

DRAINAGE D TRANSPORTATION INFORMATION TT  
(Rev. 06/22/2005)

PROJECT TITLE: VALUE PLACE HOTEL ZONE MAP/DRG. FILE # L-22/D58  
DRB#: 1004364 EPC#: \_\_\_\_\_ WORK ORDER#: 7730.81

LEGAL DESCRIPTION: TRACTS E-1 AND E-2, CANYON ACRES  
CITY ADDRESS: 13001 AND 13013 CENTRAL AVE N.E.

ENGINEERING FIRM: BRASHER & LORENZ, INC.  
ADDRESS: 2201 SAN PEDRO NE, BLDG 1, STE 1200  
CITY, STATE: ALBUQUERQUE, NEW MEXICO

CONTACT: PAUL BRASHER  
PHONE: (505) 888-6088  
ZIP CODE: 87110

OWNER: QUANAH PROPERTIES  
ADDRESS: 16610 DALLAS PARKWAY SUITE 1300  
CITY, STATE: DALLAS, TX 75248

CONTACT: ANDY RATCHFORD  
PHONE: 214-368-8780  
ZIP CODE: 75248

ARCHITECT: WDM ARCHITECTS  
ADDRESS: 105 N. WASHINGTON  
CITY, STATE: WICHITA, KANSAS

CONTACT: SCOTT BIXLER  
PHONE: (316) 262-4700  
ZIP CODE: 67202

SURVEYOR: PRECISION  
ADDRESS: 8604 JEFFERSON  
CITY, STATE: ALBUQ, NM

CONTACT: LARRY MEDRANO  
PHONE: 856-5700  
ZIP CODE: 87107

CONTRACTOR: MISH BUILDERS  
ADDRESS: #1 SEVEN ACRES DR.  
CITY, STATE: LITTLE ROCK, AR

CONTACT: KAYO STEPHENSON  
PHONE: 501-580-9618  
ZIP CODE: 72223

TYPE OF SUBMITTAL:

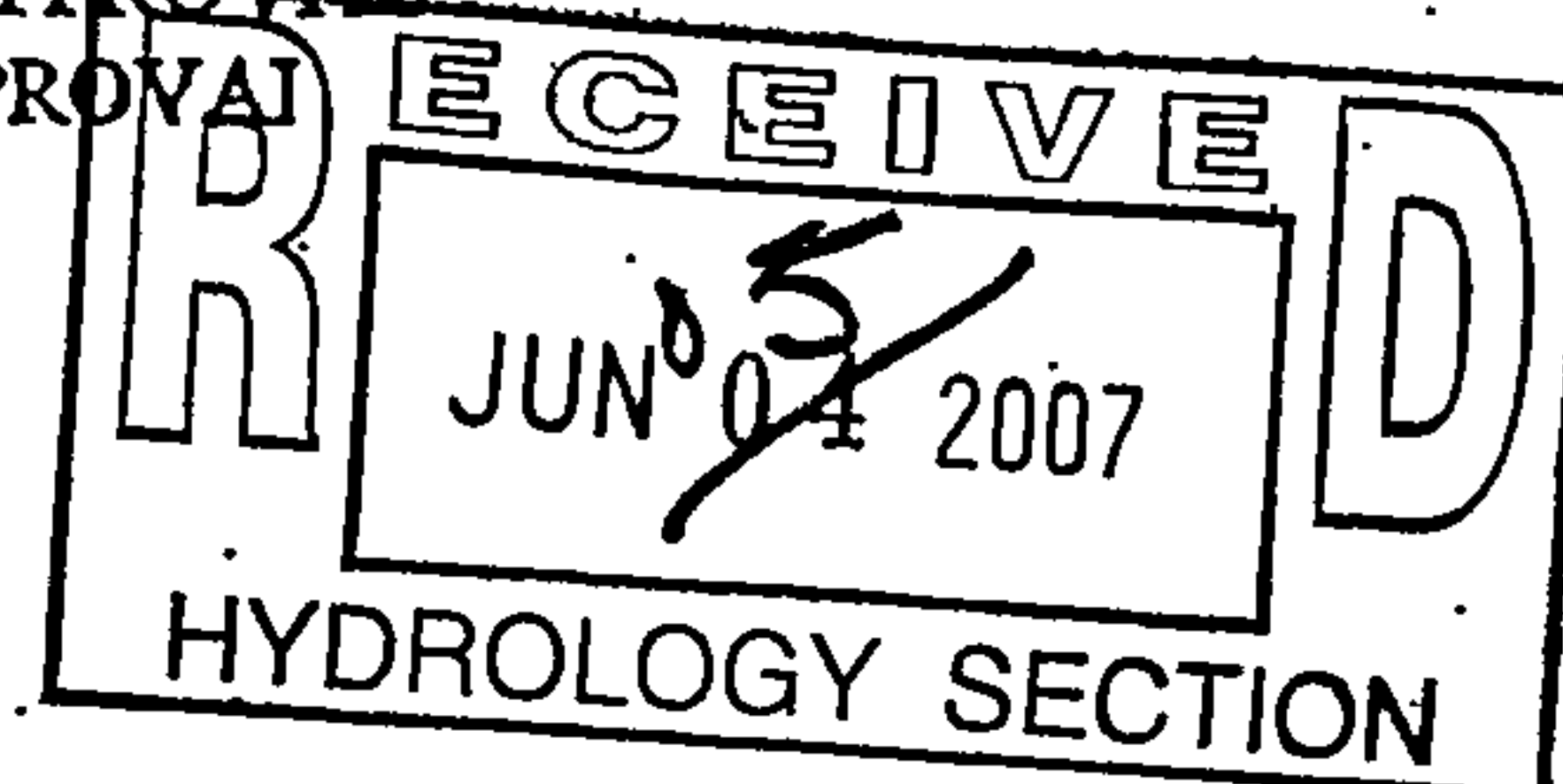
- ☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERT (HYDROLOGY)  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT  
☒ ENGINEER'S CERT (TCL)  
☒ ENGINEER'S CERT (DRB SITE PLAN)  
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☐ BUILDING PERMIT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY (PERM)  
☐ CERTIFICATE OF OCCUPANCY (TEMP)  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES  
☐ NO  
☐ COPY PROVIDED



SUBMITTED BY: STEVE MORROW DATE: 6-4-07

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
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3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

# CITY OF ALBUQUERQUE



June 5, 2007

Paul Brasher, P.E.  
**Brasher & Lorenz, Inc.**  
2201 San Pedro NE Bldg. 1 Ste. 1200  
Albuquerque, NM 87110

