

November 3, 1997

Martin J. Chávez, Mayor

Kevin Patton, P.E.
Bohannon Huston, Inc.
7500 Jefferson NE
Albuquerque, NM 87109

RE: *ANTIQUE MALL (L22-D54). GRADING AND DRAINAGE PLAN FOR BUILDING PERMIT APPROVAL. ENGINEER'S STAMP DATED 10-13-97.*

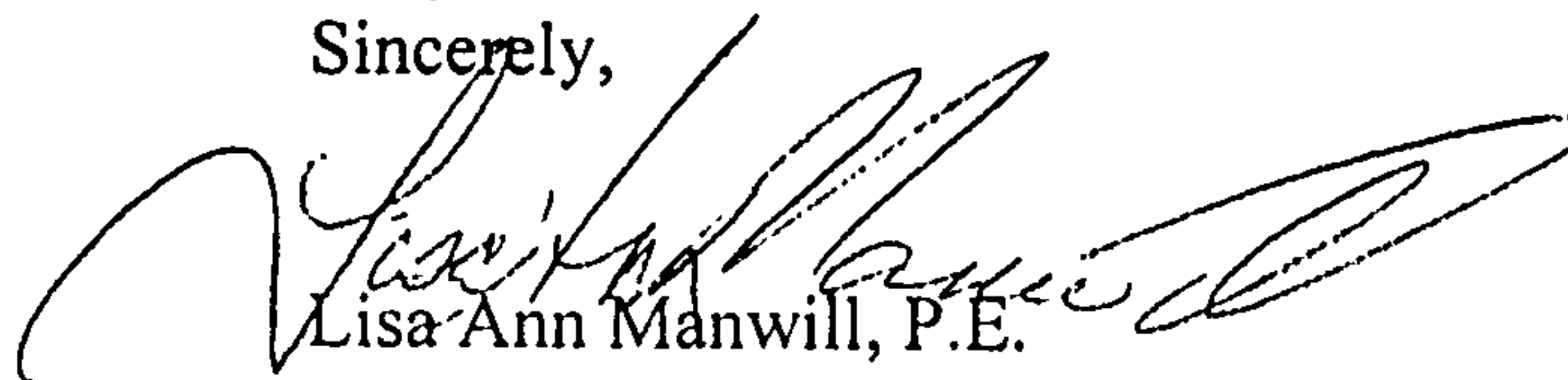
Dear Mr. Patton:

Based on the information provided on your October 15, 1997 submittal, the above referenced project is approved for Building Permit.

Prior to Certificate of Occupancy approval, and Engineer's Certification will be required.

If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,



Lisa Ann Manwill, P.E.
Hydrology

c: Andrew Garcia

File



DRAINAGE INFORMATION SHEET

PROJECT TITLE: ANTIQUE MALL ZONE ATLAS/DRNG. FILE # L-22/D53 ^{D54}DRB #: NA EPC #: NA WORK ORDER #: NALEGAL DESCRIPTION: TRACK K-5 CANYON ACRES DEVELOPMENTCITY ADDRESS: CENTRAL BLVD JUNKYARD & TRAMWAY
AVEENGINEERING FIRM: BOHANNAN-HUSTON INC.ADDRESS: 7500 JEFFERSON NE, ALB. NM 87109OWNER: JOHN CLARKEADDRESS: 6060 SAN MATEO

ARCHITECT: _____

ADDRESS: _____

SURVEYOR: _____

ADDRESS: _____

CONTRACTOR: _____

ADDRESS: _____

CONTACT: KEVIN PATTONPHONE: (505) 823-1000CONTACT: John ClarkePHONE: 880-1100

CONTACT: _____

PHONE: _____

CONTACT: _____

PHONE: _____

CONTACT: _____

PHONE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN
☒ FINAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION
☐ OTHER

PRE-DESIGN MEETING:

- ☐ YES
☐ NO
☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☒ FINAL PLAT APPROVAL
☒ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY APPROVAL
☒ GRADING PERMIT APPROVAL
☒ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☐ OTHER _____ (SPECIFY)

DATE SUBMITTED: _____

BY: _____



October 15, 1997

BOHANNAN HUSTON

Courtyard One

7500 JEFFERSON NE

Albuquerque

NEW MEXICO 87109

voice 505.823.1000

fax 505.821.0892

Lisa Ann Manwill, P.E.
City of Albuquerque
Hydrology Division/PWD
P.O. Box 1293
Albuquerque, NM 87102

Re: Antique Mall - Grading and Drainage Plan Revisions, (COA Drainage File No. L22/D53)

Dear Lisa:

The purpose of this letter is to respond to your comments and request final approval of the enclosed grading and drainage plan. Below I have addressed the comments from your letter dated September 9, 1997.

