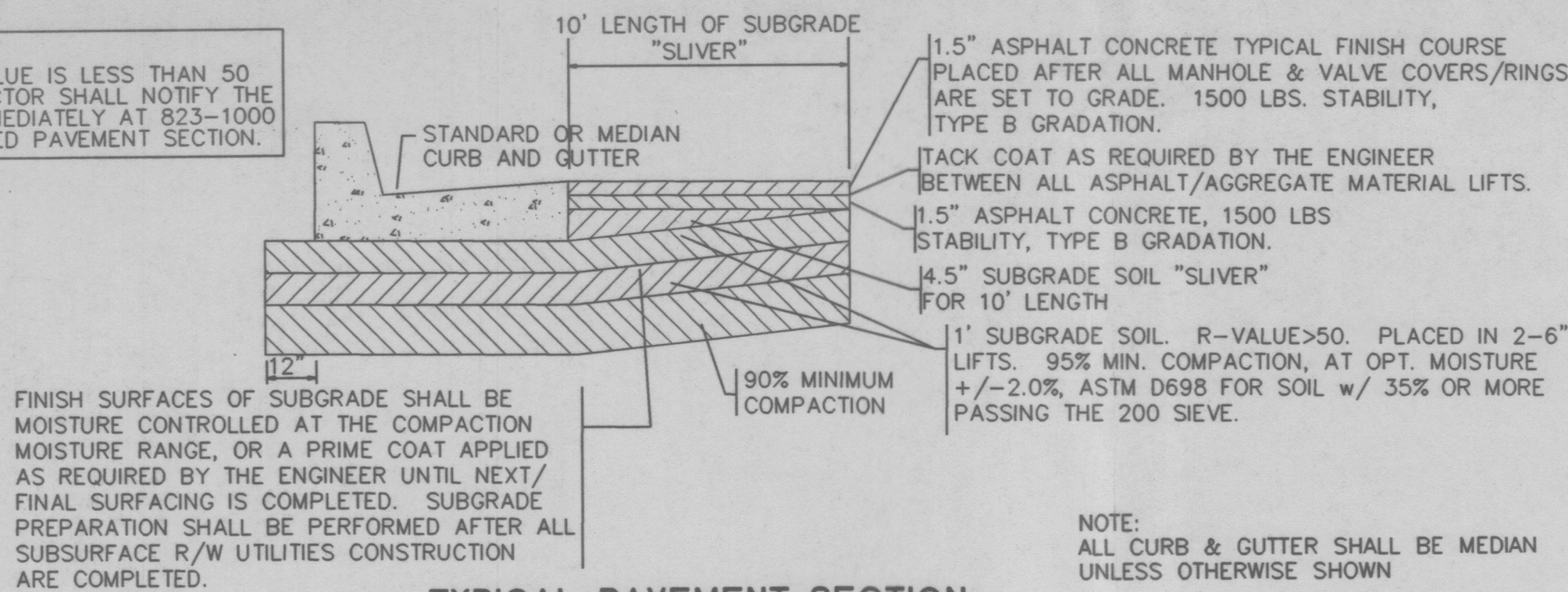
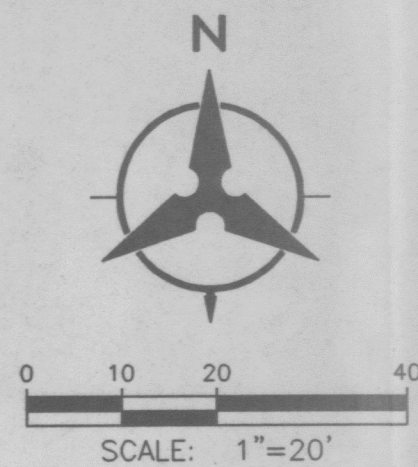


NOTE:
IF THE R-VALUE IS LESS THAN 50
THE CONTRACTOR SHALL NOTIFY THE
ENGINEER IMMEDIATELY AT 823-1006
FOR A REVISED PAVEMENT SECTION.



TYPICAL PAVEMENT SECTION
NO SCALE (REFER TO COA STD DWG 2405)

