

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

November 8, 2019

Scott M. McGee, P.E.
SMMPE, LLC
9700 Tanoan Dr. NE
Albuquerque, NM 87111

**RE: 13200 Wenonah Ave SE
Singing Arrow Community Center
Grading Plan Engineer's Stamp Date: 10/30/19
Hydrology File: L22D055**

Dear Mr. McGee,

Based on the submittal received on 11/4/19, the Grading and Drainage Plan is approved for Site Plan, Building Permit, and Work Order.

PO Box 1293

Prior to Certificate of Occupancy (For Information):

Albuquerque

1. Engineer's Certification, per the DPM Chapter 22.7: *Engineer's Certification Checklist For Non-Subdivision* is required.

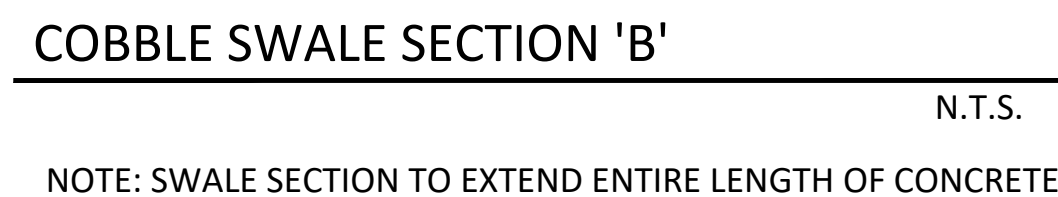
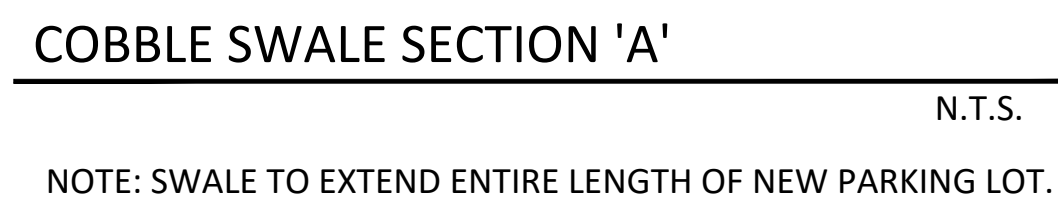
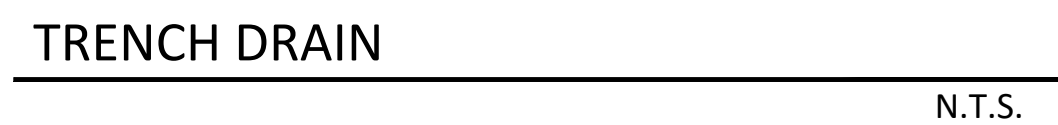
NM 87103

If you have any questions, please contact me at 924-3695 or dpeterson@cabq.gov.

