibility of the owner of the land upon which the easement lies.
 - Rotate plat bearings 03°37'19" counterclockwise to achieve grid bearings.

DEDICATION and FREE CONSENT

The undersigned owners of the land shown hereon do hereby consent to the subdivision of said land in the manner shown on this plat and do hereby dedicate the public right-of-way and grant the easements shown hereon including the rights of ingress and egress and the right to trim interfering trees.

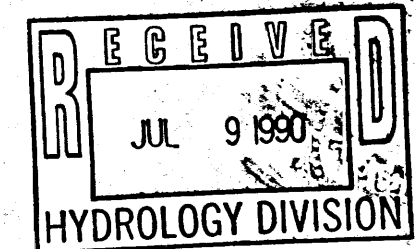
KEN TEKIN INC., GENERAL PARTNER-CENTRAL MOBILE HOME PARK
A NEW MEXICO GENERAL PARTNERSHIP (TRACTS G-1-A & H-1-A)
PHILLIP N. PAYNE GENERAL PARTNER PAYNE BROTHERS PROPERTIES (TRACT F-1)

ACKNOWLEDGEMENT

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) SS

The foregoing instrument was acknowledged before me this _____ day of _____, 1989.

Notary Public



APPROVALS:

DRB 89-306
7-20-89
7-20-89

Planning Director, City of Albuquerque, N.M.
Water Utilities, City of Albuquerque, N.M.
City Engineer, City of Albuquerque
A.M.A.F.C.A.
Traffic Engineer, City of Albuquerque, N.M.
Park and Recreation, City of Albuquerque, N.M.
Chief City Supervisor, City of Albuquerque, N.M.
Property Manager, City of Albuquerque, N.M.
Gas Company of New Mexico

CERTIFICATION

I, David C. Clausen, NMPS No. 6547, a Professional Surveyor under the laws of the State of New Mexico, do hereby certify that this plat was prepared by me or under my supervision; shows all easements noted in a title report prepared by Fidelity National Title Co., on August 1, 1985 (GF #24656, KP:CN); meets the minimum requirements of monumentation and surveys of the Albuquerque Subdivision Ordinance, and is true and correct of the best of my knowledge and belief.

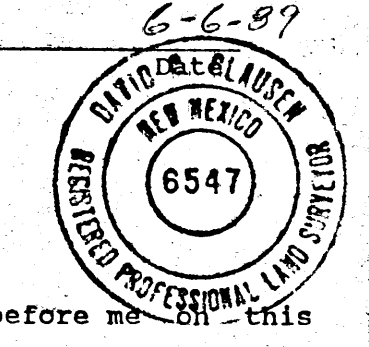
David C. Clausen
David C. Clausen, NMPS No. 6547

ACKNOWLEDGEMENT

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) SS

The foregoing instrument was acknowledged before me on this _____ day of _____, 1989.

Notary Public
My Commission Expires: _____



JEFF MORTENSEN & ASSOCIATES, INC.
811 DALLAS, N.E. ALBUQUERQUE, NM 87110
ENGINEERS & TELEPHONE (505) 265-5611

PLAT OF
TRACTS F-1, G-1-A, G-1-B, G-1-C & H-1-A
CANYON ACRES SUBDIVISION
ALBUQUERQUE, NEW MEXICO
JUNE, 1989

DESCRIPTION

A certain tract of land located within the Corporate Limits of the City of Albuquerque, New Mexico, comprising Tract F, Canyon Acres Subdivision, as shown on the plat filed in the Office of the County Clerk of Bernalillo County, New Mexico, on July 7, 1941, Book B, Page 181, and comprising Tracts G-1, and H-1, Canyon Acres Subdivision, as shown on the plat filed in the Office of the County Clerk of Bernalillo County, New Mexico, on November 21, 1985, Book C-28, Page 177, and being more particularly described as follows:

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DEDICATION AND FREE CONSENT

The undersigned owners of the land shown on this plat and do hereby dedicate the public right-of-way and grant the easements shown hereon including the rights of ingress and egress and the right to trim interfering trees.