NOTE:
ALL CURB & GUTTER SHALL BE MEDIAN
UNLESS OTHERWISE SHOWN

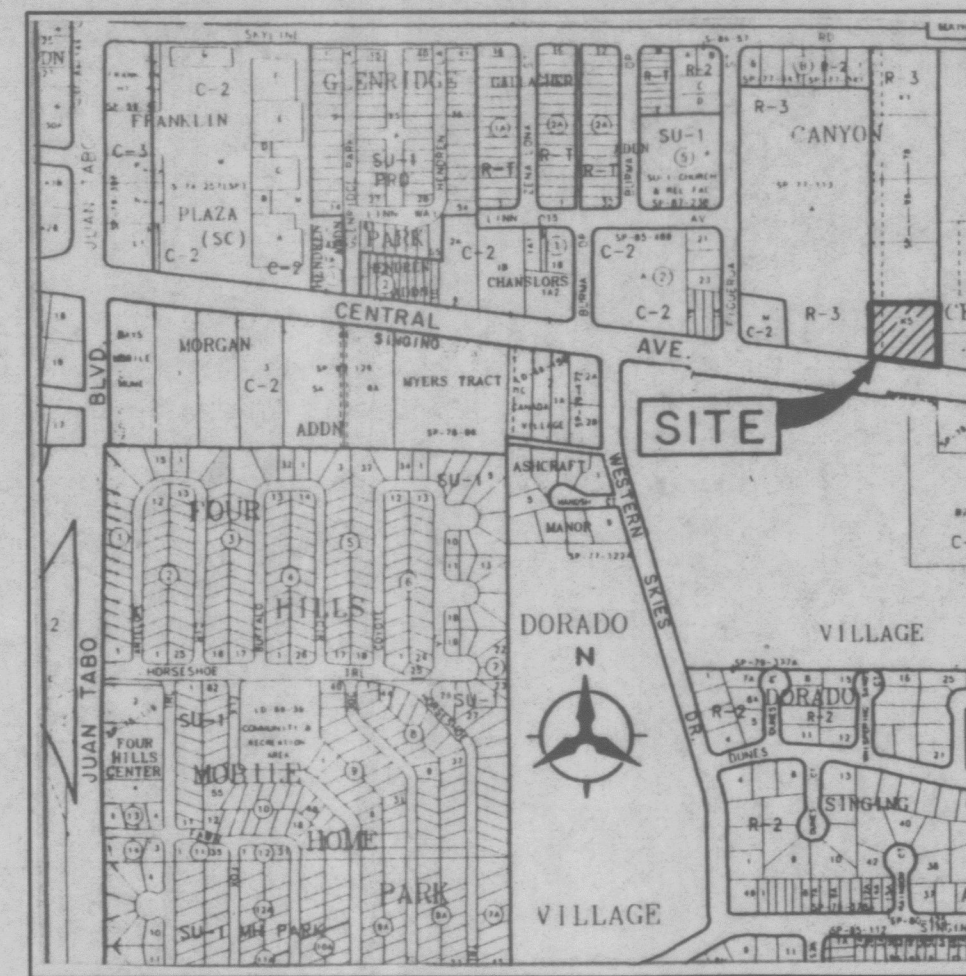


GENERAL NOTES

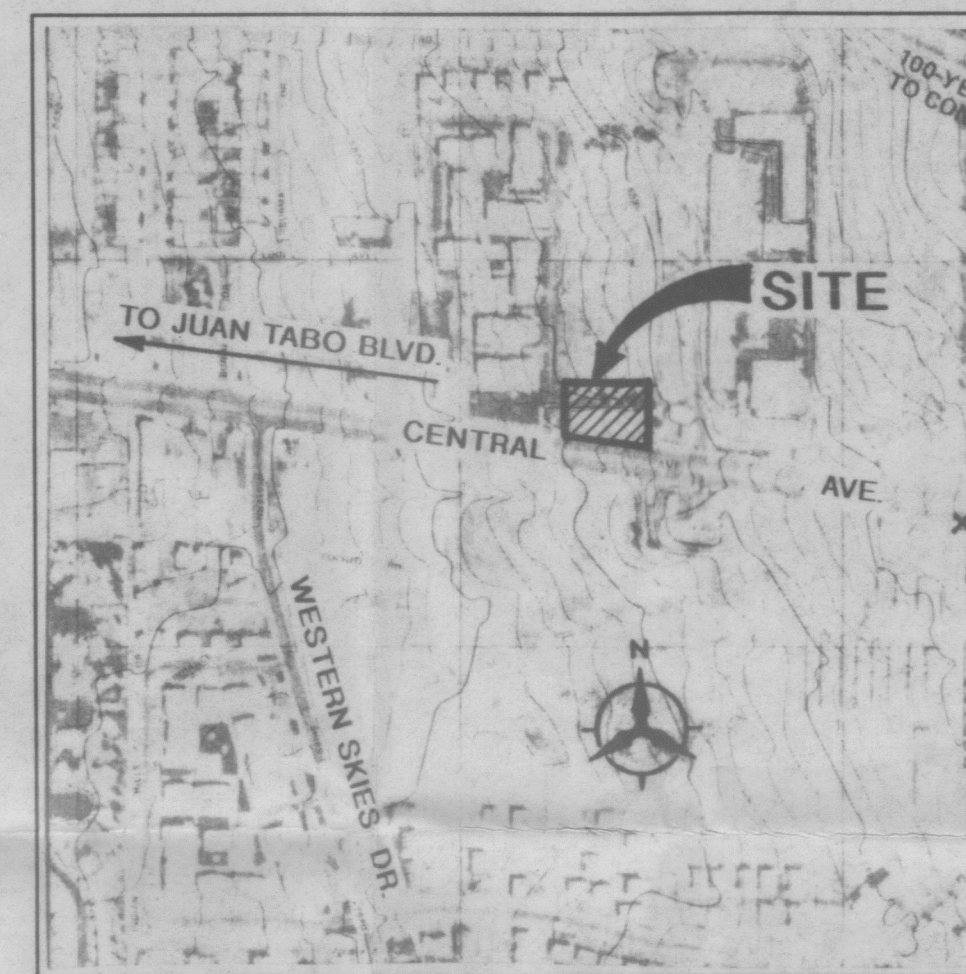
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2. THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS.
3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
4. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
5. ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
6. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
7. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
8. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
9. THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, ETC.).
10. ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
11. THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
12. ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
13. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE END AND BEGINNING OF EACH DAY.
14. BENCHMARK: ACS MONUMENT 4-L22 ELEVATION 5583.83'
15. REMOVE AND REPLACE EXISTING FENCE AT OWNERS DIRECTION.
16. PROVIDE 6" MEDIAN CURB AND GUTTER AS PER C.O.A. STD. DWG. 2415 UNLESS OTHERWISE NOTED IN PLANS.