**Re: Value Place Hotel, 13001 & 13013 Central Ave. NE,  
Approval of Permanent Certificate of Occupancy (C.O.)  
Engineer's Stamp dated 10/18/05 (L22/D058)  
Certification dated 06/04/07**

Dear Mr. Brasher,

Based upon the information provided in your submittal received 06/05/07, the above referenced certification is approved for release of permanent Certificate of Occupancy by Transportation Development.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Wilfred Gallegos, P.E.  
Traffic Engineer, Planning Dept.  
Development and Building Services

C: CO Clerk-Katrina Sigala  
File

P.O. Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

# CITY OF ALBUQUERQUE



June 5, 2007

Paul Brasher, P.E.  
**Brasher & Lorenz, Inc.**  
2201 San Pedro NE Bldg. 1 Ste. 1200  
Albuquerque, NM 87110

**Re: Value Place Hotel, 13001 & 13013 Central Ave. NE,  
Approval of Permanent Certificate of Occupancy (C.O.)  
Engineer's Stamp dated 10/10/05 (L22/D058)  
Certification dated 06/04/07**

Based upon the information provided in your submittal received 6/05/07, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

P.O. Box 1293

If you have any questions, you can contact me at 924-3982.

Albuquerque

Sincerely,

New Mexico 87103

Timothy Sims  
Plan Checker, Hydrology  
Development and Building Services

[www.cabq.gov](http://www.cabq.gov)

C: CO Clerk-Katrina Sigala  
File



DRAINAGE D TRANSPORTATION INFORMATION TT  
(Rev. 06/22/2005)

PROJECT TITLE: VALUE PLACE HOTEL ZONE MAP/DRG. FILE # L-22/D58  
DRB#: 100A364 EPC#: \_\_\_\_\_ WORK ORDER#: 7730.81

LEGAL DESCRIPTION: TRACTS E-1 AND E-2, CANYON ACRES  
CITY ADDRESS: 13001 AND 13013 CENTRAL AVE N.E.

ENGINEERING FIRM: BRASHER & LORENZ, INC.  
ADDRESS: 2201 SAN PEDRO NE, BLDG 1, STE 1200  
CITY, STATE: ALBUQUERQUE, NEW MEXICO

CONTACT: PAUL BRASHER  
PHONE: (505) 888-6088  
ZIP CODE: 87110

OWNER: GUANAH PROPERTIES  
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CONTACT: ANDY RATCHFORD  
PHONE: 214-368-8780  
ZIP CODE: 75248

ARCHITECT: WDM ARCHITECTS  
ADDRESS: 105 N. WASHINGTON  
CITY, STATE: WICHITA, KANSAS

CONTACT: SCOTT BIXLER  
PHONE: (316) 262-4700  
ZIP CODE: 67202

SURVEYOR: PRECISION  
ADDRESS: 8604 JEFFERSON  
CITY, STATE: ALBUQ, NM

CONTACT: LARRY MEDRANO  
PHONE: 856-5700  
ZIP CODE: 87107

CONTRACTOR: MDH BUILDERS  
ADDRESS: #1 SEVEN ACRES DR.  
CITY, STATE: LITTLE ROCK, AR

CONTACT: KANA STEPHENSON  
PHONE: 501-580-9618  
ZIP CODE: 72223

TYPE OF SUBMITTAL:

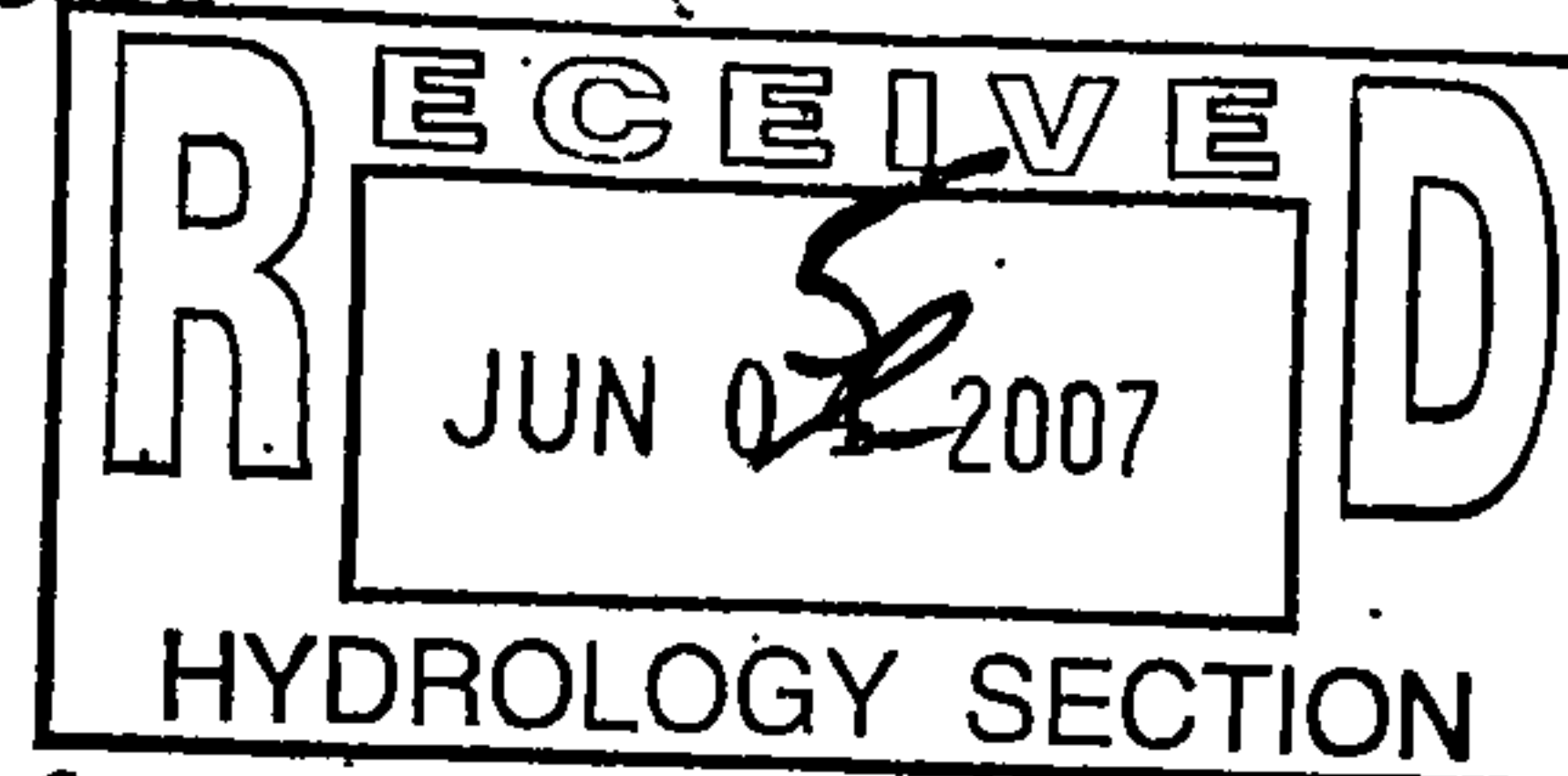
- ☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL  
☐ DRAINAGE PLAN RESUBMITTAL  
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☐ ENGINEER'S CERT (DRB SITE PLAN)  
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

