

# CITY OF ALBUQUERQUE

*Planning Department*  
Alan Varela, Interim Director



*Mayor Timothy M. Keller*

November 1, 2021

Tina M Reames, RA  
Cherry See Reames Architects  
220 Gold Ave SE  
Albuquerque, NM 87102

**Re: Singing Arrow Community Center**  
**13200 Wenonah Ave SE**  
**Request for Certificate of Occupancy**  
**Transportation Development Final Inspection**  
Engineer's/Architect's Stamp dated 4-23-21(AA) (L22D055)  
Certification dated 9-27-21

Dear Ms. Reames,

PO Box 1293

Based upon the information provided in your pictures received 10-29-21, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

Albuquerque

If you have any questions, please contact Ernie Gomez at (505) 924-3981.

NM 87103

Sincerely,

www.cabq.gov

Jeanne Wolfenbarger, P.E.  
Traffic Engineer, Planning Dept.  
Development Review Services

Ernie Gomez  
Plan Checker, Planning Dept.  
Development Review Services

EG via: email  
C: CO Clerk, File

**ADMINISTRATIVE AMENDMENT**

**FILE #** \_\_\_\_\_ **PROJECT #** \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

**APPROVED BY**

**DATE**



LEGEND	
	EXISTING BUILDING TO REMAIN; NOT PART OF PROJECT
	EXISTING ASPHALT PATH TO REMAIN
	EXISTING GRASS
	PROPERTY LINE
FH	FIRE HYDRANT
HC	HANDICAP PARKING SIGN (SEE DETAIL C2/AS502)
LP	LIGHT POLE
WS	WHEEL STOP BUMPERS (SEE DETAIL E4/AS501)
PP	POWER POLE
	EXISTING TREES AND SHRUBS TO REMAIN
	LIMITS OF CONSTRUCTION