www.cabq.gov

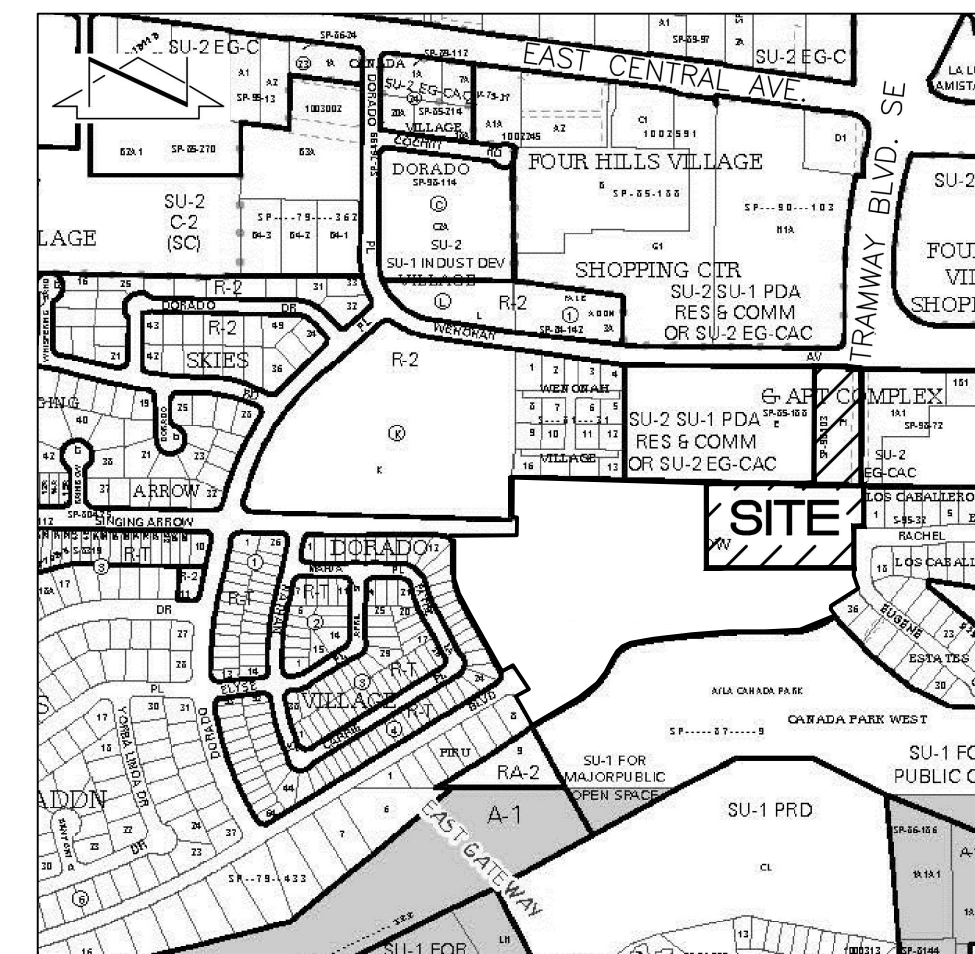
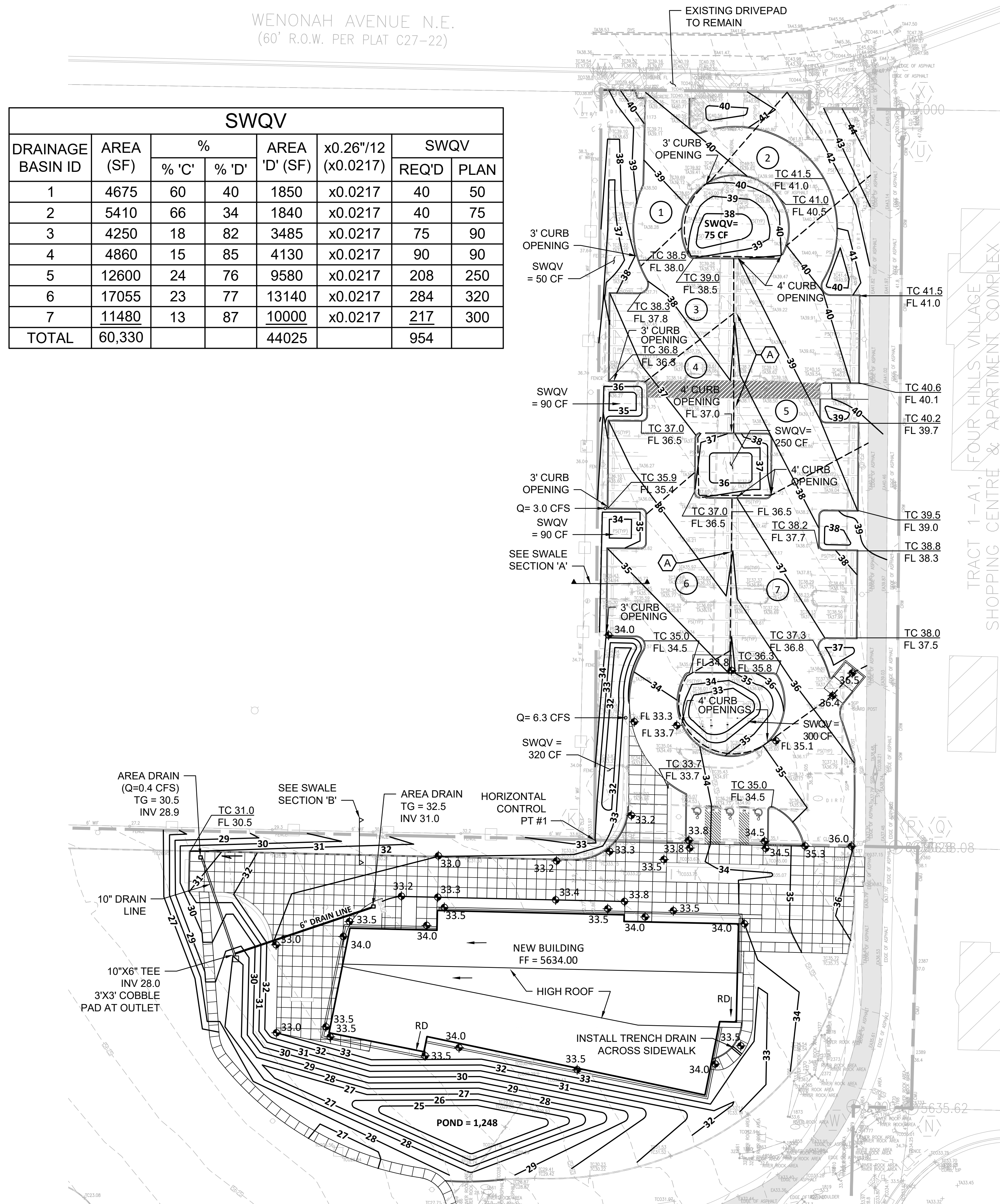
Sincerely,