KEN TEKIN INC., GENERAL PARTNER-CENTRAL MOBILE HOME PARK
A NEW MEXICO GENERAL PARTNERSHIP (TRACTS G-1-A & H-1-A)

PHILLIP N. PAYNE GENERAL PARTNER PAYNE BROTHERS PROPERTIES (TRACT F-1)

ACKNOWLEDGEMENT

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) SS

The foregoing instrument was acknowledged before me this

day of June, 1989

Notary Public

APPROVALS: DRB 89-306

Planning Director, City of Albuquerque, N.M. Date

Water Utilities, City of Albuquerque, N.M. Date

City Engineer, City of Albuquerque Date

A.M.A.F.C.A. Date

Traffic Engineer, City of Albuquerque, N.M. Date

Park and Recreation, City of Albuquerque, N.M. Date

Chief City Surveyor, City of Albuquerque, N.M. Date

Property Manager, City of Albuquerque, N.M. Date

Gos Company of New Mexico Date

CERTIFICATION

I, David C. Clausen, NMPS No. 6547, a Professional Surveyor under the laws of the State of New Mexico, do hereby certify that this plat was prepared by me or under my supervision; shows all easements noted in a title report prepared by Fidelity National Title Co., on August 1, 1985 (GF #24656, KP:CN); meets the minimum requirements of monumentation and surveys of the Albuquerque Subdivision Ordinance, and is true and correct of the best of my knowledge and belief.

David C. Clausen, NMPS No. 6547

ACKNOWLEDGEMENT

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) SS

The foregoing instrument was acknowledged before me this

day of June, 1989

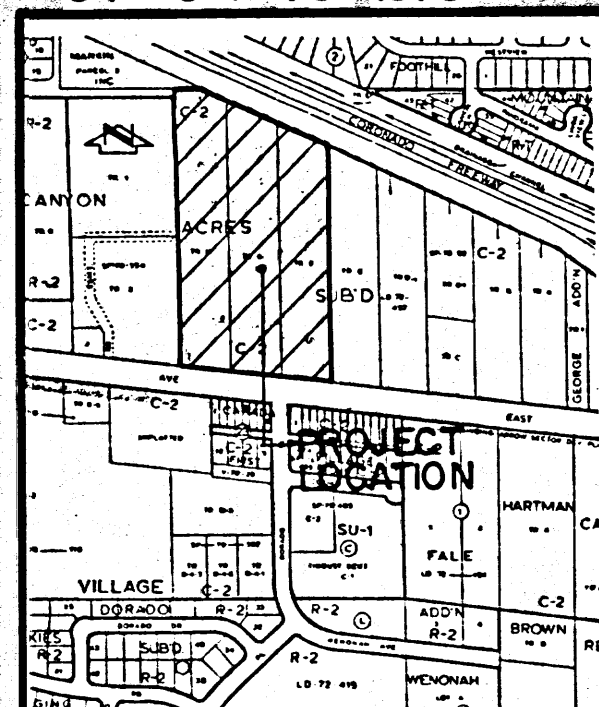
My Commission Expires:

OFFICIAL SEAL
JUL 19 1989
NOTARY PUBLIC STATE OF NEW MEXICO
My Commission Expires 1-1-90

JMA

JEFF MORTENSEN & ASSOCIATES, INC.
811 DALLAS, N.E. ALBUQUERQUE, NM 87110
ENGINEERS & TELEPHONE (505) 265-5611

J.M.A. JOB NO. B90551

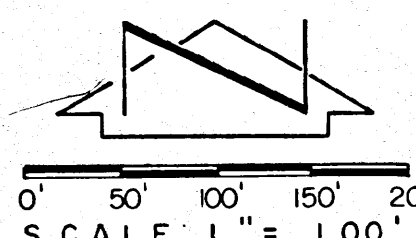


VICINITY MAP

SCALE: 1" = 800'

L-22

20'x30' CONSTRUCTION MAINTENANCE
AND ACCESS EASEMENT FOR BIKEWAY
FILED MARCH 23, 1982, BOOK MISC. 918
PAGES 580-585.



SCALE: 1" = 100'