## GENERAL SHEET NOTES; CONT.

F. ALL CURBS IN PARKING LOT TO BE CURB AND GUTTER. SEE DETAIL E4/AS502.

## SITE DATA

PROPOSED SINGING ARROW COMMUNITY CENTER: 14,716 SF  
ZONE: NR-PD-A

## GENERAL SHEET NOTES

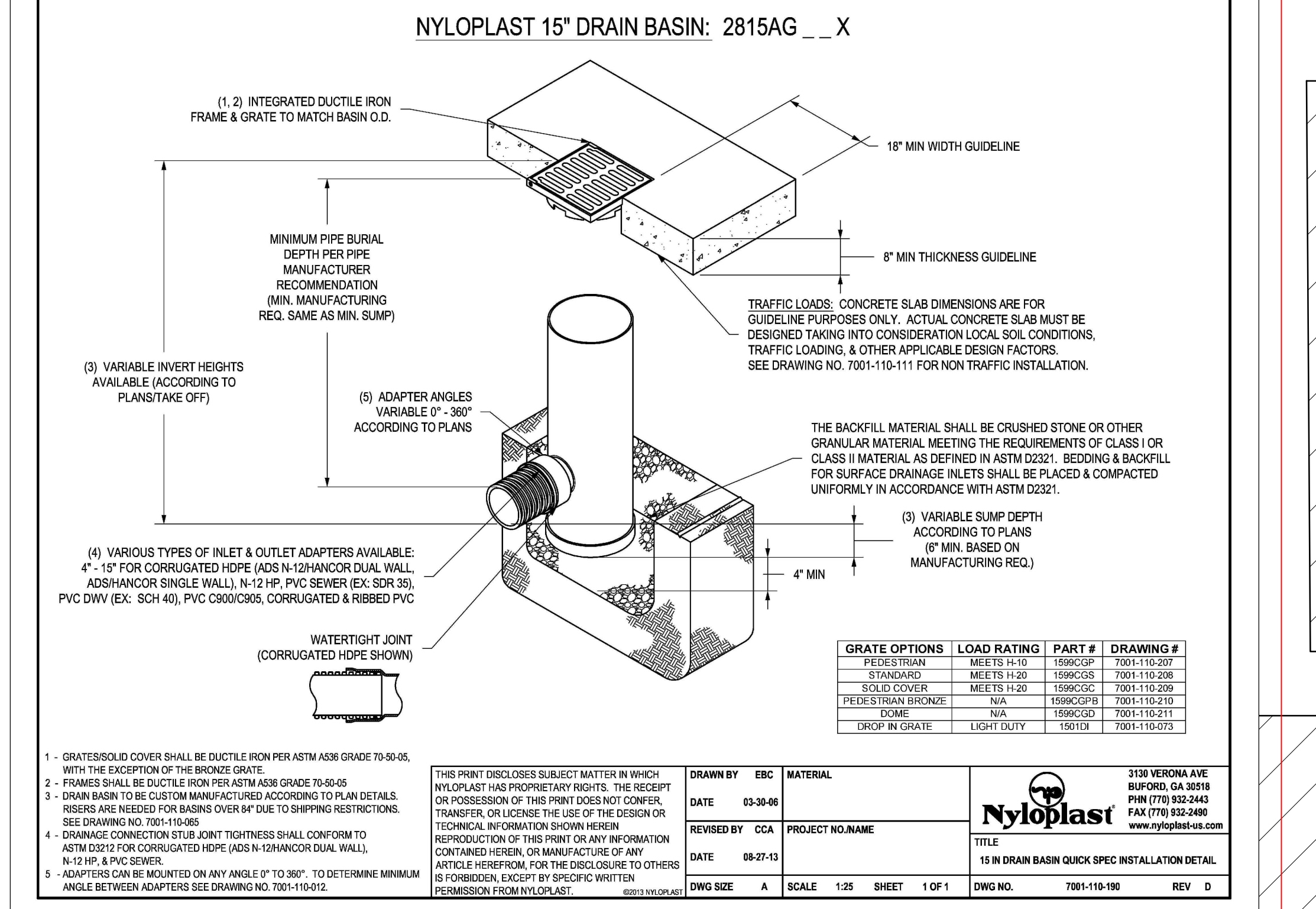
- EASEMENT AND PROPERTY LINES NOT SHOWN ON THIS PLAN FOR CLARITY. SEE OVERALL SITE PLAN, SHEET AS102.
- THERE ARE NO STRUCTURES WITHIN 20' OF SITE.

## GENERAL SHEET NOTES; CONT.

- GROUND-MOUNTED EQUIPMENT SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS ARE TO ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.
- APPLY ANTI-GRAFFITI TREATMENT AT ALL EXTERIOR SITE ELEMENTS TO A HEIGHT OF 8'-0" AFF. THIS INCLUDES AT ALL GABION WALLS, MONUMENT SIGNAGE, LIGHT POLES, AND THE SHADE STRUCTURE. SEE SPECIFICATIONS.
- ADA ACCESS ASILES SHALL HAVE THE WORDS "NO PARKING" IN CAPITAL LETTERS, EACH OF WHICH SHALL BE AT LEAST ONE FOOT HIGH AND AT LEAST TWO INCHES WIDE, PAINTED AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSE TO WHERE AN ADJACENT VEHICLE'S REAR WOULD BE PLACED. SEE PLAN.

