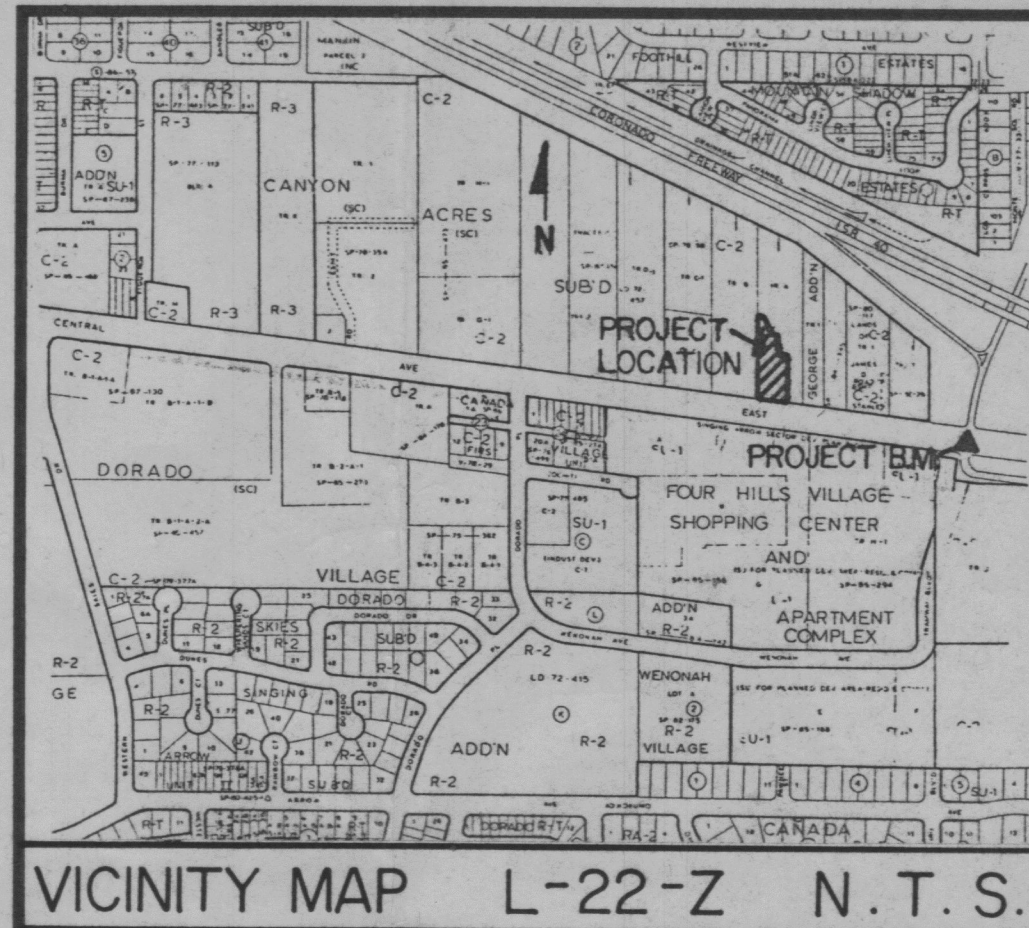




SCALE 1"=20'-0"

| LEGEND |                    |
|--------|--------------------|
|        | PROPOSED BUILDING  |
|        | TRANSITION AREA    |
|        | FLOW DIRECTION     |
|        | NEW ELEVATION      |
|        | EXISTING ELEVATION |
|        | RETAINING WALL     |
|        | EXISTING CONTOUR   |

#### GENERAL NOTES

**SITE DESCRIPTION:**  
 Present - The site in the past was developed and served as a gas station. The building has since been removed but a portion of pavement still remains. The Northwest corner of the site sits in a low spot and passes a portion of on-site flows to the adjacent property to the West. The remainder of the site allows storm run-off to discharge into Central Avenue. A thirty foot common access and utility easement is shared by this project site and adjacent property on the East. The easement conveys a portion of the storm run-off from the Eastern property to Central Avenue via asphalt swale.  
 Proposed - The project site will be developed to serve as a motel with drainage to Central Avenue. Storm run-off will be allowed to discharge freely into Central Avenue. Existing pavement will be removed.

FLOOD HAZARD ZONE: Zone C

SOIL TYPE: Tijeras gravelly fine sandy loam (Tg B) - Soil Group "B"

DRAINAGE AREA: Irregular shaped lot containing 0.6689 acres.

OFF-SITE DRAINAGE: Off-site drainage will enter from the Northeast and conveyed to Central Avenue via slotted drain and asphalt swale.

#### HYDROLOGY

Time of Concentration (Tc)  
 Length = 280 ft.  
 Slope = 4.75 %  
 Tc = 1.8 min.  
 V = 2.4 ft./sec.  
 Adjusted V = 1.2 ft./sec.  
 Adjusted Tc = 3.6 min.  
 Assume Tc = 10 min.  
 Six Hour Rainfall Depth from D.P.M.  
 10 Year = 1.6 in.  
 100 Year = 2.5 in.  
 Peak Rainfall Intensity  
 10 Year = 3.4 in./hr.  
 100 Year = 5.3 in./hr.