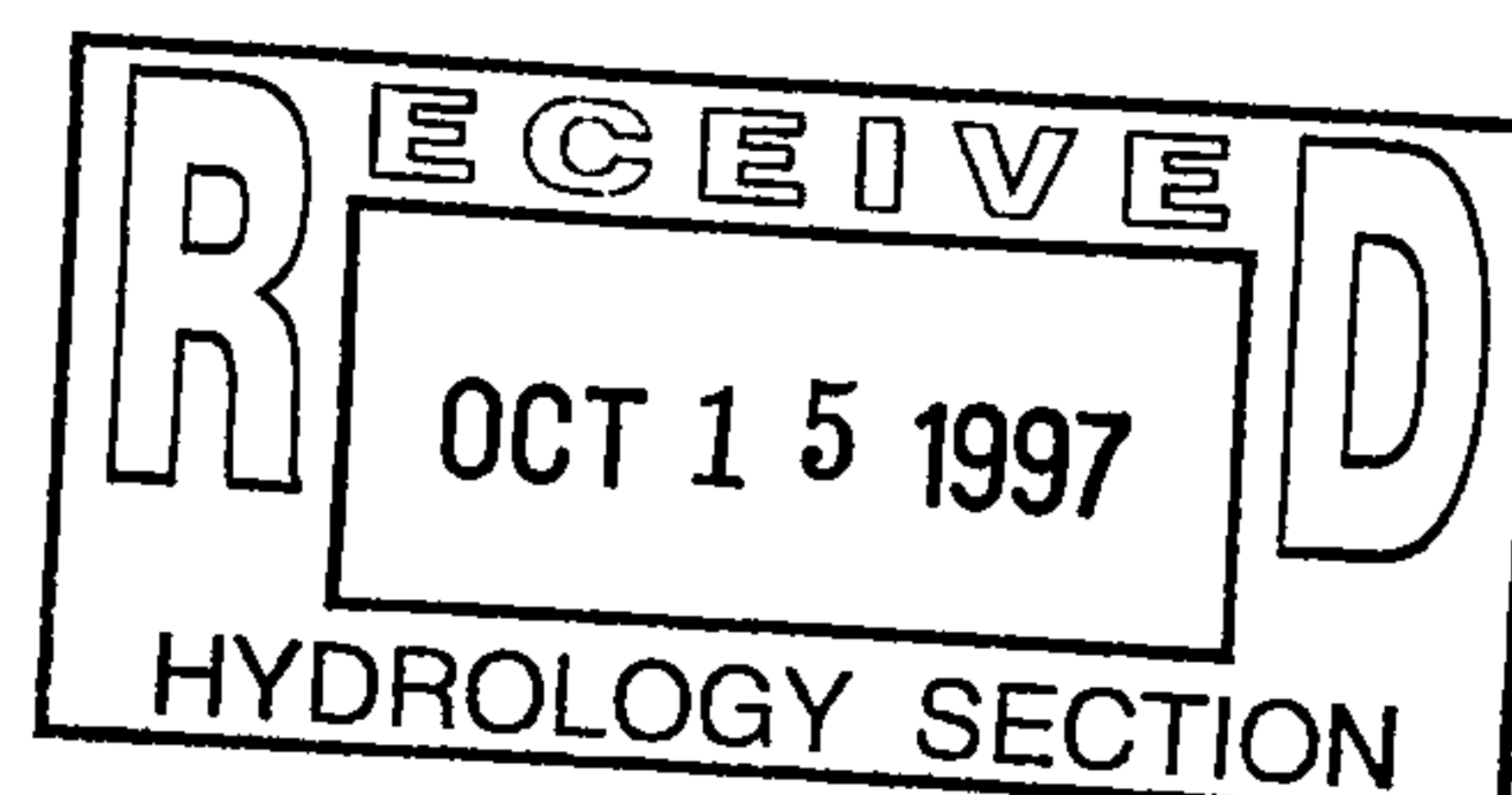
As requested, I have provided grades on the east driveway. The elevation of the driveway at the right-of-way line is at least one foot above the flow line. This driveway allows storm water to flow into Central Avenue.

I have lowered the west drive entrance so that it does not exceed four percent (4%). A curb along the west side of the drive provides the necessary protection from flows in Central Avenue.