GRADING NOTES

1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
2. CONTRACTOR SHALL OBTAIN AND ABIDE BY A TOPSOIL DISTURBANCE PERMIT FROM THE CITY OF ALBUQUERQUE. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
4. TWO WORKING DAYS PRIOR TO EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE (765-1264) FOR LOCATION OF EXISTING UTILITIES.
5. PRIOR TO GRADING, ALL VEGETATION, DEBRIS, AND NEAR SURFACE ORGANICALLY CONTAMINATED SOIL SHALL BE STRIPPED FROM ALL AREAS TO BE GRADED. VEGETATION AND DEBRIS SHALL BE DISPOSED OF OFF-SITE. TOPSOIL STRIPPINGS SHALL BE DISPOSED OF OFF-SITE OR STOCKPILED FOR USE IN PLANTERS AND NON-STRUCTURAL FILLS.
6. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
7. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
8. CONTRACTOR SHALL RESEED ALL DISTURBED AREAS PER COA STANDARD SPECIFICATIONS 1012.
9. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AT THE PROPERTY LINES PER DETAIL ON THIS SHEET AND WETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
10. A DISPOSAL SITE FOR ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL SITE AND HAUL THERETO SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
11. PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
12. ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND ARE ADJUSTED FOR CURBS, MEDIANS AND ISLANDS.



VICINITY MAP
NOT TO SCALE
ZONE ATLAS MAP L-22-Z



FLOOD MAP
NOT TO SCALE
FEMA PANEL 37 OF 50



SOILS MAP
SOILS SURVEY - BERNALILLO COUNTY
PAGE 32

NOTE: A COPY CAN BE OBTAINED BY THE OWNER.

LEGAL DESCRIPTION

TRACT K-5, CANYON ACRES

ARCHITECTS STUDIO, LLC
MARK ESHELMAN
ROSS SMITH
4300 Corliss Blvd, NE, Suite Five
Albuquerque, New Mexico 87107
(505) 889-3030 FAX (505) 889-3737

General Notes



Legend

- PROPERTY LINE
- EXISTING CONTOUR
- EXISTING SWALE
- EXISTING EASEMENT
- EXISTING CURB AND GUTTER
- EXISTING BUILDING
- PROPOSED CONTOUR
- PROPOSED CURB
- PROPOSED SPOT ELEVATION
TC=TOP OF CURB, FL=FLOW LINE
- PROPOSED CUT-OFF WALL
- PROPOSED DIRECTION OF FLOW
- EXISTING MANHOLE
- EXISTING WATER VALVE
- TELEPHONE PEDESTAL
- TRAFFIC SIGNAL BOX
- EXISTING POWER POLE
- EXISTING SPOT ELEVATION

THESE DOCUMENTS WERE PREPARED FOR THIS SPECIFIC PROJECT ONLY. ARCHITECTS STUDIO LLC LIMITS ITS LIABILITY TO THIS SPECIFIC PROJECT, AND DOES NOT EXTEND TO REUSE OF THESE DOCUMENTS FOR OTHER PROJECTS.