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☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES  
☐ NO  
☐ COPY PROVIDED



SUBMITTED BY: STEVE MORROW DATE: 6-4-07

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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# CITY OF ALBUQUERQUE



May 17, 2007

Mr. Paul Brasher, P.E.  
**Brasher & Lorenz**  
2201 San Pedro NE Ste. 1200  
Albuquerque, NM 87110

**Re: Value Place Hotel, 13001 & 13013 Central Ave NE,  
Approval of 90-Day Temporary Certificate of Occupancy (C.O.)  
Engineer's Stamp dated 10/10/2005 (L-22/D058)  
Certification dated 05/16/2007**

Based upon the information provided in your submittal received 05/16/2007, the above referenced certification is approved for release of 90-day Temporary Certificate of Occupancy by Hydrology.

P.O. Box 1293

According to our records, the approved plan is date 8-30-2005. Please, correct this date on the stamp and in the certifying language when submitting for final certificate of occupancy.

Albuquerque


Upon final Engineer Certification of project site, please resubmit an updated Certification for Permanent C.O.

New Mexico 87103

If you have any questions, you can contact me at 924-3982.

[www.cabq.gov](http://www.cabq.gov)

Sincerely,

  
Timothy Sims  
Plan Checker  
Development and Building Services

C: CO Clerk-Katrina Sigala  
File



DRAINAGE AND TRANSPORTATION INFORMATION SHEET  
(Rev. 06/22/2005)

PROJECT TITLE: VALUE PLACE HOTEL ZONE MAP/DRG. FILE # L-22/D58  
DRB#: 1004364 EPC#: \_\_\_\_\_ WORK ORDER#: 7730.81

LEGAL DESCRIPTION: TRACTS E-1 AND E-2, CANYON ACRES  
CITY ADDRESS: 13001 AND 13013 CENTRAL AVE N.E.

ENGINEERING FIRM: BRASHER & LORENZ, INC.  
ADDRESS: 2201 SAN PEDRO NE, BLDG 1, STE 1200  
CITY, STATE: ALBUQUERQUE, NEW MEXICO

CONTACT: PAUL BRASHER  
PHONE: (505) 888-6088  
ZIP CODE: 87110

OWNER: QUANAH PROPERTIES  
ADDRESS: 16610 DALLAS PARKWAY SUITE 1300  
CITY, STATE: DALLAS, TX 75248

CONTACT: ANDY RATCHFORD  
PHONE: 214-368-8780  
ZIP CODE: 75248

ARCHITECT: WDM ARCHITECTS  
ADDRESS: 105 N. WASHINGTON  
CITY, STATE: WICHITA, KANSAS

CONTACT: SCOTT BIXLER  
PHONE: (316) 262-4700  
ZIP CODE: 67202

SURVEYOR: PRECISION  
ADDRESS: 8604 JEFFERSON  
CITY, STATE: ALBUQ, NM

CONTACT: LARRY MEDRANO  
PHONE: 856-5700  
ZIP CODE: 87107

CONTRACTOR: MDH BUILDERS  
ADDRESS: #1 SEVEN ACRES DC.  
CITY, STATE: LITTLE ROCK, AR

CONTACT: KAYO STEPHENSON  
PHONE: 501-580-9618  
ZIP CODE: 72223

TYPE OF SUBMITTAL:

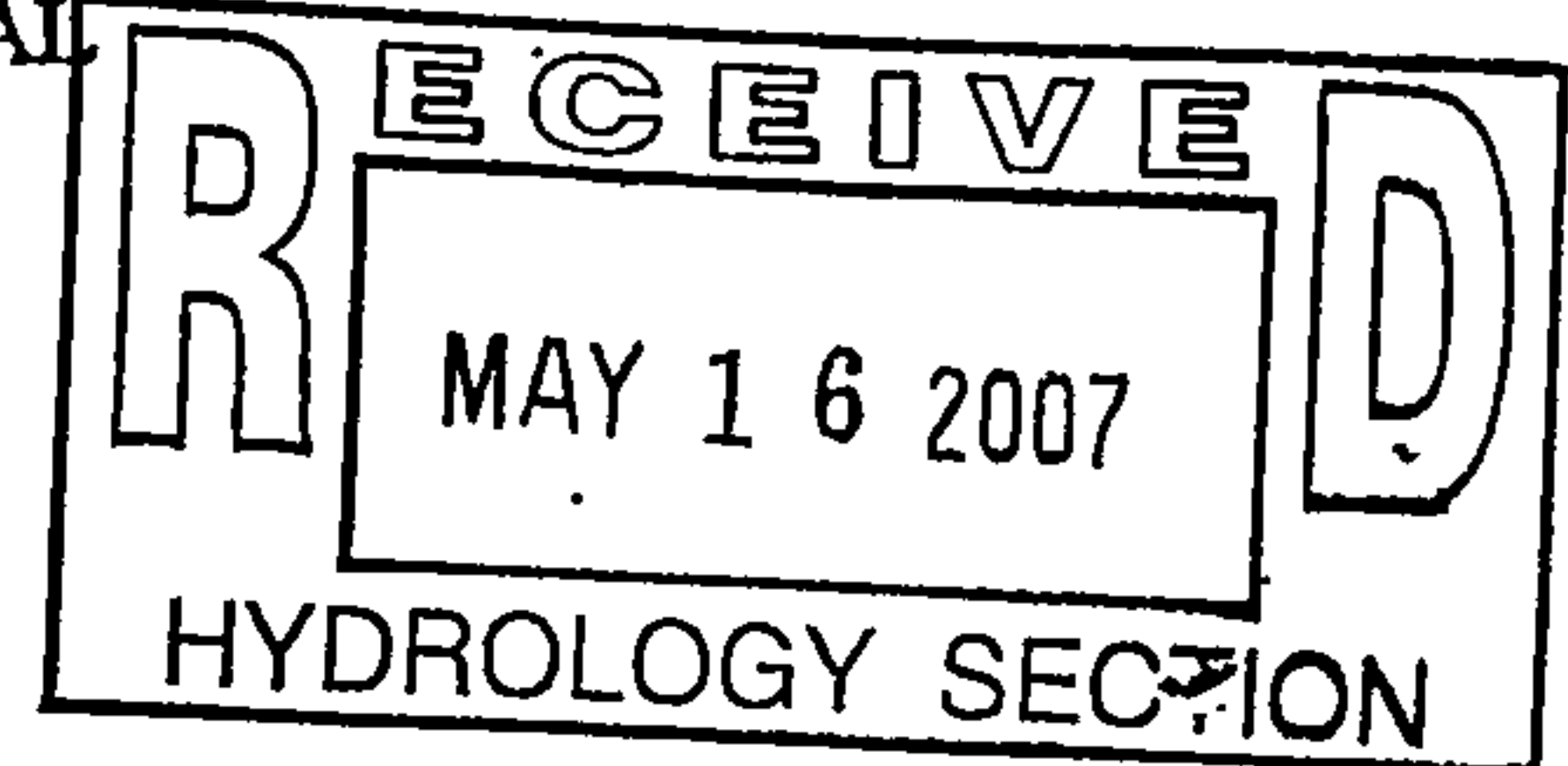
- ☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1\* SUBMITTAL  
☐ DRAINAGE PLAN RESUBMITTAL  
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☐ GRADING PLAN  
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☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

