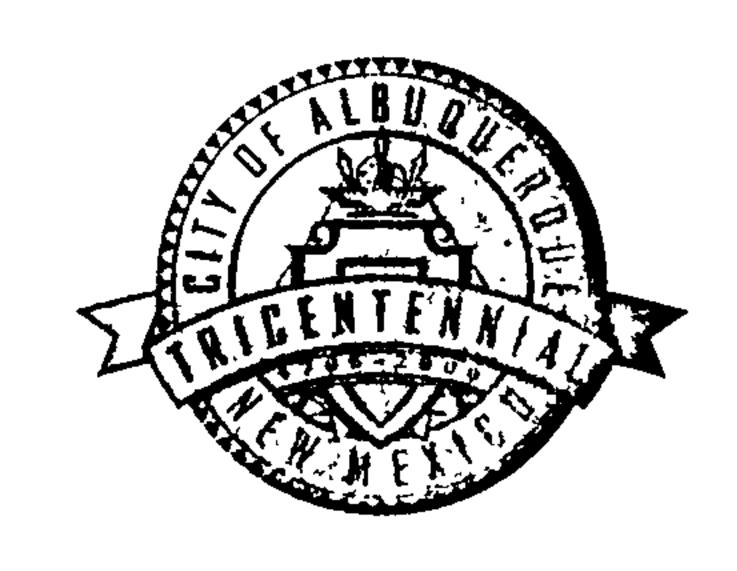
PROJECT TITLE: VALUE PLACE HOTEL DRB#: 1004364 EPC#:	ONE MAP/DRG. FILE # L-22/D58.
VICER: EPC#:	YORK ORDER#: 77 30, 81
LEGAL DESCRIPTION: TRACTS B-1 AND E-2, CA	NYON ACRES
CITY ADDRESS: 13001 AND 13013 CENTRAL AND	N.B.
ENGINEERING FIRM: BRAGHER & LOPENZ, INC.	COMMICON PARIS MAGNICIZ
ADDRESS: 2201 SAN PEORD NE, BLOCI, STE 1200	CONTACT: PAUL BRASHER PHONE:(505) 888-6088
CITY, STATE: PLBUOUERQUE, HEW MEXICO	ZIP CODE: 87110
•	ZIP CODE: O MO
OWNER: QUANAH-RROBERTIES	CONTACT: ANDY RATCHFORD
ADDRESS: 16610 DAILAS PARKWAY SUITE 130	PHONE: 214-365-8780
ADDRESS: 16610 DAILAS PARKWAY SUITE 130 CITY, STATE: DALLAS, TX 75248	ZIP CODE: 75248
ARCHITECT: WDM AKCHITECTS	
ADDRESS: 105. N. WIGHTON	CONTACT: SCOTT BIXLER
CITY, STATE: WICHITA, KALLSAS	PHONE: (316) 262-4700
	ZIP CODE: 67101
SURVEYOR: PRECISION.	CONTACT: LARRY MEDRANO
ADDRESS: 8604 JEFFESCH	PHONE: 856-5700
CITY, STATE: LUBUS, NW	ZIP CODE: 8 107
CONTRACTOR: MISH RILL DERS	
ADDDEGO AFA	CONTACT: KAYO STEPHENSON
CITY, STATE: LITYLE RULLE, AR	PHONE: 501 - 580 - 9618
,	ZIP CODE: 72223
TYPE OF SUBMITTAL:	TYPE OF APPROVAL SOUGHT:
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DRAINAGE PLAN 1* SUBMITTAL	PRELIMINARY PLAT APPROVAL
DKAINAGE PLAN RESUBMITTAL	S. DEV. PLAN FOR SUB'D APPROVAL
CONCEPTUAL G & D PLAN	S. DEV. FOR BLDG. PERMIT APPROVAL
GRADING PLAN	SECTOR PLAN APPROVAL
EROSION CONTROL PLAN	FINAL PLAT APPROVAL
ENGINEER'S CERT (HYDROLOGY)	FOUNDATION PERMIT APPROVAL
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ENGINEER'S CERT (DRB SITE PLAN)	CERTIFICATE OF OCCUPANCY (TEMP)
OTHER	GRADING PERMIT APPROVAL
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	WORK ORDER APPROVALE CELL VELL COTHER (SPECIFY)
WAS A PRE-DESIGN CONFERENCE ATTENDED:	. LUJUN 974 2007 11 U
YES . ·	
NO	HYDROLOGY SECTION
COPY PROVIDED	·
SUBMITTED BY: STEVE MORROW	DATE: 6-4-07
Requests for approvals of Site Development Plans and/or Subdivision	Plats shall be accompanied by a drainage submittal. The
particular nature, location and scope to the proposed development defi	ines the degree of drainage detail. One or more of the following
levels of submittal may be required based on the following:	·
Concentual Creding and Desires Dies. Desired	1 600