Bohannon & Huston

Courtyard One
7500 JEFFERSON NE
Albuquerque
NEW MEXICO 87109

ENGINEERS PLANNERS PHOTOGRAMMETRISTS
SURVEYORS LANDSCAPE ARCHITECTS

Drawn By — BJB
Checked By — KP
Proj No —
Date — 10/07/97
Filename — ANTIO-GRDING2.DWG

Consultant — Architect/Engineer

GRADING AND DRAINAGE
PLAN

Sheet Title — C1

X of X

TYPICAL EROSION CONTROL SECTION

NO SCALE
A BERM WITH THE DIMENSIONS SHOWN SHALL BE MAINTAINED DURING CONSTRUCTION UNTIL COMPLETION OF INDIVIDUAL HOMES WITHIN THE PROJECT. SEE TYPICAL LOT GRADING PLAN THIS SHEET FOR LOCATION

EROSION CONTROL NOTES

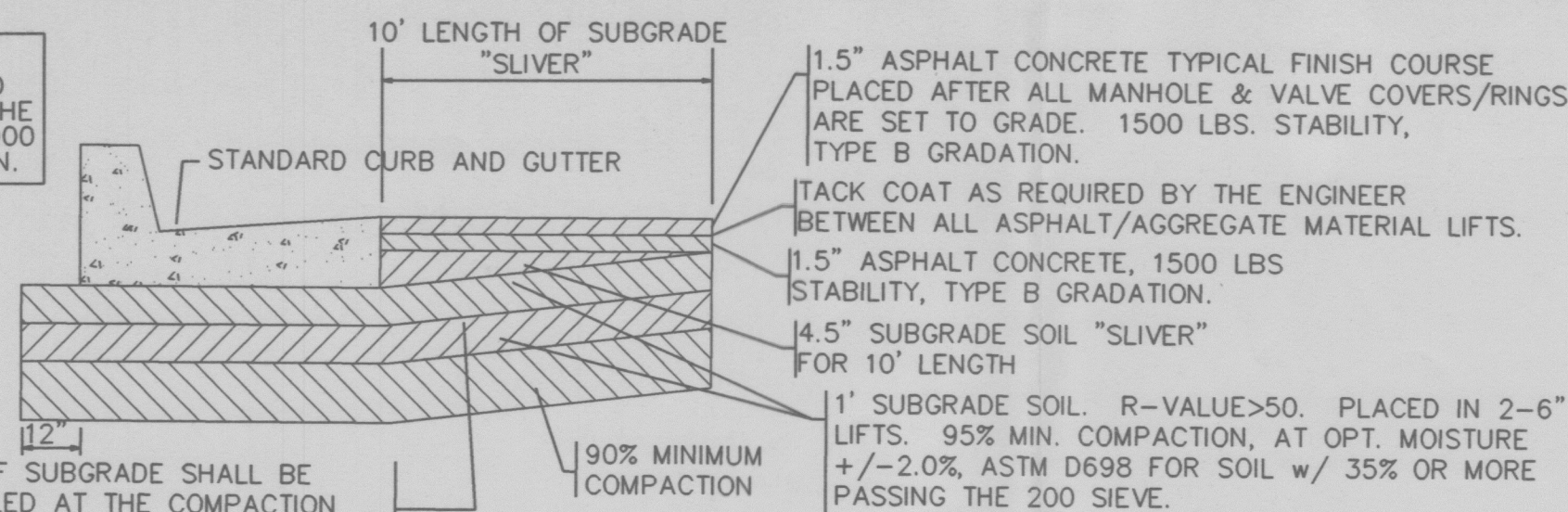
1. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT EXCAVATED MATERIALS ARE NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
2. DURING THE MONTHS OF JULY, AUGUST OR SEPTEMBER, ANY GRADING WITHIN OR ADJACENT TO A WATERCOURSE DEFINED AS A MAJOR FACILITY SHALL PROVIDE FOR EROSION CONTROL AND SAFE PASSAGE OF THE 10-YEAR DESIGN STORM RUNOFF DURING THE CONSTRUCTION PHASE.
3. CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST CONTROL REQUIREMENTS AND IS RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
4. ALL GRADED AREAS WHICH DO NOT RECEIVE A FINAL SURFACE TREATMENT WILL BE REVEGETATED IN ACCORDANCE WITH THE LANDSCAPE SPECIFICATIONS AND WITH THE REVEGETATION SEEDING SPECIFICATIONS.

TRACT K-5 UNDEVELOPED CONDITIONS									
BASIN	AREA (ACRES)	% LAND TREATMENT*				ZONE 4 PEAK DISCHARGE - (CFS/ACRE)**			
		A	B	C	D	A	B	C	D
On-Site	0.85	75.00	20.00	0.00	5.00	2.20	2.92	3.73	5.25