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☒ CERTIFICATE OF OCCUPANCY (TEMP)  
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☐ WORK ORDER APPROVAL  
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES  
☐ NO  
☐ COPY PROVIDED



SUBMITTED BY: STEVE MORROW DATE: 5-15-07

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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# CITY OF ALBUQUERQUE



**Planning Department  
Transportation Development Services Section**

May 17, 2007

Steven K. Morrow, P.E.,  
**BRASHER & LORENZ, INC.**  
2201 San Pedro NE, Bldg. 1, Ste. 1200  
Albuquerque, NM 87110

Re: **Approval of Temporary Certificate of Occupancy (C.O.) for  
Value Place Hotel, 13001 & 13013 Central Ave. NE  
Engineer's Stamp Dated 05/16/07 (L-22/D58)**

Dear Mr. Morrow:

Based on the information provided on your submittal dated May 16, 2007, the above referenced project is approved for a **90-day Temporary C.O.**

A Temporary C.O. has been issued allowing the outstanding striping and H.C. ramp issues to be completed within this time period. When these remaining issues have been fully completed, are in substantial compliance, and a final Certification for Transportation has been resubmitted to the City's Hydrology office for approval, a Permanent C.O. will be issued.

The Certification package for Final C.O. must include an exact copy of the approved TCL, or signed off D.R.B. Site Plan, which is in each of the two City Permit Plan Sets—the contractor's City field set and the City's plan set in the basement of the Plaza Del Sol building. Package also must include a letter of certification on designer's letterhead-stamped with his seal, signed, and dated. Submit package along with fully completed Drainage Information Sheet to front counter personnel for log in and evaluation by Transportation.

If you have any questions, please call me at 924-3630.

Sincerely,

  
Nilo E. Salgado-Fernandez, P.E.  
Senior Traffic Engineer  
Development and Building Services  
Planning Department

c: Engineer  
Hydrology file  
CO Clerk

P.O. Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)



DRAINAGE AND TRANSPORTATION INFORMATION SHEET  
(Rev. 06/22/2005)

PROJECT TITLE: VALUE PLACE HOTEL ZONE MAP/DRG. FILE # L-22/D58  
DRB#: 1004364 EPC#: N/A WORK ORDER#: 7730.81

LEGAL DESCRIPTION: TRACTS E-1 AND E-2, CANYON ACRES  
CITY ADDRESS: 13001 AND 13013 CENTRAL AVE N.E.

ENGINEERING FIRM: BRASHER & LORENZ, INC.  
ADDRESS: 2201 SAN PEDRO NE, BLDG 1, STE 1200  
CITY, STATE: ALBUQUERQUE, NEW MEXICO

CONTACT: PAUL BRASHER  
PHONE: (505) 888-6088  
ZIP CODE: 87110

OWNER: QUANAH PROPERTIES  
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PHONE: 856-5700  
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CITY, STATE: LITTLE ROCK, AR

CONTACT: KAYO STEPHENSON  
PHONE: 501-580-9618  
ZIP CODE: 72223

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL G & D PLAN  
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☐ ENGINEER'S CERT (TCL)  
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☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

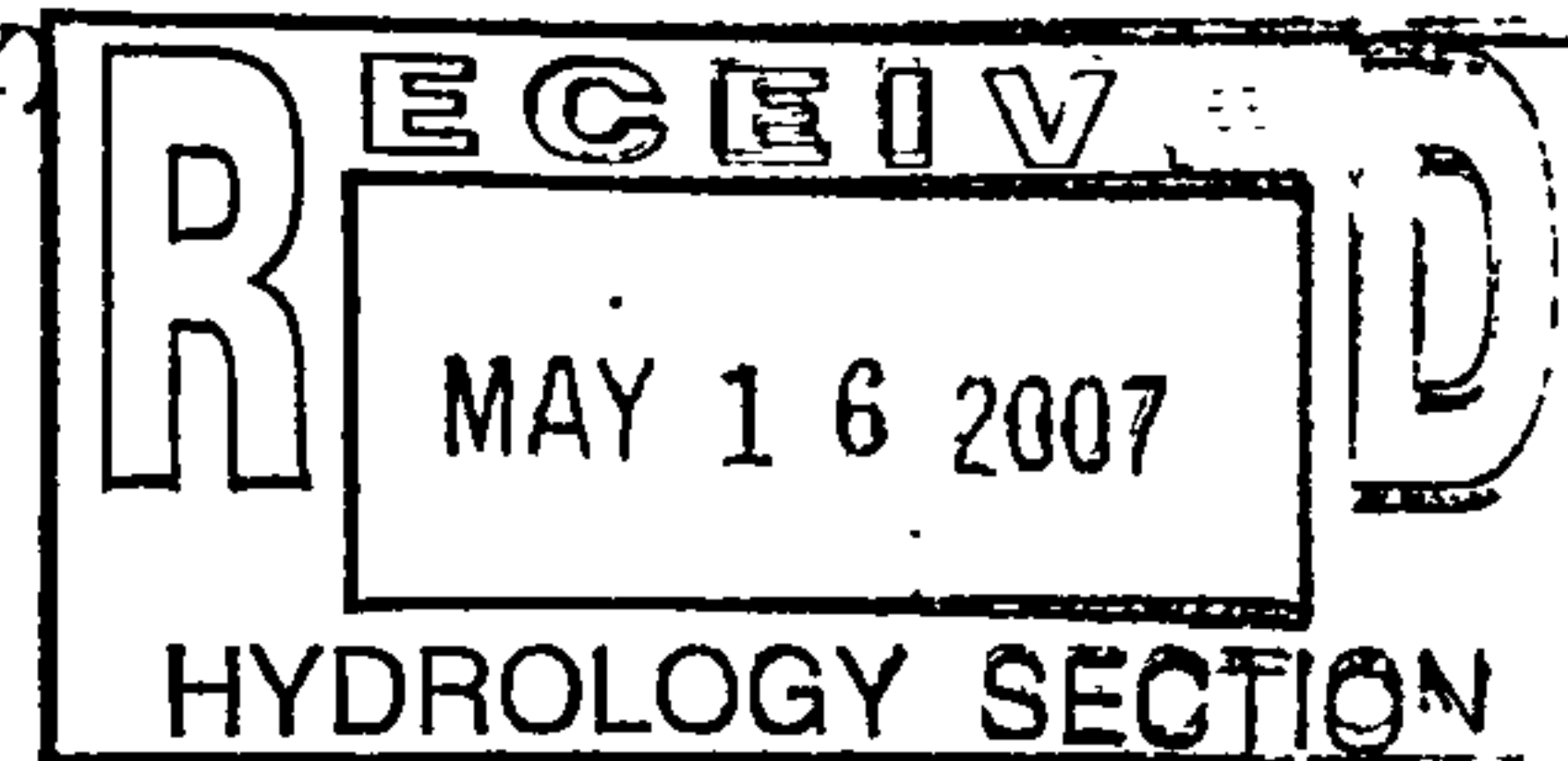
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☐ WORK ORDER APPROVAL  
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES  
☐ NO  
☐ COPY PROVIDE