## SHEET KEYNOTES

- EXISTING FIRE HYDRANT TO REMAIN.
- EXISTING GRAY BLOCK SITE WALL, 6'-0" TALL, TO REMAIN.
- EXISTING BRONZE PAINTED STEEL FENCE, APPROXIMATELY 5'-0" TALL, TO REMAIN AT NEIGHBORING PROPERTY.
- EXISTING SITE FURNITURE TO REMAIN.
- EXISTING CURB CUT TO REMAIN AND TO SERVE NEW PARKING LOT FOR VEHICULAR INGRESS & EGRESS TO SITE.
- EXISTING SIDEWALK TO REMAIN.
- EXISTING SITE LIGHT TO REMAIN. THE EXISTING SITE LIGHTING LOCATED IN THE PARK AREA ARE MOUNTED TO WOOD POLES APPROXIMATELY 20'-0" TALL. THE EXISTING SITE LIGHTING LOCATED IN THE PARKING LOT ARE MOUNTED ON A 3'-0" HIGH CONCRETE BASE WITH A 20'-0" STEEL POLE & DOUBLE LIGHT FIXTURES.
- NEW SINGING ARROW COMMUNITY CENTER BUILDING.
- LINE OF BUILDING FOOTPRINT AT GROUND LEVEL.
- NEW CORTEN STEEL SHADE STRUCTURE. STRUCTURE TO BE 12'-2" AFF TO TOP.
- NEW ASPHALT SURFACE AND STRIPING AT PARKING LOT, TYP., SEE DETAIL D4/AS502.
- NEW HOT BOX WITH 2" & 6" RPPBs. SEE UTILITY PLAN, SHEET C102.
- NEW 2" WATER METER. SEE UTILITY PLAN, SHEET C102.
- NEW FDC. SEE UTILITY PLAN, SHEET C102.
- NEW GAS METER. SEE UTILITY PLAN, SHEET C102.
- NEW ROOF-TOP MECHANICAL UNITS. TYPICAL DIMENSIONS ARE 4'-5" X 7'-5" X 3'-6" TALL.
- NEW TRANSFORMER AND CONCRETE PAD, COORDINATED WITH PNM. SEE UTILITY PLAN, SHEET C102.
- NEW FIRE HYDRANT AND PIV. SEE UTILITY PLAN, SHEET C102.
- NEW KNOX BOX TO BE MOUNTED ON NEW BUILDING AT 6'-0" AFF.
- NEW GABION BENCH, 18" HIGH X 2'-0" DEEP. LENGTH VARIES DEPENDING ON LOCATION. SEE SITE PLAN. SEE DETAILS C4/AS501 & D4/AS501.
- RED FIRE LANE CURB PAINT & LABELING MARKED ON BOTH SIDES OF ROAD AT ALL CURBS. CONTINUOUS. SEE DETAIL E4/AS502.
- NEW 120" HAMMERHEAD TURN-AROUND PER IFSC APPENDIX D.
- NEW FIRE TRUCK ACCESS TO SITE; HEAVY DUTY ENGINEERED DRIVING SURFACE AS REQUIRED TO SUPPORT 75,000 LBS; GRADE NOT TO EXCEED 10%. THIS CONCRETE AREA DOUBLES AS ADA PEDESTRIAN ACCESS TO BUILDING. SEE CITY STANDARD DETAIL 2405A FOR ROAD PAVEMENT SECTION.
- NEW SITE IDENTIFICATION SIGN. SEE DETAIL E1/AS501.
- NEW BICYCLE RACKS. SEE DETAIL A4/AS501.
- NEW GATED REFUSE ENCLOSURE. SEE ENLARGED PLAN B2/AS501 AND ELEVATION A2/AS501.
- 3'-0" TALL RETRACTABLE BOLLARDS, TO BE POLISHED STAINLESS STEEL, GRADE 316, PER COA STANDARDS. SEE DETAIL D3/AS501.
- 2 MOTORCYCLE PARKING SPACES.
- NEW PLANTING AREA.
- EXISTING ASPHALT PEDESTRIAN PATH OPEN AND UNIMPEDED BY ANY WALLS, TO REMAIN.
- NEW ADA PEDESTRIAN PATH, CONNECTING BUILDING TO EXISTING PEDESTRIAN PATH NETWORK AND TO NEARBY ROADS. SEE DTLS AS501 & AS502.
- EXISTING STOP SIGN TO REMAIN.
- ACCESSIBLE PEDESTRIAN CONNECTION TO EXISTING PEDESTRIAN TRAIL.
- CROSSWALK MARKED ON ASPHALT TO PROVIDE PEDESTRIAN ACCESS FROM WEST SIDE OF PARKING LOT TO EXISTING PEDESTRIAN TRAIL ALONG EAST EDGE OF SITE.
- CONCRETE SIDEWALK IN THIS AREA. COORDINATE LOCATION TO BE OUTSIDE OF FIRE RISER.
- NEW CONCRETE PEDESTRIAN PATH. PATH TO BE 5'-0" WIDE. ALL TREES AND EXISTING UTILITIES TO BE PROTECTED. SEE DTLS AS501 & AS502. SEE CITY STANDARD DETAIL 2430J.
- NEW BOLLARD, SEE DETAIL C1/AS502.
- PROVIDE NEW INTERNALLY LIGHTED FLAGPOLE. COORDINATE WITH ELECTRICAL DRAWING E5101. FLAGPOLE WAREHOUSE INTERNAL HEAVY FLAGPOLE OR EQUAL) COORDINATE WITH MANUFACTURER FOR INSTALLATION. SEE DETAIL D1/AS502.
- NEW LIGHT POLE AT PEDESTRIAN PATH. SEE ELECTRICAL SHEET E5101.
- EXISTING PLANTER AND CONCRETE MOW CURB TO REMAIN. SEE L101.
- TYPICAL CURB CUT, SEE DETAIL C5/AS501.
- NEW MOW CURB TO MATCH EXISTING. SEE COA STD. DWG. 2726.
- ADA ACCESSIBLE PARKING SIGN. SEE DETAILS C2 AND D3/AS502.
- VAN ACCESSIBLE ADA PARKING SIGN. SEE DETAILS C2 AND D3/AS502.
- MOTORCYCLE PARKING SIGN.
- NEW HEADER CURB AT NORTH AND WEST SIDES OF FIRE LANE. SEE C-101. SEE CITY STANDARD DRAWING 2415B FOR HEADER CURB.
- NEW CLEAN-OUT. SEE SHEET PL102.