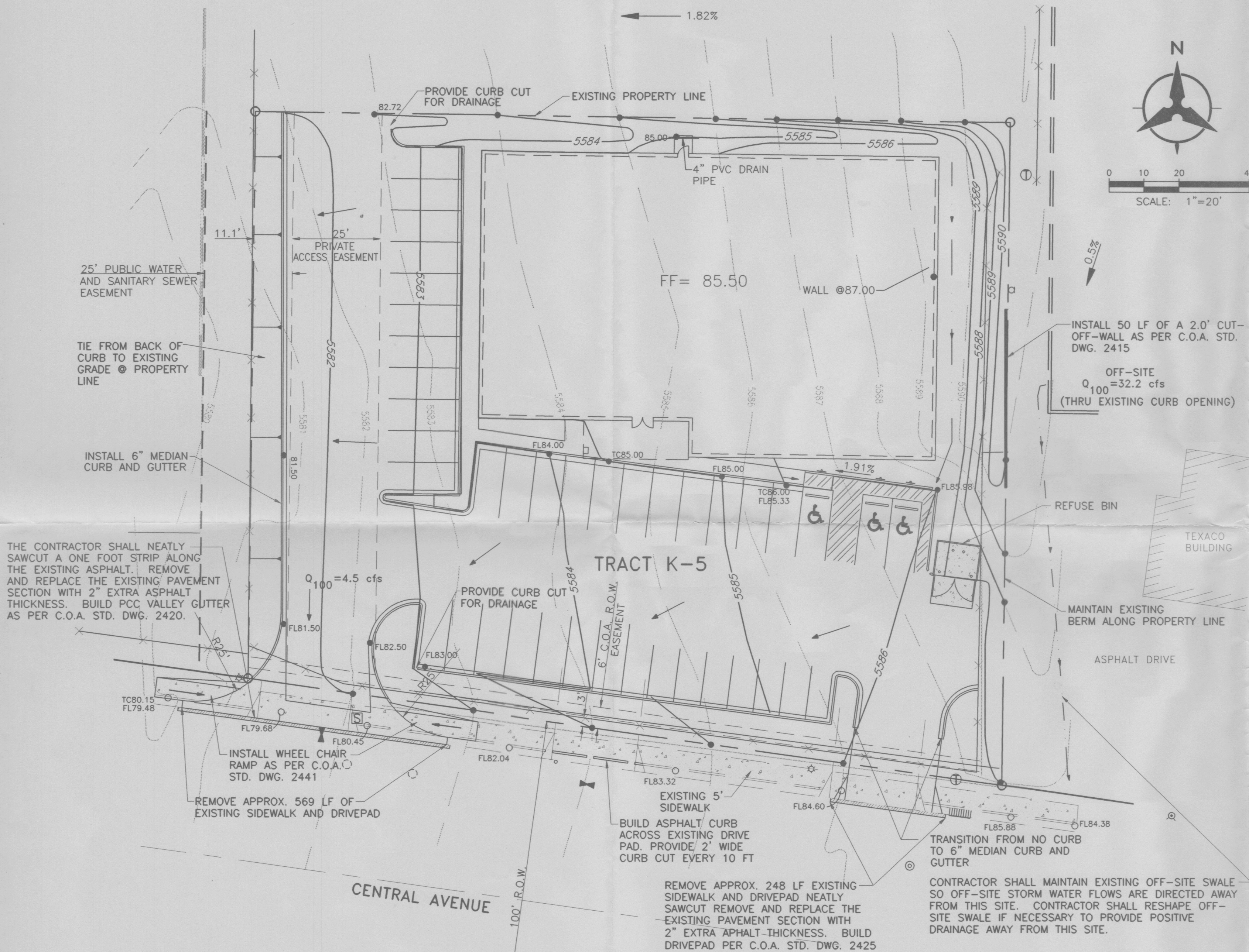
TRACT K-5 DEVELOPED CONDITIONS									
BASIN	AREA (ACRES)	% LAND TREATMENT*				ZONE 4 PEAK DISCHARGE - (CFS/ACRE)**			
		A	B	C	D	A	B	C	D
On-Site	0.85	0.00	0.00	15.00	85.00	2.20	2.92	3.73	5.25

- NOTES:
1. Obtained from Section 22.2, Hydrology of the Development Process Manual, Volume 2, Design Criteria for the City of Albuquerque, January, 1993. * Table A-4 ** Table A-9
 2. This Grading and Drainage Plan is in conformance with the approved Master Drainage Plan for Tract K, Canyon Acres Development, prepared by Jeff Mortensen & Associates, Inc. Engineers Stamp Dated 3/06/95. DMP information provided with COA Project # 5227.90. Zone Atlas L-22.
 3. Off-Site storm water flows ~32.2 cfs (east of the proposed site) have been redirected south to Central Avenue along the eastern boundary. Field inspection of this site indicates that the existing berm along the eastern edge has been compromised which now allows the storm water to flow across the site from east to west. This plan constructs a cut-off wall along the eastern edge to reinforce redirecting flows away from this site.