SUBMITTED BY: STEVE MORROW

DATE: 5-15-07

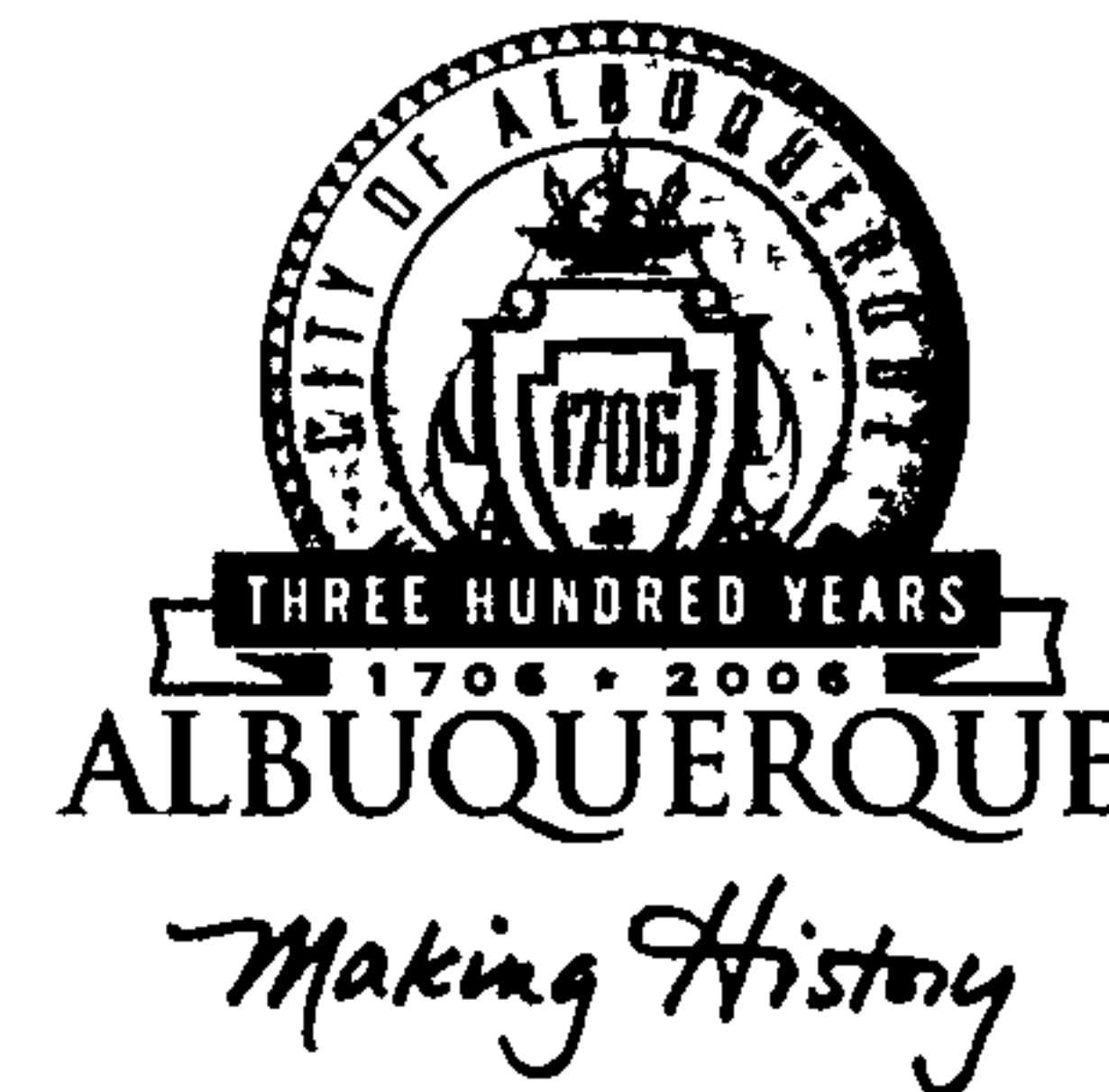


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# CITY OF ALBUQUERQUE



September 9, 2005

Paul T. Brasher, P.E.  
Brasher & Lorenz, Inc.  
2201 San Pedro NE Bldg. 1 Suite 1200  
Albuquerque, NM 87110

**Re: Value Place Hotel 13001 and 13013 Central Ave. NE**  
**Grading and Drainage Plan**  
**Engineer's Stamp dated 8-30-05 (L22-D58)**

Dear Mr. Brasher,

Based upon the information provided in your submittal received 8-30-05, the above referenced plan is approved for Site Development Plan, Site Building Permit, Preliminary Plat action by DRB and Building Permit. Once the board approves the plan, please submit a Mylar copy for my signature in order to obtain a Rough Grading Permit.

