

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

October 22, 2021

Scott McGee, PE
Scott M. McGee PE, LLC
9700 Tanoan Dr. NE
Albuquerque, NM 87111

**Re: Singing Arrow Community Center
13200 Wenonah Ave. SE
Request for Certificate of Occupancy - Permanent
Grading and Drainage Plan Stamp Date: 10/30/19
Certification dated: 10/15/21
Drainage File: L22D055**

Dear Mr. McGee,
Based on the submittal received 10/18/21 and inspection on 10/22/21 this certification is approved for Permanent Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3986 or earmijo@cabq.gov.

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Project Title: _____ **Building Permit #:** _____ **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Applicant: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Owner: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF SUBMITTAL: _____ PLAT (____# OF LOTS) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL?: _____ Yes _____ No

DEPARTMENT: _____ TRAFFIC/ TRANSPORTATION _____ HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- _____ ENGINEER/ARCHITECT CERTIFICATION
- _____ PAD CERTIFICATION
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ DRAINAGE MASTER PLAN
- _____ DRAINAGE REPORT
- _____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- _____ ELEVATION CERTIFICATE
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ TRAFFIC IMPACT STUDY (TIS)
- _____ OTHER (SPECIFY) _____
- _____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

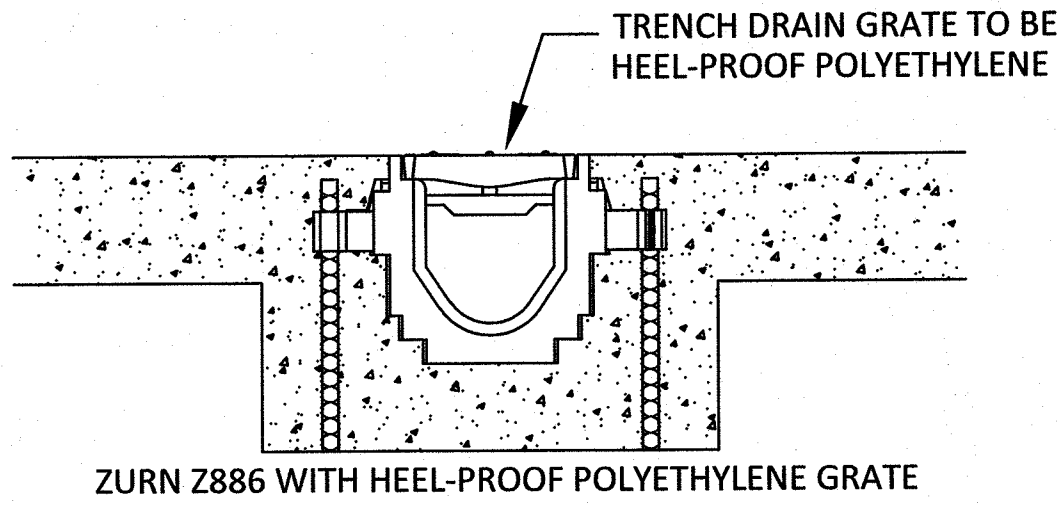
- _____ BUILDING PERMIT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY
- _____ PRELIMINARY PLAT APPROVAL
- _____ SITE PLAN FOR SUB'D APPROVAL
- _____ SITE PLAN FOR BLDG. PERMIT APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ SIA/ RELEASE OF FINANCIAL GUARANTEE
- _____ FOUNDATION PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ SO-19 APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ GRADING/ PAD CERTIFICATION
- _____ WORK ORDER APPROVAL
- _____ CLOMR/LOMR
- _____ FLOODPLAIN DEVELOPMENT PERMIT
- _____ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ **By:** _____