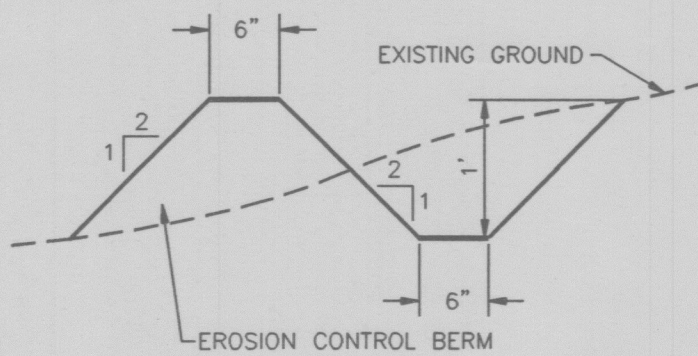
FINISH SURFACES OF SUBGRADE SHALL BE MOISTURE CONTROLLED AT THE COMPACTION MOISTURE RANGE, OR A PRIME COAT APPLIED AS REQUIRED BY THE ENGINEER UNTIL NEXT/FINAL SURFACING IS COMPLETED. SUBGRADE PREPARATION SHALL BE PERFORMED AFTER A SUBSURFACE R/W UTILITIES CONSTRUCTION ARE COMPLETED.



TYPICAL PAVEMENT SECTION
NO SCALE (REFER TO COA STD DWG 2405)



TYPICAL EROSION CONTROL SECTION



A BERM WITH THE DIMENSIONS SHOWN SHALL BE MAINTAINED DURING CONSTRUCTION UNTIL COMPLETION OF INDIVIDUAL HOMES WITHIN THE PROJECT. SEE TYPICAL LOT GRADING PLAN THIS SHEET FOR LOCATION

EROSION CONTROL NOTES

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TRACT K-5										
UNDEVELOPED CONDITIONS										
BASIN	AREA (ACRES)	% LAND TREATMENT*				ZONE 4 PEAK DISCHARGE (CFS/ACRE)**				Q(100-YR) UNDEVELOPED (CFS)
		A	B	C	D	A	B	C	D	
On-Site	0.85	75.00	20.00	0.00	5.00	2.20	2.92	3.73	5.25	2.12

TRACT K-5 DEVELOPED CONDITIONS										
BASIN	AREA (ACRES)	% LAND TREATMENT**				ZONE 4 PEAK DISCHARGE : (CFS/ACRE)**				Q(100-YR) DEVELOPED (CFS)
		A	B	C	D	A	B	C	D	
On-Site	0.85	0.00	0.00	15.00	85.00	2.20	2.92	3.73	5.25	4.26

NOTES:

1 Obtained from Section 22.2. Hydrology of the Development Process Manual, Volume 2, Design Criteria for the City of Albuquerque, January, 1993
* Table A-4 ** Table A-9

2 This Grading and Drainage Plan is in conformance with the approved **Master Drainage Plan for Tract K, Canyon Acres Development**, prepared by Jeff Mortensen & Associates, Inc. Engineers Stamp Dated 3/06/95. DMP information provided with COA Project # 5227.90. Zone Affected: L-2.

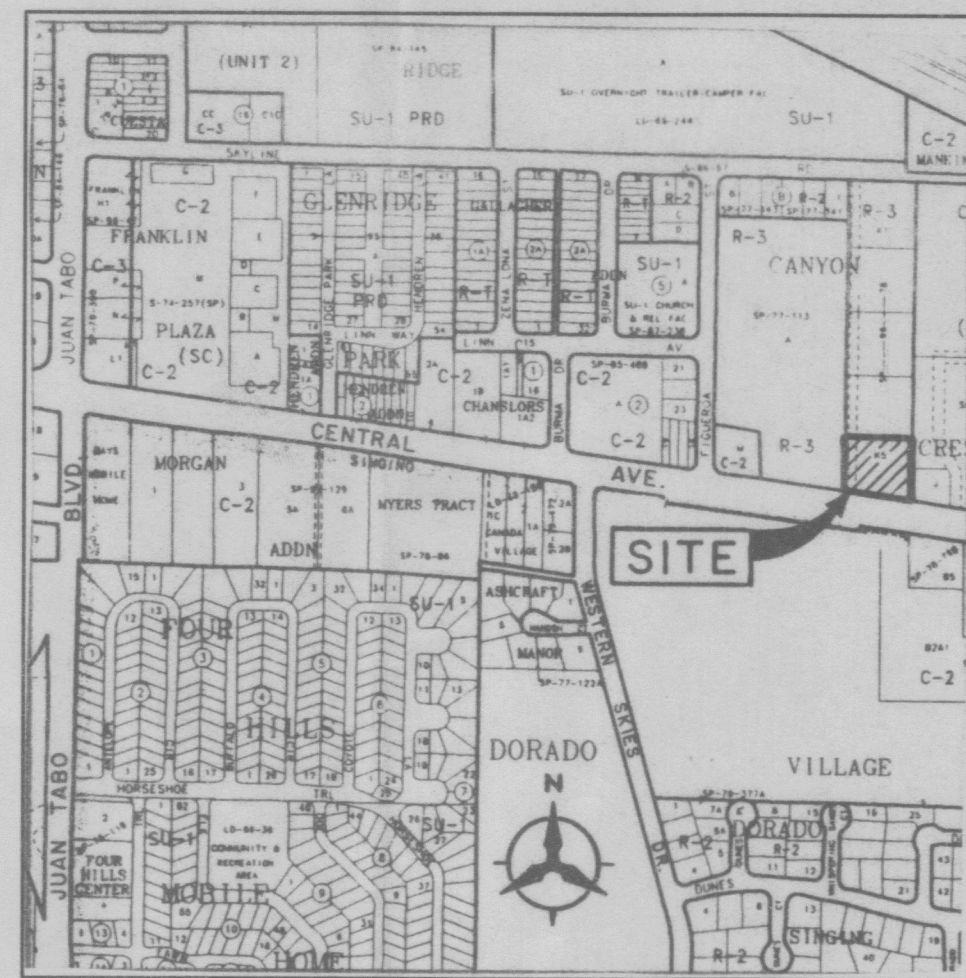
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GENERAL NOTES