P.O. Box 1293

Albuquerque

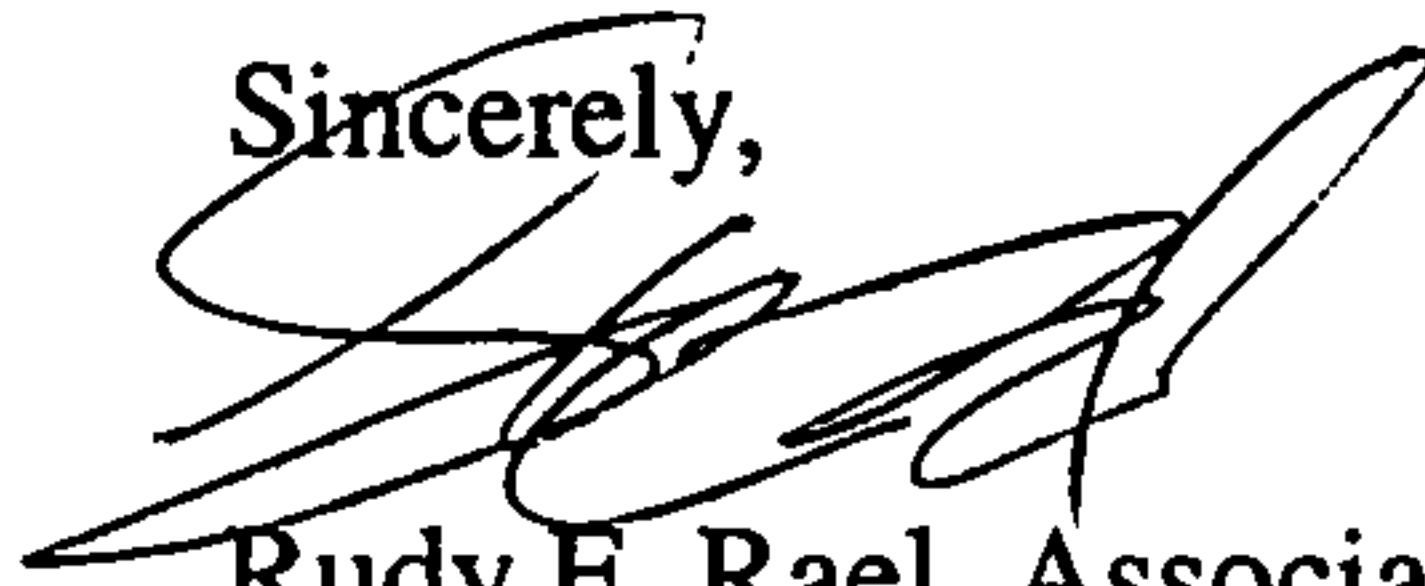
This project requires a National Pollutant Discharge Elimination System (NPDES) permit. If you have any questions regarding this permit please feel free to call the DMD Storm Drainage Design section at 768-3654 (Charles Caruso).

New Mexico 87103

If you have any questions, you can contact me at 924-3695.

[www.cabq.gov](http://www.cabq.gov)

Sincerely,



Rudy E. Rael, Associate Eng.  
Planning Department.  
Development and Building Services

C: Charles Caruso, DMD Storm Drainage Design  
CC: File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET  
(Rev. 06/22/2005)

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CITY, STATE: ALBUQUERQUE, NEW MEXICO

CONTACT: PAUL BRASHER  
PHONE: (505) 888-6088  
ZIP CODE: 87110

OWNER: VALUE PLACE, INC. (OWNER UNDER CONTRACT)  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

ARCHITECT: WDM ARCHITECTS  
ADDRESS: 105 N. WASHINGTON  
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CONTACT: LARRY MEDRANO  
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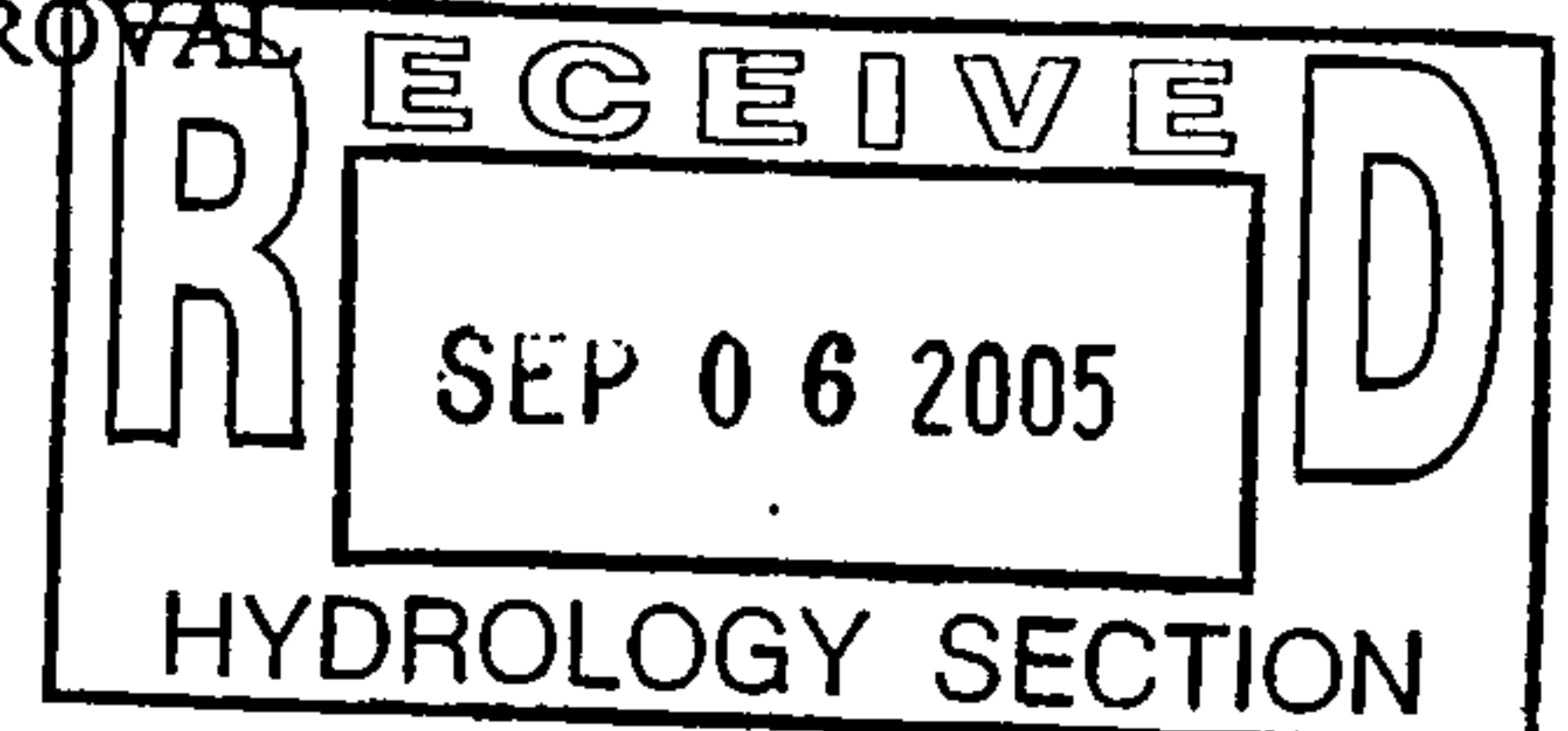
CONTRACTOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