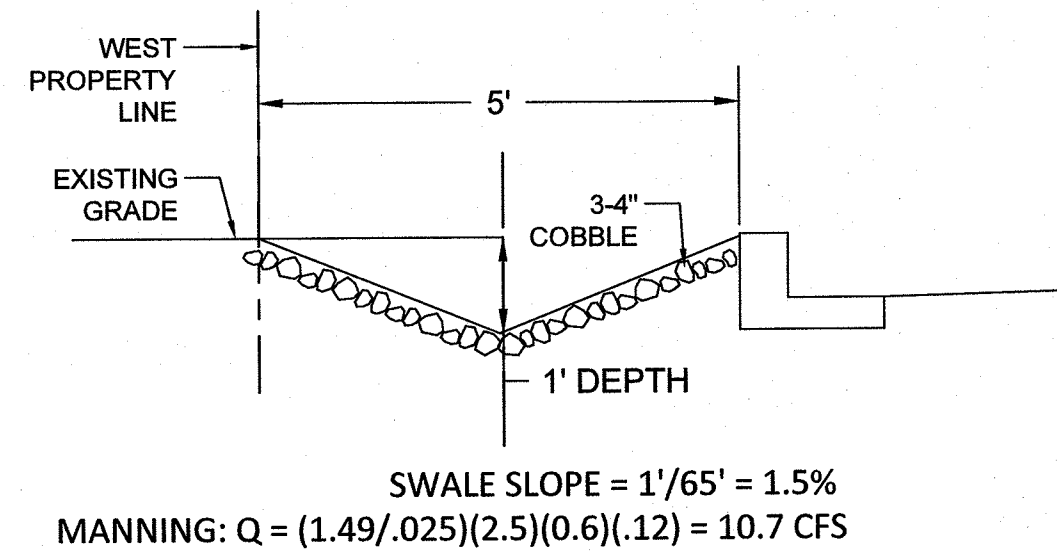
COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

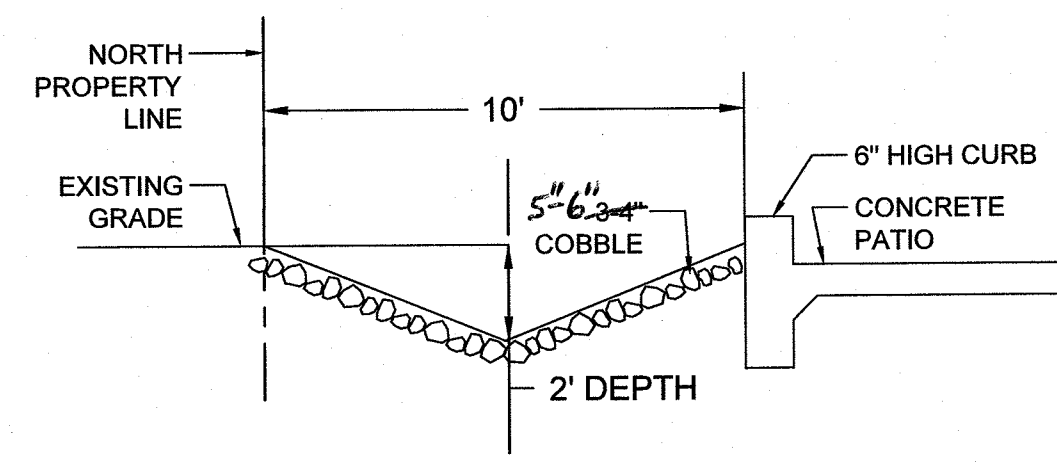


TRENCH DRAIN



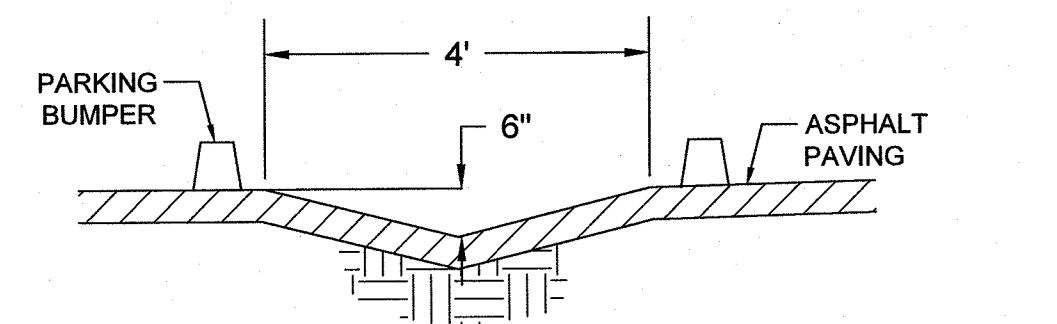
COBBLE SWALE SECTION 'A'

NOTE: SWALE TO EXTEND ENTIRE LENGTH OF NEW PARKING LOT.