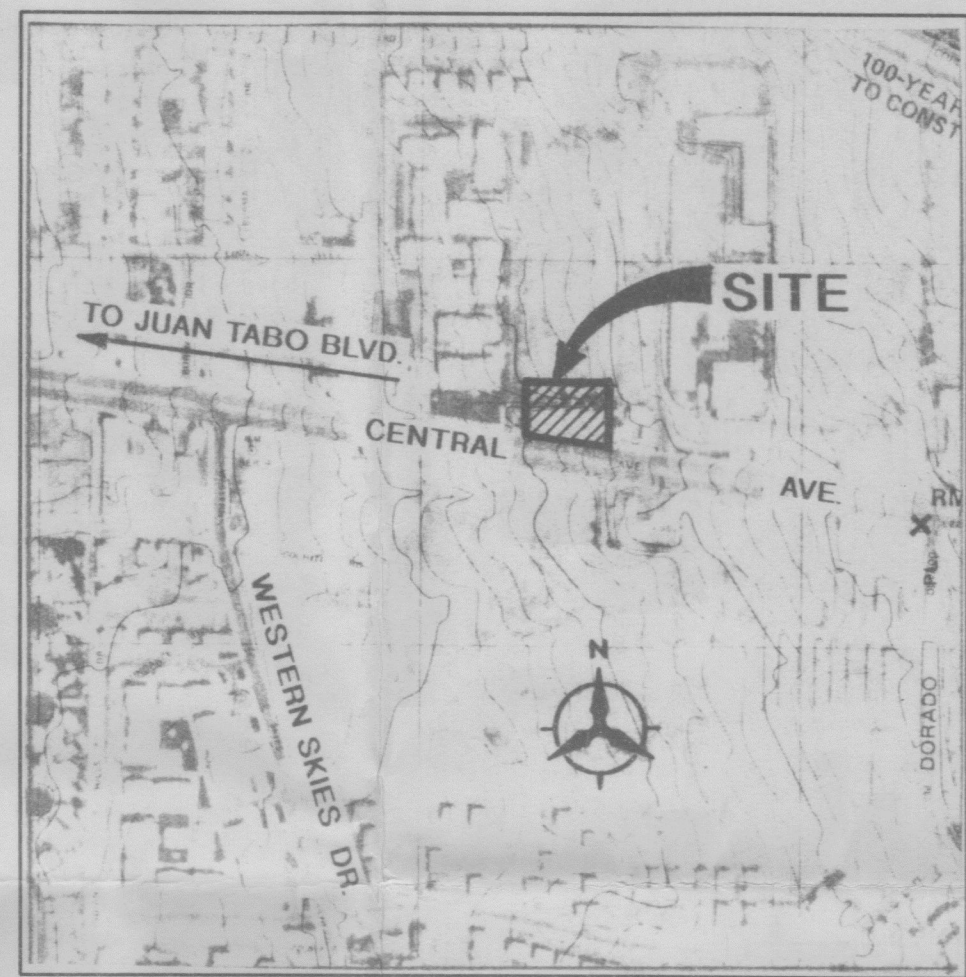
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GRADING NOTES