TYPE OF SUBMITTAL:  
☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL  
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☐ CONCEPTUAL G & D PLAN  
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☐ WORK ORDER APPROVAL  
☐ OTHER (SPECIFY) \_\_\_\_\_

WAS A PRE-DESIGN CONFERENCE ATTENDED:  
☒ YES  
☐ NO  
☐ COPY PROVIDED



SUBMITTED BY: [Signature] DATE: 9-02-05

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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Find file, file  
for review





**BRASHER & LORENZ, INC.**  
**CONSULTING ENGINEERS**

2201 San Pedro NE Bldg 1 Suite 1200 • Albuquerque, NM 87110 • Phone (505) 888-6088 • Fax (505) 888-6188 •

September 2, 2005

Kristal D. Metro, PE  
Development and Building Services  
Planning Department  
PO Box 1293  
Albuquerque, New Mexico 87103

**RE: VALUE PLACE HOTEL GRADING AND DRAINAGE PLAN – L-22 / D58**

Dear Ms. Metro:

Having received your review comments regarding our grading and drainage submittal dated 08/02/05 for Value Place Hotel, we have revised the Grading and Drainage Plan, attached, as follows:

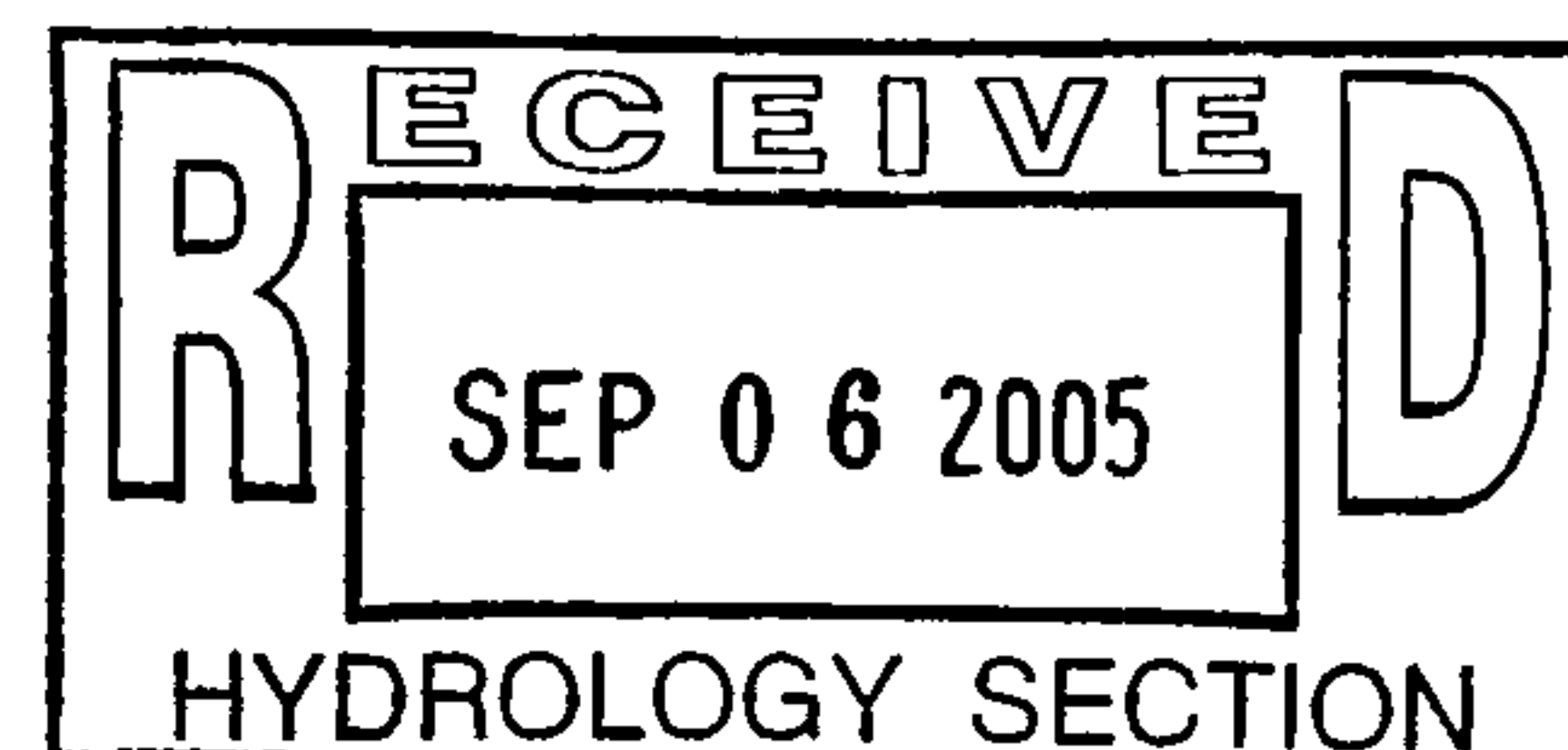
The tabulation of flow rates generated within the respective basins has been revised to reflect the AHYMO analyses we conducted. There isn't a good explanation as to how that table got confused, but I appreciate your attention to that detail.

We generally include the parking lot striping on the grading plan since contractors use it as a reference in fine grading and paving section. But showing it does tend to clutter the drawing, so we have removed it from our submittal, together with a few extraneous legend symbols.