COBBLE SWALE SECTION 'B'

NOTE: SWALE SECTION TO EXTEND ENTIRE LENGTH OF CONCRETE PATIO



ASPHALT SWALE SECTION

POND VOLUMES		
ELEVATION	AREA (SF)	VOLUME (CF)
25	1248	0
26	1954	1601
27	3076	4116
28	4595	7951

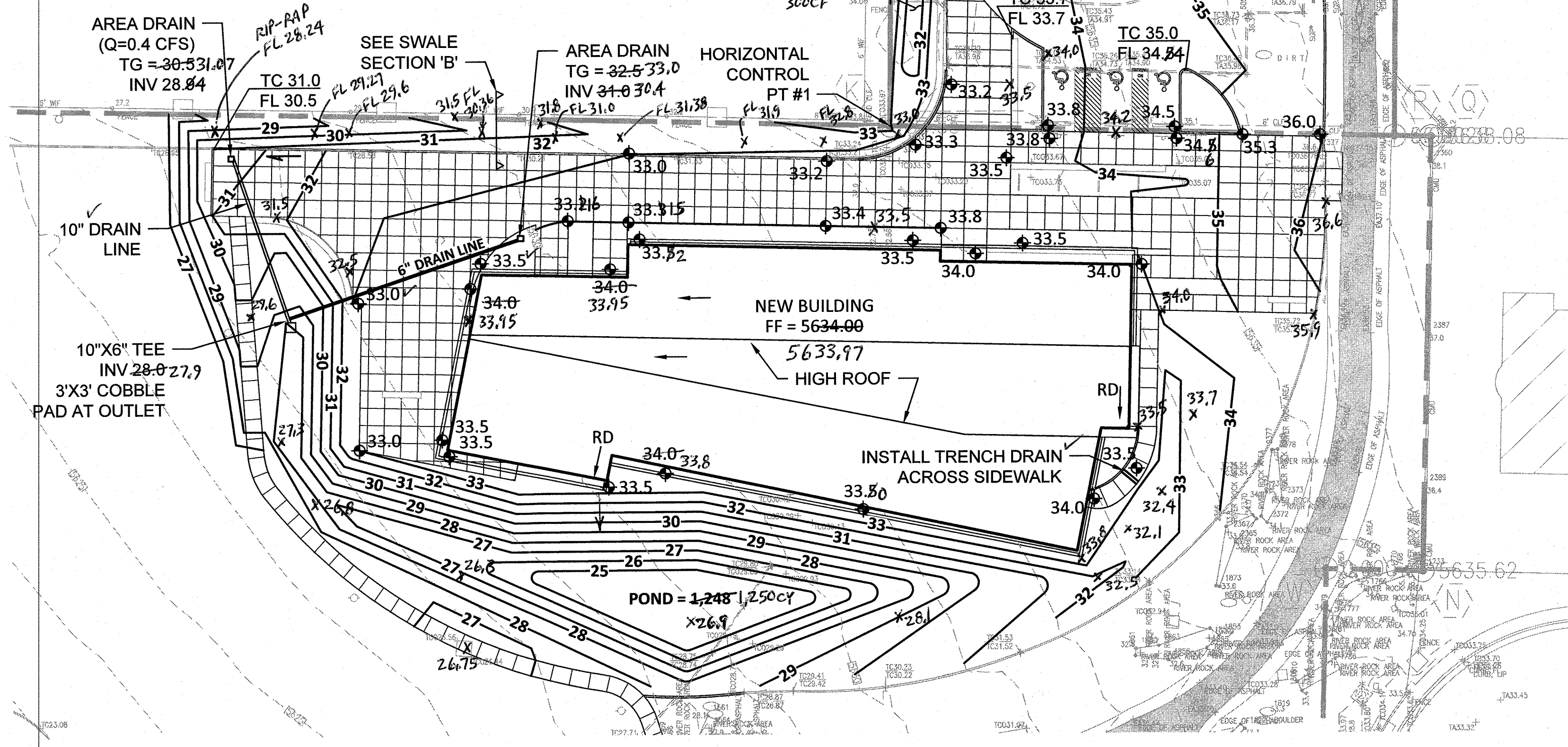
DRAINAGE BASIN ID	AREA (SF)	%		AREA 'D' (SF)	x0.26"/12 (x0.0217)	SWQV	
		% 'C'	% 'D'			REQ'D	PLAN
1	4675	60	40	1850	x0.0217	40	50
2	5410	66	34	1840	x0.0217	40	75
3	4250	18	82	3485	x0.0217	75	90
4	4860	15	85	4130	x0.0217	90	90
5	12600	24	76	9580	x0.0217	208	250
6	17055	23	77	13140	x0.0217	284	320
7	11480	13	87	10000	x0.0217	217	300
TOTAL	60,330			44025		954	