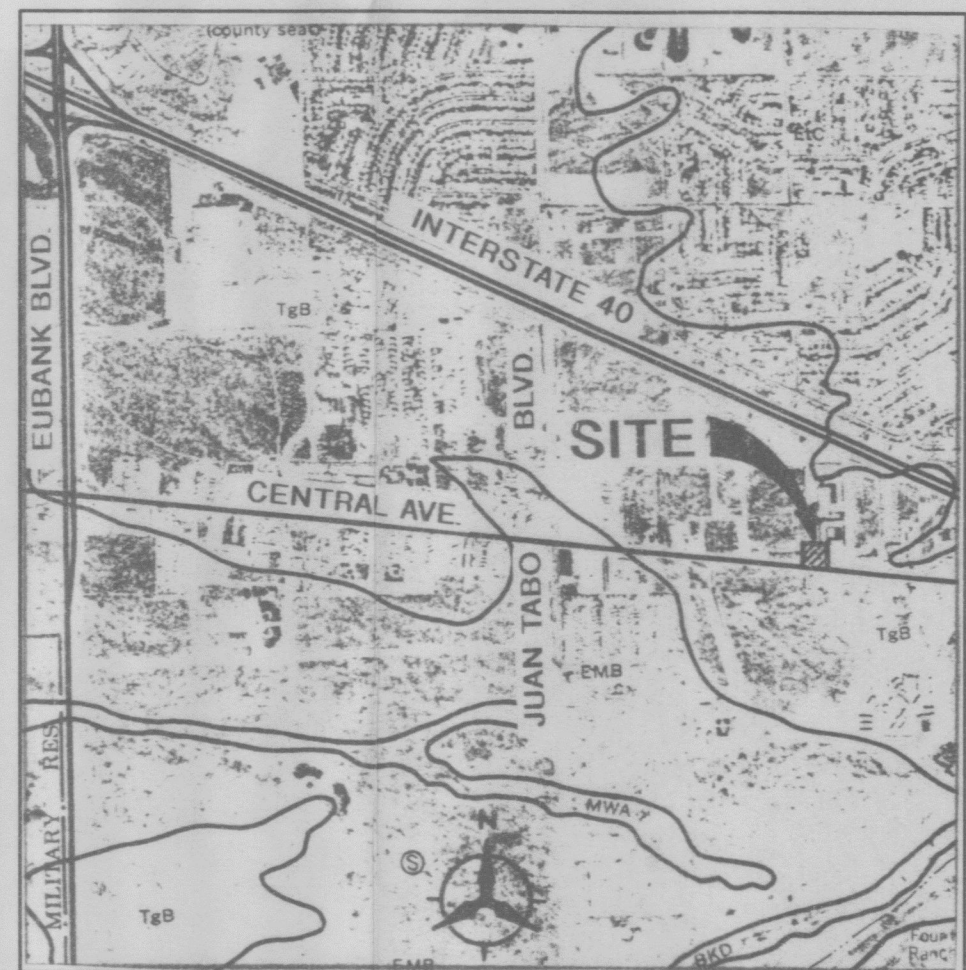
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11. PAVING AND ROADWAY GRADES SHALL BE $\pm 0.1'$ FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE $\pm 0.05'$ FROM BUILDING PLAN ELEVATION.
12. ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND ARE ADJUSTED FOR CURBS, MEDIANS AND ISLANDS.



VICINITY MAP
NOT TO SCALE
ZONE ATLAS MAP L-22-Z



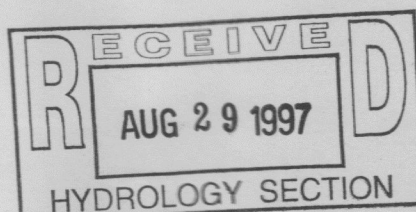
FLOOD MAP
NOT TO SCALE
FEMA PANEL 37 OF 50



SOILS MAP
SOILS SURVEY - BERNALILLO COUNTY
PAGE 32

NOTE: A COPY CAN BE OBTAINED BY THE OWNER.

LEGAL DESCRIPTION
TRACT K-5, CANYON ACRES



THE PERFECT BALANCE BETWEEN IMAGINATION & EXECUTION

ARCHITECTS STUDIO, LLC

MARK ESHELMAN
ROSS SMALL

ARCHITECTS
STUDIO

4300 Carlisle Blvd., NE, Suite Five
Albuquerque, New Mexico 87107

Mark Eselman
Ross Small

(505) 889-3030 FAX (505) 889-3737

General Notes

1. 

Legend

-
- 55.87
- EXISTING CONTOUR
- EXISTING SWALE
- EXISTING EASEMENT
- EXISTING CURB AND GUTTER
- EXISTING BUILDING
- PROPOSED CONTOUR
- PROPOSED CURB
- PROPOSED SPOT ELEVATION
TC=TOP OF CURB, FL=FLOW LINE
- PROPOSED CUT-OFF WALL
- PROPOSED DIRECTION
OF FLOW
- EXISTING MANHOLE
- EXISTING WATER VALVE
- TELEPHONE PEDESTAL
- TRAFFIC SIGNAL BOX
- EXISTING POWER POLE
- EXISTING SPOT ELEVATION
- 81.00
- 84.38

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Bohannon ▲ Huston



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Albuquerque
NEW MEXICO 87101

ENGINEERS PLANNERS PHOTOGRAMMETRISTS
SURVEYORS LANDSCAPE ARCHITECTS

Drown — Checked —
By BJB By KP

Proj No _____ Date 08/26/9

Filename ANTIQ-GRDING.DWG

Consultant	Architect/Engineer
------------	--------------------

GRADING AND DRAINAGE PLAN

Sheet Title

nee

X of X