Dana Peterson, P.E.
Senior Engineer, Planning Dept.
Development Review Services



POND VOLUMES		
ELEVATION	AREA (SF)	VOLUME (CF)
25	1248	0
26	1954	1601
27	3076	4116
28	4595	7951

A. BUILD ASPHALT 'VEE' SWALE BETWEEN MEDIANS (4' WIDE BY 6" DEEP PER SECTION TO CONVEY FLOW SOUTH.



VICINITY MAP

LEGEND

	EXISTING CONTOUR LINE
	NEW CONTOUR LINE
$\frac{TW \#}{BW \#}$	TOP OF WALL & BOTTOM OF WALL AT NEW RETAINING WALL
FF = 5634.00	FINISH FLOOR ELEVATION
 18.9	NEW SPOT ELEVATION
$\frac{TC \ 19.0}{FL \ 18.5}$	TOP OF CURB FLOW LINE
 RD	ROOF DRAIN
	DRAINAGE BASIN ID'S
	DRAINAGE BASIN LINE

DRAINAGE ANALYSIS

LEGAL: A portion of TRACT A SINGING ARROW PARK and TRACT F-1 FOUR HILLS VILLAGE SHOPPING CENTER AND APARTMENT COMPLEX

AREA: Tract F-1 is 1.385 acres and the portion of Tract A (park area) is 1.045 acres for total project area of 2.43 acres.

SURVEYOR: High Mesa Consulting Group NMPLS # 15075, dated December 2016. All elevations based on COA BM '2_L22 ACS', a brass disk in concrete curb on the center median curb west of the intersection of Central Avenue and Tramway Blvd NE. ELEV=5662.682 (NAVD88).

TEMPORARY BENCHMARK (TBM): A mag nail in the asphalt near the south end of the parking lot as shown. ELEVATION = 5636.62 (NAVD 1988)

FLOOD HAZARD: From FEMA Map 35001C 0378G (9/26/2008), the park site is within Zone 'X' which is determined to be outside the 1% annual chance floodplain.

EXISTING CONDITIONS: Both the existing parking lot and the developed park site slope down from northeast to southwest. Existing slopes vary from 3 - 4%. The existing parking lot drains southwest to the park site. The park site also drains by sheet flow to the southwest.

PROPOSED IMPROVEMENTS: The proposed improvements include a 14,600 SF community building. The existing parking lot is proposed to be re-built in the same location. Water harvesting will be used to direct runoff to depressed landscape areas along the west side of Tract F-1 to retain runoff onsite.

OFFSITE DRAINAGE: No offsite flow is accepted by this site. Wenonah Avenue runs along the north side of the site and Rachel Road SE abuts the east side of the site. Both existing streets carry runoff around the park.

DRAINAGE APPROACH: The proposed drainage plan follows historic drainage patterns. The existing parking lot will continue to have free discharge to the Singing Arrow Park. The park site discharges runoff to the southwest. Roof runoff is routed to depressed landscaped areas on the south side of the building. Any excess runoff then discharges overland to the park surface.

LAND TREATMENT--Per the DPM, this site is Precipitation Zone 3 and the land treatment is basically unchanged for Tract F-1 which is as follows:
Tr F-1: 5% B, 22% C, 73% D Q= (4.55 CFS/AC)(1.385)= 6.3 CFS
Tr F-1 SWQV = 44,025(0.26/12) = 954 CF
The portion of the park is land treatment as follows:
EXISTING: 93% B 7% D Q= (2.77)(1.045) = 2.9 CFS

DEVELOPED: 22% B, 31% C, and 47% D $Q = (4.00)(1.045) = 4.2 \text{ CFS}$
DEVELOPED $V = [(.22)(.077) + (.31)(.108) + (.47)(.197)](45300) = 6,480 \text{ CF}$
1st Flush $V = (21395)(0.34/12) = 606 \text{ CF}$ $[7,950 \text{ CF provided} - \text{OK}]$
Runoff will be mitigated through retaining storm water volume within the park.

C100



Scott M McGee

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Albuquerque, NM 87111
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