## 15 IN DRAIN BASIN QUICK SPEC INSTALLATION DETAIL

DETAIL REFERENCES AREA DRAINS SHOWN ON C-100, GRADING & DRAINAGE PLAN

SCALE: N.T.S.

- AT GREEN LINE, PROVIDE TURNDOWN EDGE ONLY PER DETAIL B5/AS501
- AT BLUE LINES, PROVIDE TURNDOWN EDGE PLUS CURB PER DETAIL B5/AS502
- AT ORANGE LINE, PROVIDE MONOLITHIC HEADER CURB PER DETAIL C5/AS502; GRADUALLY STEP DOWN TO NORMAL HEADER CURB HEIGHT.

REMOVE TWO EXISTING TREES TO COMPLETE GRADING

## LIMITS OF CONSTRUCTION PER 2016 ARCHAEOLOGICAL SURVEY

REMOVE GABION BENCHES FROM INDICATED AREAS (50 LF OF GABION BENCHES REMOVED). RELOCATE GABION BENCHES AT SOUTH AND WEST SIDES OF CONCRETE (50 LF OF GABION BENCHES RELOCATED)

PROVIDE 2 GABION BENCHES ALONG PEDESTRIAN PATH. RELOCATE PRE-CAST CAP PIECES THAT ARE NOT TO BE USED AT GABION EAST OF MAIN ENTRY. FIELD MODIFY GABION CAGES AND REBAR TO WORK IN THE REVISED CONFIGURATION. SEE GABION DETAIL SKETCH B, FOR USE AT THESE 2 BENCH LOCATIONS

PER CHANGE ORDER #04, PROVIDE CONCRETE RETAINING WALLS AS SHOWN. PROVIDE PERMEABLE PAVERS AS GROUND COVER IN SWALES AND DRAINAGEWAYS.