#### ON-SITE

Run-off Coefficients - "C" in Rational Formula  
 Existing Undeveloped = 24,882 s.f.; c = 0.40  
 Existing Streets, Drives and Walks = 4,203 s.f.; c = 0.95  
 Existing Landscaping = 52 s.f.; c = 0.25  
 Existing Condition Weighted = 29,137 s.f.; c = 0.48  
 Proposed Roof = 6,212 s.f.; c = 0.90  
 Proposed Streets, Drives and Walks = 20,863 s.f.; c = 0.95  
 Proposed Lawns and Landscaping = 2,062 s.f.; c = 0.25  
 Proposed Condition Weighted = 29,137 s.f.; c = 0.89

Run-off Curve Number (CN)  
 Existing Condition Imperviousness = 14.4 %  
 Proposed Condition Imperviousness = 92.9 %  
 Existing Condition CN = 80  
 Proposed Condition CN = 92

#### OFF-SITE

Existing Undeveloped = 9,000 s.f.; c = 0.40  
 Existing Streets, Drives and Walks = 77,700 s.f.; c = 0.95  
 Existing Landscaping = 33,224 s.f.; c = 0.25  
 Existing Roof = 17,037 s.f.; c = 0.90  
 Existing Condition Weighted = 136,961 s.f.; c = 0.74

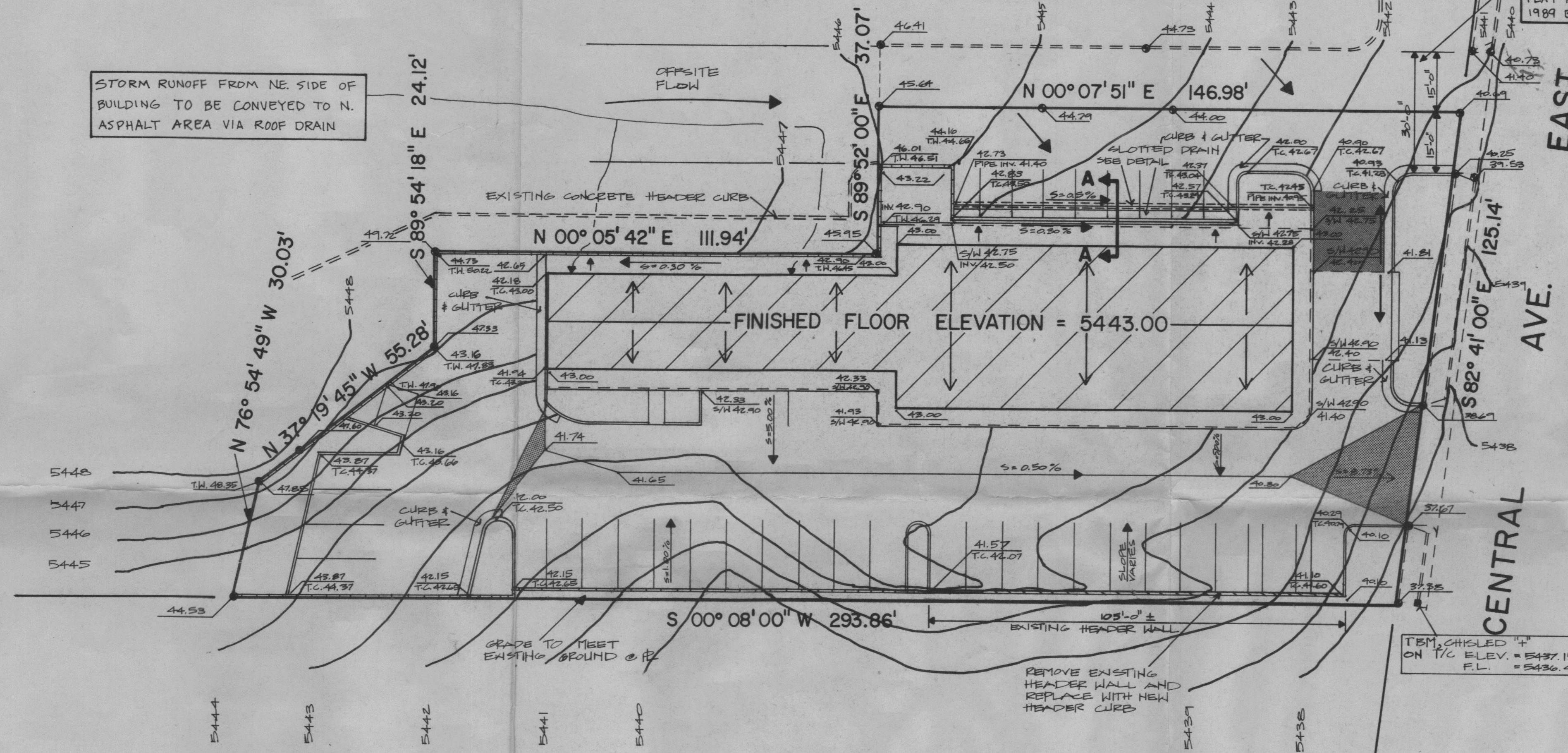
#### Run-off Curve Number (CN)