DRAINAGE CERTIFICATION

I, SCOTT M MCGEE, NMPE 10519, OF THE FIRM SCOTT M MCGEE PE, LLC, HEREBY CERTIFY THAT THIS SITE HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 10/30/19. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL PLAN WAS OBTAINED BY DAVID P. ACOSTA, NMPS 21082. I ALSO CERTIFY THAT I PERSONALLY VISITED THE PROJECT SITE ON 9/17/21 AND 10/14/21. I HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR A PERMANENT CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION SHOWN HEREON IS NOT NECESSARILY COMPLETE AND IS ONLY INTENDED TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING/ DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT ACCURACY VERIFICATION BEFORE USING IT FOR ANY PURPOSE.

Scott M McGee 10/15/21
SCOTT M MCGEE, NMPE 10519

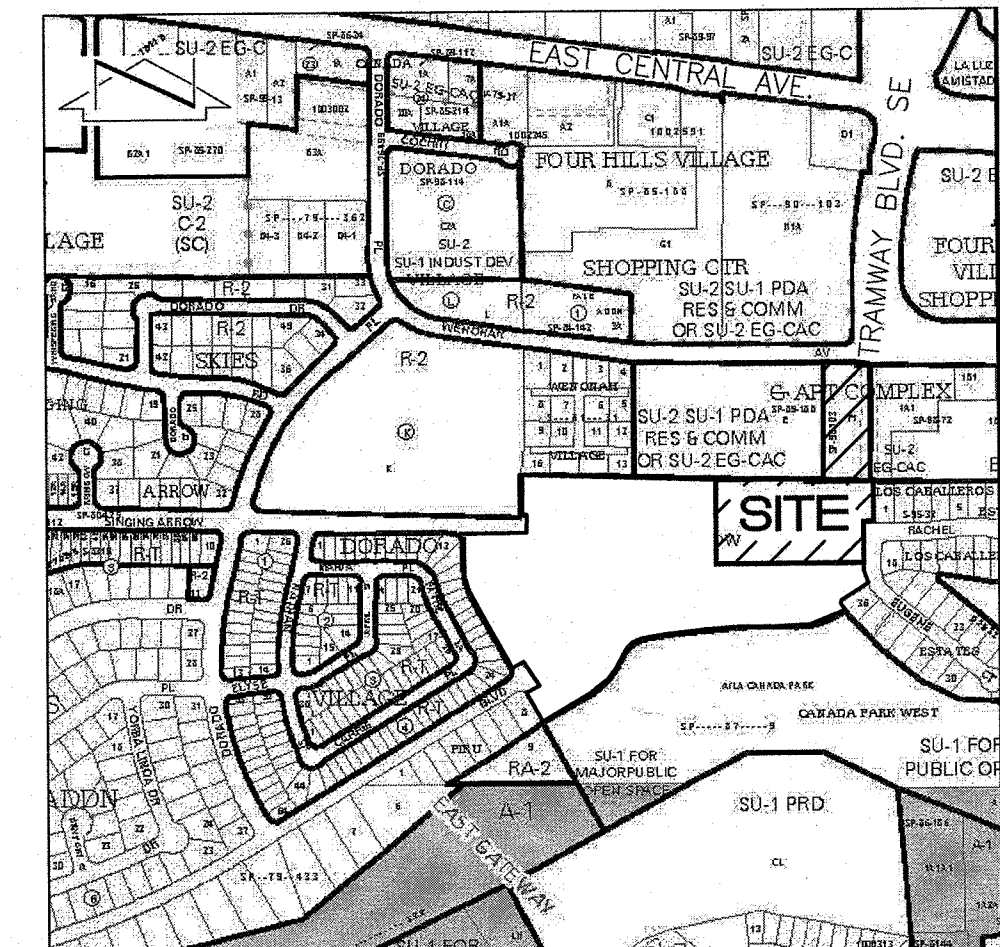


GRADING & DRAINAGE PLAN

1" = 30'

KEYED NOTES

- A. BUILD ASPHALT 'VEE' SWALE BETWEEN MEDIANS (4' WIDE BY 6" DEEP) PER SECTION TO CONVEY FLOW SOUTH.