CANYON ACRES SUBDIVISION
FILED 6-13-78
C13-125

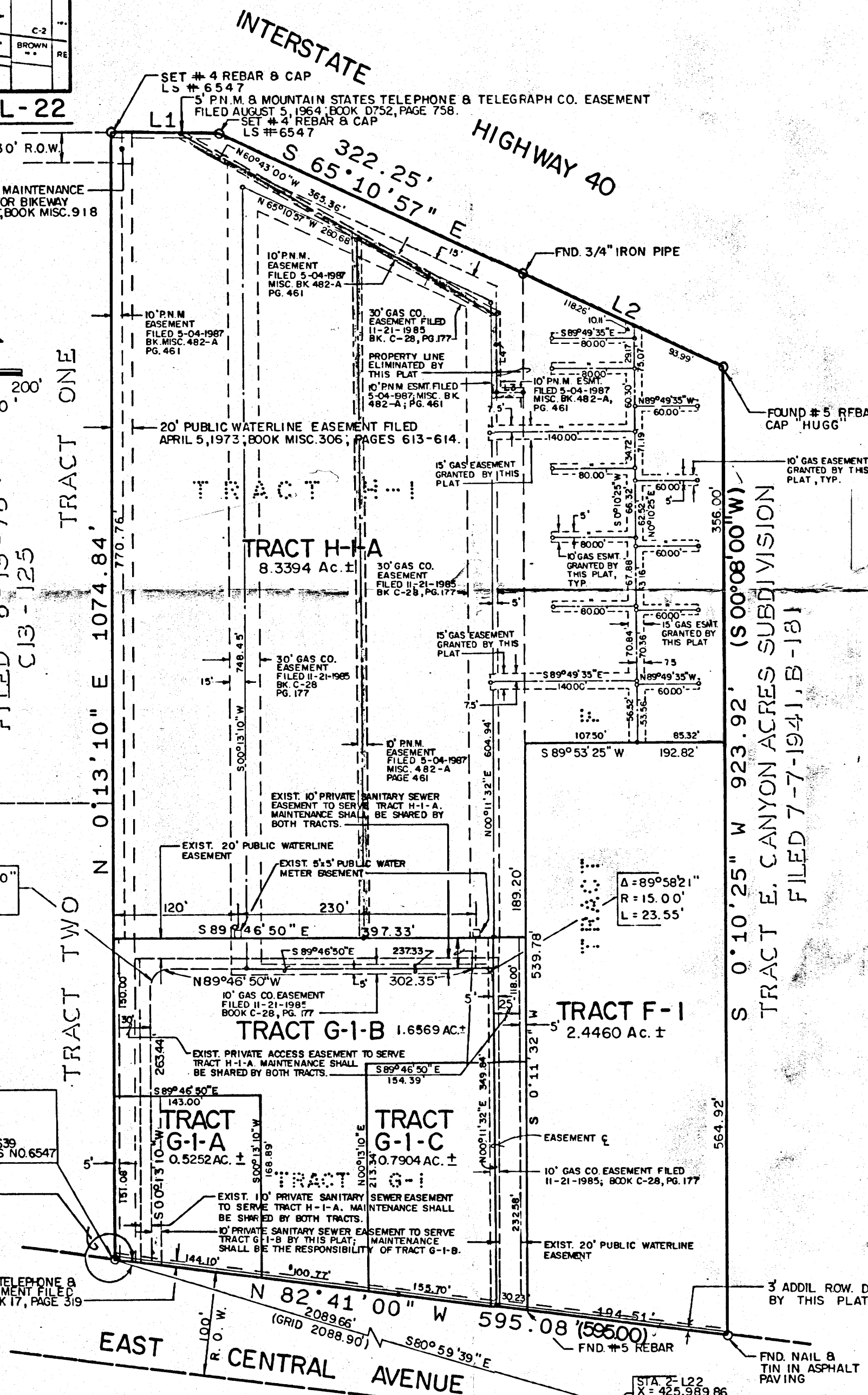
TRACT ONE
TRACT TWO

NM CENTRAL ZONE
X=423,926.71
Y=1,480,471.88
ΔK=-0°08'46"
COMB. FACTOR=0.999639
SET #4 REBAR NMLS NO. 6547

354° 41' 20"
(FIELD ANGLE)

6' MOUNTAIN STATES TELEPHONE &
TELEGRAPH CO. EASEMENT FILED
MARCH 10, 1931, BOOK 17, PAGE 319

LINE	BEARING	DISTANCE
L1	S 89°00'00" E	104.03
L2	S 65°01'18" E	212.26
L3	N 89°48'28" W	25.50
L4	N 00°11'32" E	77.00



Notes:

- A field survey was performed on 09-04-85.
- No street mileage was created.
- All distances are ground distances.
- Site located within Section 27, T10N, R4E, N.M.P.M.
- Bearing base is plat of TRACTS G-1 & H-1 filed November 21, 1985, Book C28, Page 177.
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- Tracts G-1-A, G-1-B and G-1-C shall share a reciprocal private access, parking, drainage and utility easement subject to existing easements and improvements of record affecting said property. The maintenance of this blanket easement shall be the responsibility of the owner of the land upon which the easement lies.
- Rotate plat bearings 03° 37' 19" counterclockwise to achieve grid bearings.

3 ADD'L ROW. DEDICATED
BY THIS PLAT

STA. 2+22
X=425,989.86
Y=1,480,444.90