Existing Condition Imperviousness = 69 %  
 Existing Condition CN = 92

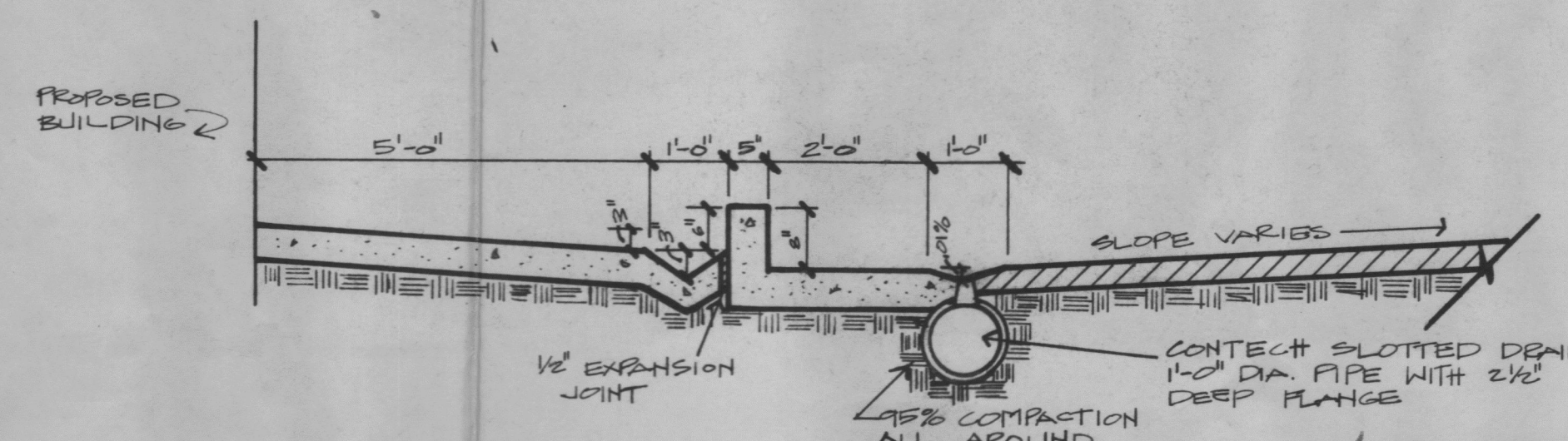
#### RESULTS

|                         | Return Period | Existing Condition | Proposed Condition |
|-------------------------|---------------|--------------------|--------------------|
| <b>ON-SITE</b>          |               |                    |                    |
| Run-off Volume (c.f.)   | 10-Year       | 850                | 2,084              |
|                         | 100-Year      | 2,186              | 4,128              |
| Peak Discharge (c.f.s.) | 10-Year       | 1.1                | 2.0                |
|                         | 100-Year      | 1.7                | 3.2                |
| <b>OFF-SITE</b>         |               |                    |                    |
| Run-off Volume (c.f.)   | 10-Year       | 9,701              | ---                |
|                         | 100-year      | 19,403             | ---                |
| Peak Discharge (c.f.s.) | 10-Year       | 7.9                | ---                |
|                         | 100-year      | 12.3               | ---                |

### TRACT "I-B" CANYON ACRES SUBDIVISION



### TRACT "B" CANYON ACRES SUBDIVISION



SECTION A - A  
 SCALE 1"=2'-0"

#### HYDROLOGY APPROVAL & INSPECTION

APPROVED FOR BUILDING PERMIT  
 ENGINEER DATE  
 INSPECTION REQUESTED DATE 4-9-90  
 APPROVAL DATE 4-5-90 DEAPPROVED  
 S012 APPROVAL DATE N/A  
 SURVEY DATE N/A  
 HYDROLOGY BOOK NO./PAGE NO.  
 SURVEYED BY  
 COMMENTS

#### LEGAL DESCRIPTION:

TRACT "A-I" PER PLAT CANYON ACRES SUBDIVISION

#### BENCH MARKS:

CONTROL: BENCH MARK IS AN ACS BRASS TABLET STAMPED "2-L22 1975 ACS" POSTION STATION IS 101.5 ft. WEST OF CENTERLINE ON TRAMWAY RD. AND 5.5 ft. NORTH OF CENTER LINE ON CENTRAL AVE., LATITUDE 35° 04' 5.36727, LONGITUDE 106° 29' 50.40405"

M.S.L. = 5659.963

DESIGNED BY:

RQ

DRAWN BY:

GC

CHECKED BY:

ED

DATE:

SEPT. 1989

TRAVELODGE  
 MOTEL  
 GRADING and  
 DRAINAGE PLAN

OCT 1 1989  
 HYDROLOGY SECTION

Resource Technology, Inc.  
 1000 UNIVERSITY AVENUE, SUITE 200, ALBUQUERQUE, NEW MEXICO 87102  
 TELEPHONE - (505) 345-3115