VICINITY MAP L-22 NOT TO SCALE

LEGEND

- EXISTING CONTOUR LINE
- NEW CONTOUR LINE
- TW # BW # TOP OF WALL & BOTTOM OF WALL AT NEW RETAINING WALL
- FF = 5634.00 FINISH FLOOR ELEVATION
- 18.9 NEW SPOT ELEVATION
- TC 19.0 FL 18.5 TOP OF CURB
- RD FLOW-LINE
- 1 ROOF DRAIN
- 1 DRAINAGE BASIN ID's
- x 32.1 DRAINAGE BASIN LINE A5-BUILT ELEVATION

DRAINAGE ANALYSIS

LEGAL: A portion of TRACT A SINGING ARROW PARK and TRACT F-1 FOUR HILLS VILLAGE SHOPPING CENTER AND APARTMENT COMPLEX

AREA: Tract F-1 is 1.385 acres and the portion of Tract A (park area) is 1.045 acres for a total project area of 2.43 acres.

SURVEYOR: High Mesa Consulting Group NMPLS # 15075, dated December 2016. All elevations based on COA BM '2 L22 ACS', a brass disk in concrete curb on the center median curb west of the intersection of Central Avenue and Tramway Blvd NE. ELEV=5662.682 (NAVD88).

TEMPORARY BENCHMARK (TBM): A mag nail in the asphalt near the south end of the parking lot as shown. ELEVATION = 5636.62 (NAVD 1988)

FLOOD HAZARD: From FEMA Map 35001C 0378G (9/26/2008), the park site is within Zone 'X' which is determined to be outside the 1% annual chance floodplain.

EXISTING CONDITIONS: Both the existing parking lot and the developed park site slope down from northeast to southwest. Existing slopes vary from 3 - 4%. The existing parking lot drains southwest to the park site. The park site also drains by sheet flow to the southwest.

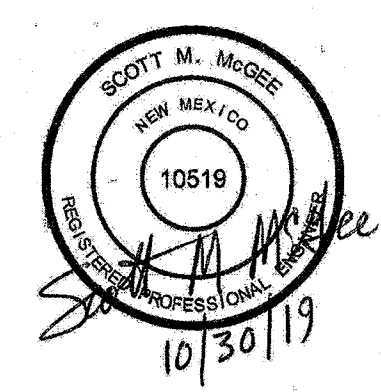
PROPOSED IMPROVEMENTS: The proposed improvements include a 14,600 SF community building. The existing parking lot is proposed to be re-built in the same location. Water harvesting will be used to direct runoff to depressed landscape areas along the west side of Tract F-1 to retain runoff onsite.

OFFSITE DRAINAGE: No offsite flow is accepted by this site. Wenonah Avenue runs along the north side of the site and Rachel Road SE abuts the east side of the site. Both existing streets carry runoff around the park.

DRAINAGE APPROACH: The proposed drainage plan follows historic drainage patterns. The existing parking lot will continue to have free discharge to the Singing Arrow Park. The park site discharges runoff to the southwest. Roof runoff is routed to depressed landscaped areas on the south side of the building. Any excess runoff then discharges overland to the park surface.

LAND TREATMENT--Per the DPM, this site is Precipitation Zone 3 and the land treatment is basically unchanged for Tract F-1 which is as follows:
Tr F-1: 5% B, 22% C, 73% D Q= (4.55 CFS)/AC(1.385)= 6.3 CFS
Tr F-1 SWQV = 44,025(0.26/12) = 954 CF
The portion of the park is land treatment as follows:
EXISTING: 93% B 7% D Q= (2.77)(1.045) = 2.9 CFS

DEVELOPED: 22% B, 31% C, and 47% D Q= (4.00)(1.045) = 4.2 CFS
DEVELOPED V= [(0.22)(.077)+(.31)(.108)+(.47)(.197)](45300)=6,480 CF
1st Flush V = (21395)(0.34/12) = 606 CF [7,950 CF provided--OK]
Runoff will be mitigated through retaining storm water volume within the park.



Scott M McGee

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scottmmcgee@gmail.com