## PARTIAL DIMENSION SITE PLAN

SCALE: 1" = 10'-0"

## SINGING ARROW COMMUNITY CENTER ENLARGED SITE PLAN

## RACHEL ROAD SE

SCALE: 1" = 30'-0"

## PARKING CALCULATIONS

- OFF-STREET PARKING PER IDO 14-16-5:
- PER TABLE 5-5-1: FOR A COMMUNITY CENTER OR LIBRARY, 2 SPACES REQUIRED/1000 GSA
  - 14,716 GSA/1000 GSA = 15
  - 2 X 15 = 30 SPACES REQUIRED
  - 64 REGULAR SPACES PROVIDED
  - ± 3 ADA ACCESSIBLE SPACES PROVIDED (INCL. 2 VAN ACCESSIBLE)
  - = 67 TOTAL SPACES PROVIDED
- ACCESSIBLE PARKING PER SECTION 5-5(C)(7):
- ACCESSIBLE PARKING MUST BE PROVIDED AS PART OF THE ABOVE MINIMUM REQUIRED SPACES. NUMBER OF ACCESSIBLE SPACES AS REQUIRED BY THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES & NM STATUTES ANNOTATED.
  - ADAA GUIDELINES = TOTAL # OF PARKING SPACES PROVIDED BETWEEN 51 AND 75 REQUIRES 3 ACCESSIBLE SPACES.
  - 3 ACCESSIBLE SPACES PROVIDED
- MOTORCYCLE PARKING PER TABLE 5-5-4:
- TOTAL PARKING SPACES REQUIRED PER TABLE 5-5-1 BETWEEN 26-50 REQUIRES 2 MOTORCYCLE SPACES
  - 2 MOTORCYCLE SPACES PROVIDED
- BICYCLE PARKING PER TABLE 5-5-5:
- FOR NON-RESIDENTIAL USES, 3 SPACES OR 10% OF REQUIRED OFF-STREET PARKING SPACES, WHICHEVER IS GREATER, IS REQUIRED.
  - 30 SPACES REQUIRED X 10% = 3 BICYCLE SPACES REQUIRED
  - 28 BICYCLE SPACES PROVIDED
- ON-STREET PARKING:
- NONE REQUIRED; NONE PROVIDED

CITY OF ALBUQUERQUE / FAMILY & COMMUNITY SERVICES  
SINGING ARROW COMMUNITY CENTER

## TITLE: ENLARGED SITE PLAN

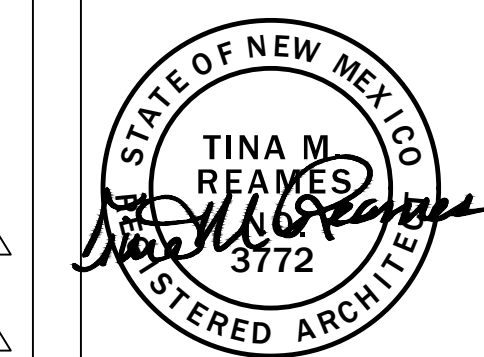
Design Review Committee	City Engineer Approval	NO. 7607796	NO. 7607796
100% DD	2/15/2019	50% CD	4/15/2019
95% CD	7/15/2019	100% CD	9/3/2019
City Project No. 5441.95	Zone Map No. L-22-Z	Sheet AS102	Of 9 85

cherry/see/reams architects, PC

228 9th Avenue SW Albuquerque, NM 87102  
505-842-1238 Fax 505-766-9249  
www.cherryseearms.com

AS BUILT INFORMATION		CONTRACTOR		DATE	
CONTRACTOR	DATE	CONTRACTOR	DATE	CONTRACTOR	DATE
WORK STATED BY	DATE	INSPECTOR'S APPROVAL	DATE	INSPECTOR'S APPROVAL	DATE
FIELD VERIFICATION BY	DATE	DRAWING CORRECTED BY	DATE	DRAWING CORRECTED BY	DATE
MICRO-FILM INFORMATION	DATE	RECORDED BY	DATE	RECORDED BY	DATE
NO.		NO.		NO.	