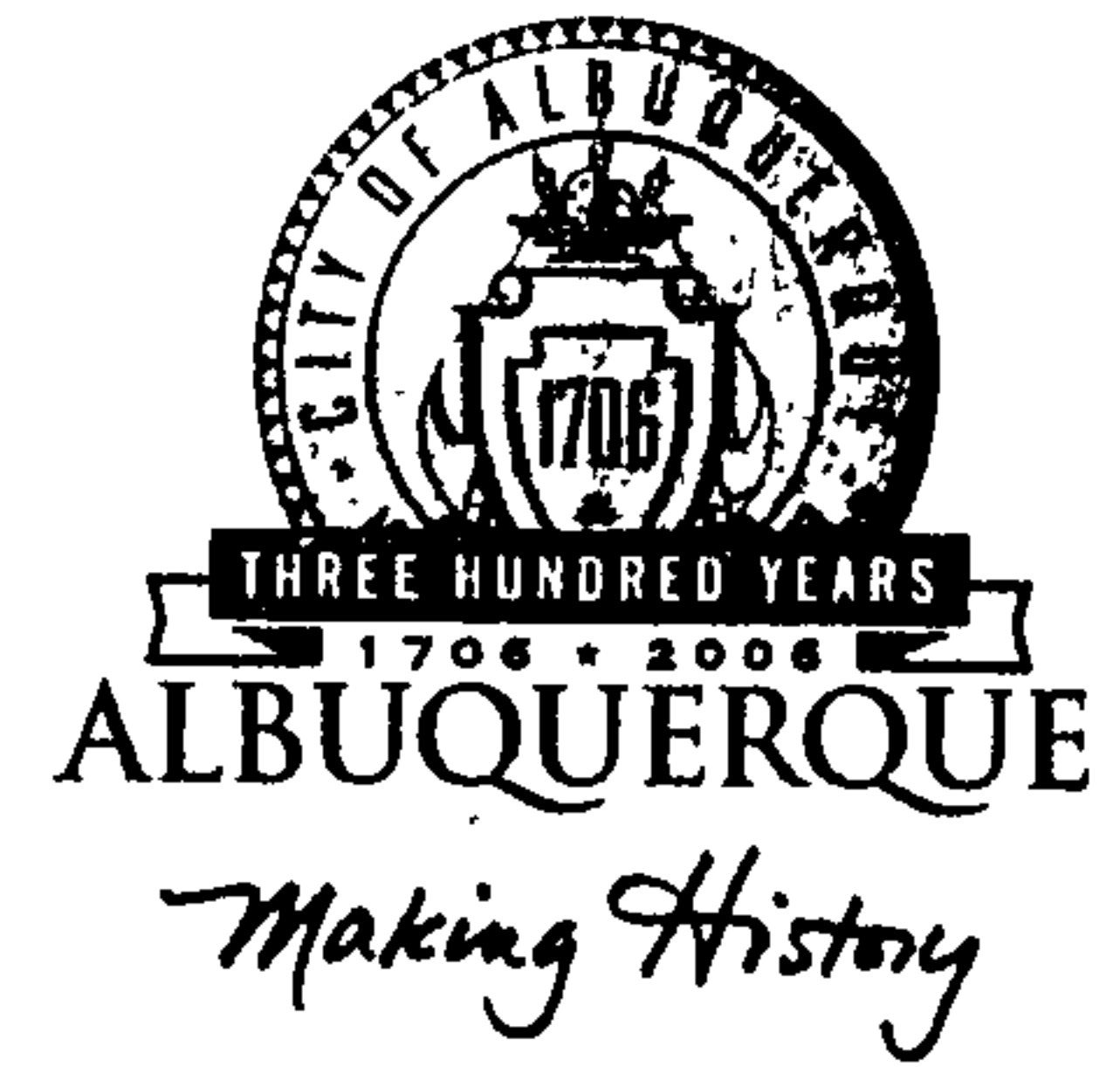
If you have any further comments, please let me know. Thanks for your help in this.

Sincerely,

Paul Brasher, PE  
Brasher & Lorenz, Inc.



# CITY OF ALBUQUERQUE



August 25, 2005

Paul Brasher, P.E.  
Brasher & Lorenz  
2201 San Pedro NE, Building 1 Suite 1200  
Albuquerque, NM 87110

**Re: Value Place Hotel, 13001 and 13013 Central Avenue NE, Site  
Development Plan  
Engineer's Stamp dated 8-02-05 (L22-D58)**

Dear Mr. Brasher,

Based upon the information provided in your submittal received 8-02-05, the above referenced plan is approved for Site Development Plan for Building Permit and Preliminary Plat action by the DRB. However, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. The flow calculations shown on the grading and drainage plan are incorrect. Please correct these calculations before your next submittal.
2. Remove all references to non-hydrology related issues, such as striping.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro, P.E.  
Senior Engineer, Planning Dept.  
Development and Building Services

C: File

P.O. Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

DRAINAGE AND TRANSPORTATION INFORMATION SHEET  
(Rev. 06/22/2005)

PROJECT TITLE: VALUE PLACE HOTEL ZONE MAP/DRG. FILE # L-22/DS8  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: TRACTS E-1 AND E-2, CANYON ACRES  
CITY ADDRESS: 13001 AND 13013 CENTRAL AVE N.E.

ENGINEERING FIRM: BRASHER & LORENZ, INC.  
ADDRESS: 2201 SAN PEDRO NE, BLDG 1, STE 1200  
CITY, STATE: ALBUQUERQUE, NEW MEXICO

CONTACT: PAUL BRASHER  
PHONE: (505) 888-6088  
ZIP CODE: 87110

OWNER: VALUE PLACE, INC (OWNER UNDER CONTRACT)  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

ARCHITECT: WDM ARCHITECTS  
ADDRESS: 105 N. WASHINGTON  
CITY, STATE: WICHITA, KANSAS

CONTACT: SCOTT BIXLER  
PHONE: (316) 262-4700  
ZIP CODE: 67202

SURVEYOR: PRECISION  
ADDRESS: 8604 JEFFERSON  
CITY, STATE: ALBUQ, NM

CONTACT: LARRY MEDRANO  
PHONE: 856-5700  
ZIP CODE: 87107

CONTRACTOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL G & D PLAN  
☒ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERT (HYDROLOGY)  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT  
☐ ENGINEER'S CERT (TCL)  
☐ ENGINEER'S CERT (DRB SITE PLAN)  
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE  
☒ PRELIMINARY PLAT APPROVAL  
☒ S. DEV. PLAN FOR SUB'D APPROVAL  
☒ S. DEV. FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☒ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☐ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY (PERM)  
☐ CERTIFICATE OF OCCUPANCY (TEMP)  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES  
☐ NO  
☐ COPY PROVIDED

SUBMITTED BY: Paul Brasher DATE: 08-02-05  
PAUL BRASHER

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