I referenced the Drainage Master Plan in my first submittal. It is hard to find but you can find it located in the notes section of my discharge tables. The approved **Master Drainage Plan for Tract K, Canyon Acres Development** was prepared by Jeff Mortensen & Associates, Inc. Engineer's stamp dated March 6, 1995 allows for free discharge. The DMP information was provided with COA Project #5227.90. I am enclosing a copy of this with this letter.

As shown on the grading plan, the natural (or existing) contours along the eastern boundary indicate that the off-site flows were, at one time, routed along the boundary toward Central Avenue through TEXACO's driveway. The flow is quickly intercepted by a type "C" double grate inlet in Central Avenue just beyond the TEXACO drive pad.

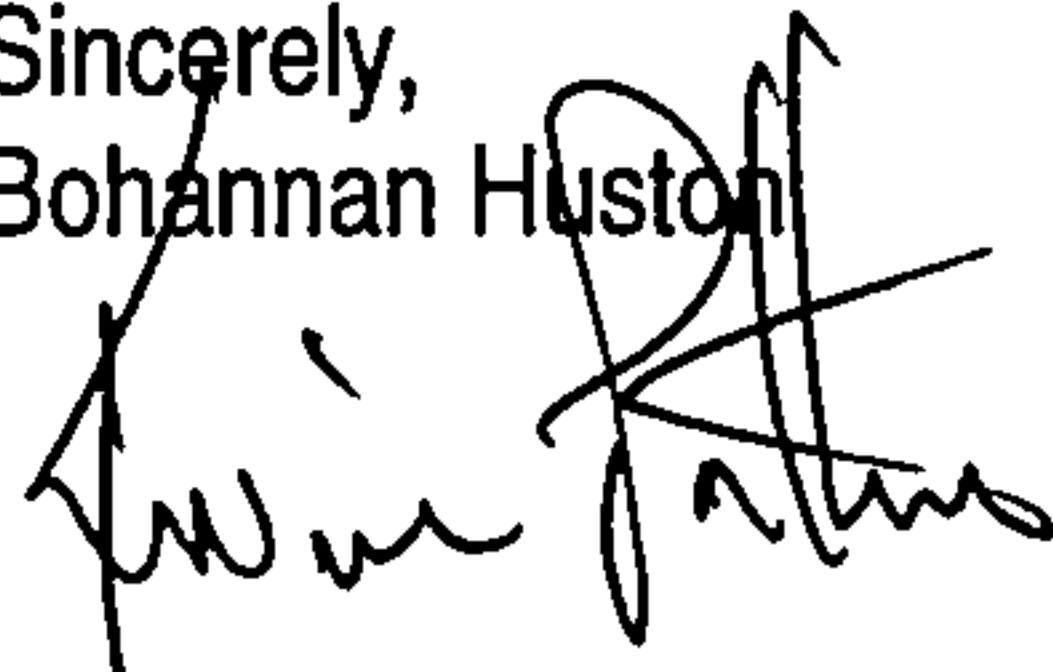
After visiting the site, it is apparent that the existing berm along this boundary has been breached and now allows flows to cross the site. We propose to re-establish the pervious routing by providing curb and gutter and pavement which will direct off site flows along the eastern boundary.



Lisa Ann Manwill, P.E.
October 15, 1997
Page 2

I am enclosing a revised grading and drainage plan which encompasses the above revision. I would appreciate your review and acceptance of this enclosed plan. If you have any questions or require additional information, please give me a call at 823-1000.