SURVEY INFORMATION		FIELD NOTES		DATE	
NO.	BY	NO.	BY	NO.	BY
NO.	BY	NO.	BY	NO.	BY



01-15-2020  
REV 02-12-2021  
REV 07-15-2021

REVISIONS/REMARKS		DATE	
NO.	DATE	NO.	DATE
1	02/08/2020	2	02/08/2021
3	05/05/2021	4	05/05/2021
5	05/05/2021	6	05/05/2021
7	05/05/2021	8	05/05/2021
9	05/05/2021	10	05/05/2021
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95	05/05/2021	96	05/05/2021
97	05/05/2021	98	05/05/2021
99	05/05/2021	100	05/05/2021



## TRAFFIC CERTIFICATION

I, TINA REAMES, NMRA 3772, OF THE FIRM CHERRY SEE REAMES ARCHITECTS, PC, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 4/23/2021. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY REBEKAH BELLUM OF THE FIRM CHERRY SEE REAMES ARCHITECTS, PC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 9/24/2021 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

<LIST EXCEPTIONS, IF ANY>

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



Signature of Engineer or Architect

9/27/2021

Date

ENGINEER'S OR ARCHITECT'S STAMP



9/27/2021



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

**Project Title:** Singing Arrow Community Center Building Permit #: BP-2019-35124 Hydrology File #: \_\_\_\_\_  
DRB#: \_\_\_\_\_ EPC#: 20018-001760 / SI-2018-00223 Work Order#: \_\_\_\_\_  
Legal Description: NR-PO-A: Tract A plat of Tract A Singing Arrow Park located w/in Canada Village Second Unit  
City Address: 13200 Wenonah Ave. SE, Albuquerque, NM 87123

**Applicant:** Cherry See Reames Architects Contact: Rebekah Bellum  
Address: 220 Gold Avenue SW, Albuquerque, NM 87102  
Phone#: (505)842-1278 Fax#: \_\_\_\_\_ E-mail: rbellum@cherryseereames.com

**Other Contact:** City of Albuquerque Family & Community Services Contact: Jess Martinez  
Address: P.O. Box 1293, Albuquerque, NM 87103  
Phone#: (505)767-5886 Fax#: \_\_\_\_\_ E-mail: jmartinez@cabq.gov

**TYPE OF DEVELOPMENT:** \_\_\_\_\_ PLAT (# of lots) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE \_\_\_\_\_ ADMIN SITE

IS THIS A RESUBMITTAL? \_\_\_\_\_ Yes ☒ No

**DEPARTMENT** ☒ TRANSPORTATION \_\_\_\_\_ HYDROLOGY/DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

- ☒ ENGINEER/ARCHITECT CERTIFICATION  
\_\_\_\_ PAD CERTIFICATION  
\_\_\_\_ CONCEPTUAL G & D PLAN  
\_\_\_\_ GRADING PLAN  
\_\_\_\_ DRAINAGE REPORT  
\_\_\_\_ DRAINAGE MASTER PLAN  
\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT APPLIC  
\_\_\_\_ ELEVATION CERTIFICATE  
\_\_\_\_ CLOMR/LOMR  
\_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)  
\_\_\_\_ TRAFFIC IMPACT STUDY (TIS)  
\_\_\_\_ STREET LIGHT LAYOUT  
\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_  
\_\_\_\_ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- \_\_\_\_ BUILDING PERMIT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY  
\_\_\_\_ PRELIMINARY PLAT APPROVAL  
\_\_\_\_ SITE PLAN FOR SUB'D APPROVAL  
\_\_\_\_ SITE PLAN FOR BLDG. PERMIT APPROVAL  
\_\_\_\_ FINAL PLAT APPROVAL  
\_\_\_\_ SIA/ RELEASE OF FINANCIAL GUARANTEE  
\_\_\_\_ FOUNDATION PERMIT APPROVAL  
\_\_\_\_ GRADING PERMIT APPROVAL  
\_\_\_\_ SO-19 APPROVAL  
\_\_\_\_ PAVING PERMIT APPROVAL  
\_\_\_\_ GRADING/ PAD CERTIFICATION  
\_\_\_\_ WORK ORDER APPROVAL  
\_\_\_\_ CLOMR/LOMR  
\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT  
\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

DATE SUBMITTED: 9/28/2021

By: Rebekah C. Bellum

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_