Sincerely,
Bohannon Huston

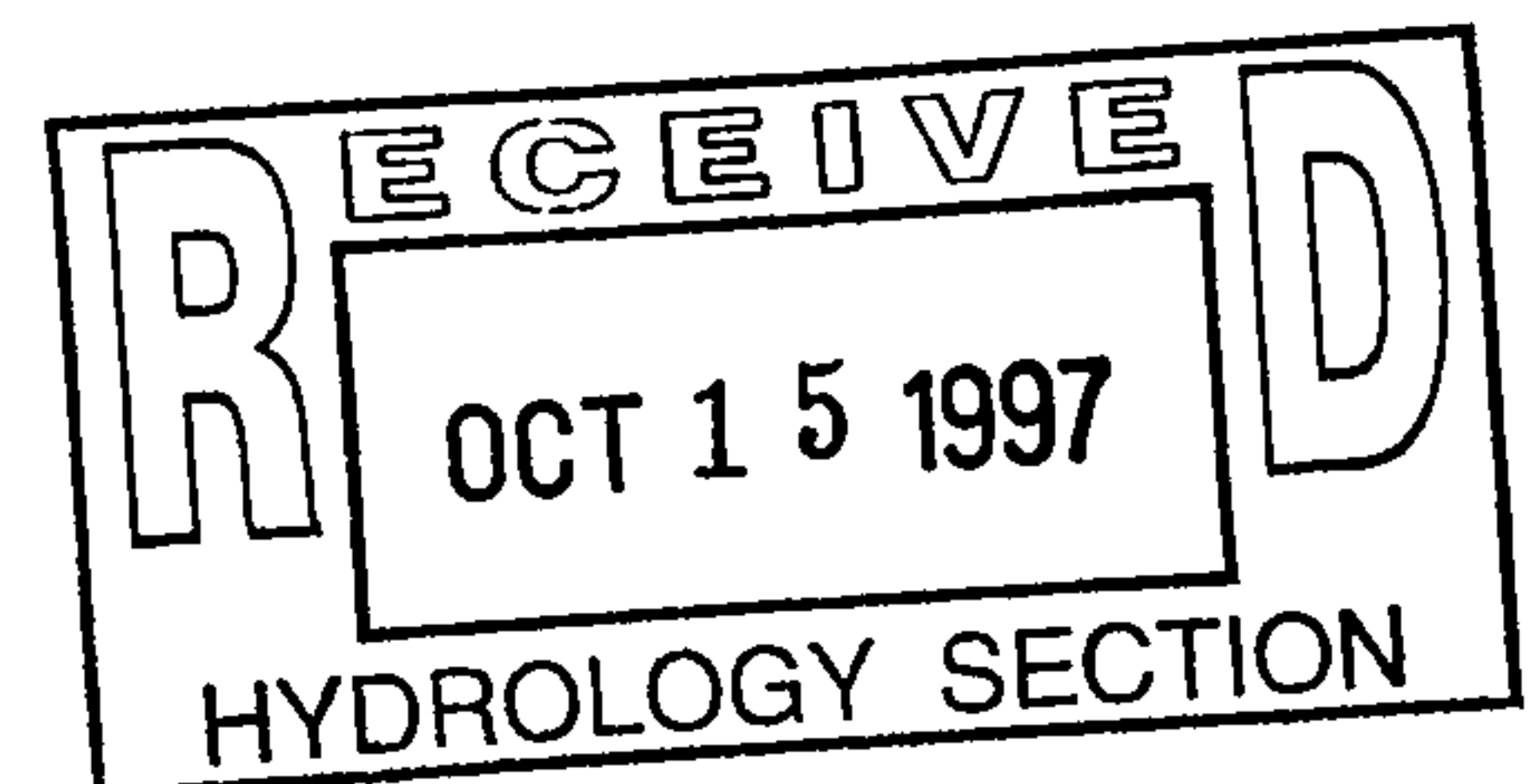


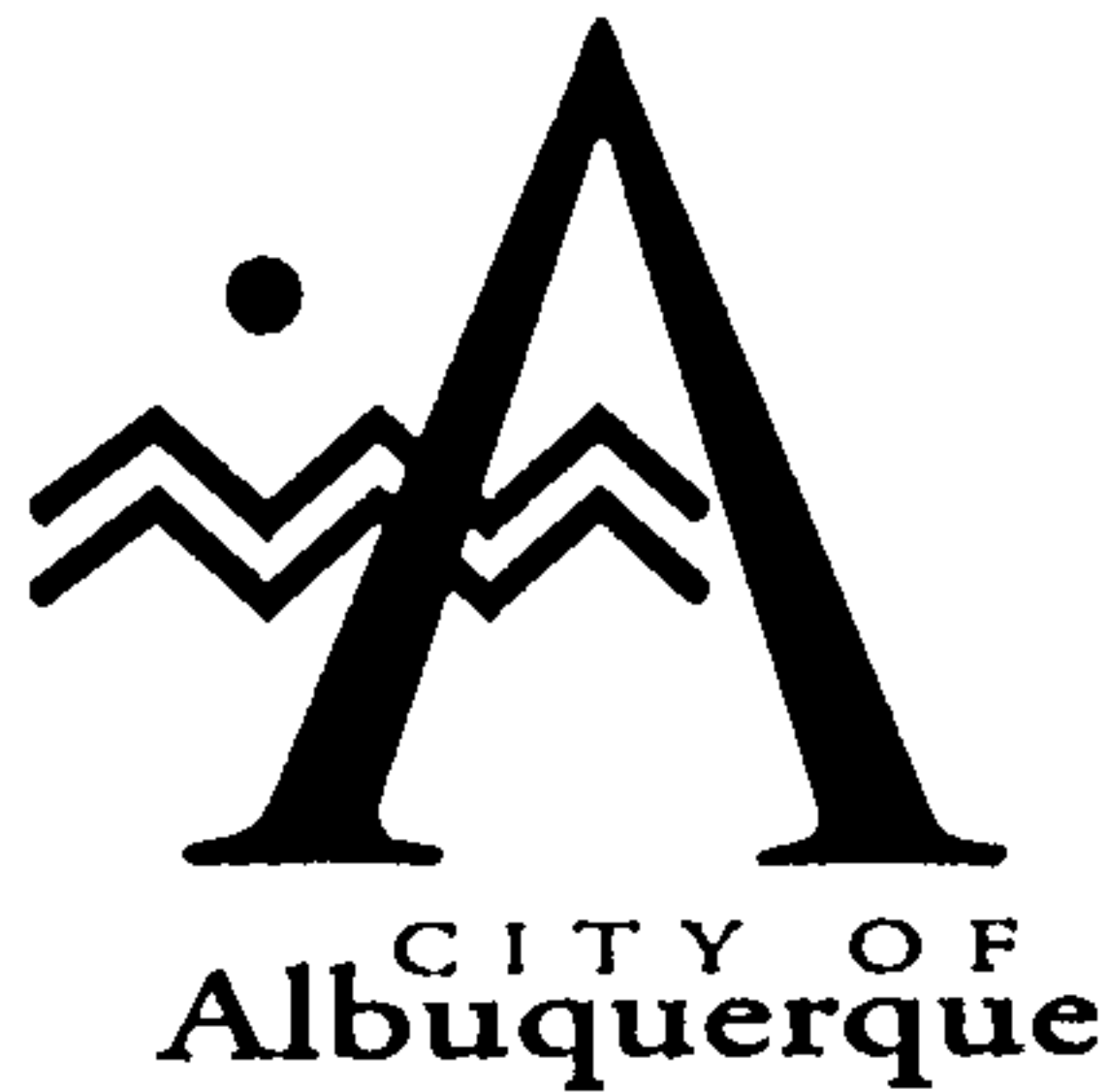
Kevin Patton, P.E.
Project Manager
Community Development and Planning Group

KP/hjh

Enclosure

cc: Ross Small, Architects Studio
John Clarke, Owner





September 9, 1997

Martin J. Chávez, Mayor

Kevin Patton, P.E.
Bohannon-Huston Inc.
7500 Jefferson NE
Albuquerque, NM 87109

**RE: *ANTIQUE MALL (L22-D54). GRADING AND DRAINAGE PLAN FOR
FOUNDATION, BUILDING, GRADING AND PAVING PERMIT APPROVALS.
ENGINEER'S STAMP DATED AUGUST 27, 1997.***

Dear Mr. Patton:

Based on the information provided on your August 29, 1997 submittal, City Hydrology has the following comments:

1. Provide grades on the east driveway. A one foot water block is required.
2. The grade on the west drive may be too steep. Check with the Transportation Division.
3. I assume that free discharge is allowed from this site. Please submit relevant information from the approved master plan demonstrating allowable discharge.
4. Provide relevant information from the approved master plan that discusses the re-routing of offsite flow.

If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,

Lisa Ann Manwill, P.E.
Hydrology

c: Andrew Garcia

File



PROJECT TITLE: ANTIQUE Map ZONE ATLAS/DRNG. FILE # L-22-Z 5A

LEGAL DESCRIPTION: TRACT 45 CANTON ACRES

CITY ADDRESS: 12815 CENTRAL AVE.

CONTACT: Kevin Patton

PHONE: (505) 823-1000

CONTACT: JOHN CLARK

PHONE: 888-1100

CONTACT: Ross Small

PHONE: 889-3030

CONTACT:

PHONE: _____

CONTACT:

PHONE: _____

CHECK TYPE OF APPROVAL SOUGHT:

_____ SKETCH PLAT APPROVAL
 _____ PRELIMINARY PLAT APPROVAL
 _____ S. DEV. PLAN FOR SUB'D. APPROVAL
 _____ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
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☒ GRADING PERMIT APPROVAL
☒ PAVING PERMIT APPROVAL
 _____ S.A.D. DRAINAGE REPORT
 _____ DRAINAGE REQUIREMENTS
 _____ OTHER **RECEIVED** (SPECIFY)

☒ GRADING PERMIT APPROVAL
☒ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☐ OTHER **RECEIVED** (SPECIFY)

☒ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☐ OTHER **RECEIVED** (SPECIFY)

HYDROLOGY SECTION

HYDROLOGY SECTION

RECEIVED (SPECIFY)
AUG 29 1997
HYDROLOGY SECTION