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



June 5, 2007

Paul Brasher, P.E.

Brasher & Lorenz, Inc.

2201 San Pedro NE Bldg. 1 Ste. 1200

Albuquerque, NM 87110

Re: Value Place Hotel, 13001 & 13013 Central Ave. NE, Approval of Permanent Certificate of Occupancy (C.O.) Engineer's Stamp dated 10/18/05 (L22/D058) Certification dated 06/04/07

Dear Mr. Brasher,

Based upon the information provided in your submittal received 06/05/07, the above referenced certification is approved for release of permanent Certificate of Occupancy by Transportation Development.

If you have any questions, you can contact me at 924-3981.

Albuquerque

P.O. Box 1293

Sincerely,

New Mexico 87103
Wilfred Gallegos, P.E.

Traffic Engineer, Planning Dept.

Development and Building Services

www.cabq.gov

C: CO Clerk-Katrina Sigala File

Albuquerque - Making History 1706-2006



June 5, 2007

Paul Brasher, P.E.

Brasher & Lorenz, Inc.

2201 San Pedro NE Bldg. 1 Ste. 1200

Albuquerque, NM 87110

Re: Value Place Hotel, 13001 & 13013 Central Ave. NE, Approval of Permanent Certificate of Occupancy (C.O.) Engineer's Stamp dated 10/10/05 (L22/D058) Certification dated 06/04/07

Based upon the information provided in your submittal received 6/05/07, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

P.O. Box 1293

If you have any questions, you can contact me at 924-3982.

Sincerely,

Albuquerque

Timothy Sims

New Mexico 87103 Plan Checker, Hydrology

Development and Building Services

www.cabq.gov

C: CO Clerk-Katrina Sigala

File

DRAINAGI D TRANSPORTATION INFORMATION (Rev. 06/22/2005)

PROJECT TITLE: VALUE PLACE HOTEL DRB#: 1004364 EPC#:	ZONE MAP/DRG. FILE # L-22/158 WORK ORDER#: 77 30.81
LEGAL DESCRIPTION: TRACTS E-1 AND E-2, C CITY ADDRESS: 13001 AND 13013 CENTRAL A	1 A NYON ACIDES
ENGINEERING FIRM: BRACHER & LOPEALZ, LHC. ADDRESS: ZZOI SAN PEDRO NE, BLOCI, STE 120 CITY, STATE: ALBUQUERQUE, NEW LIEXICO	CONTACT: PAUL BRASHER DO PHONE:(505) 888-6088 ZIP CODE: 87110
OWNER: GUANAH PROPERTIES ADDRESS: 16610 DAILAS PARKWAY SUITE CITY, STATE: DALLAS, TY 75248	CONTACT: ANDY RATCHFORD. 300 PHONE: 214-368-8780 ZIP CODE: 75 248
ARCHITECT: WOM ARCHITECTS ADDRESS: 105 H. WIGHTOH CITY, STATE: WICHITA, KAUSAS	CONTACT: SCOTT BIXLER PHONE: (316) 262-4700 ZIP CODE: 67707
SURVEYOR: PRECISION ADDRESS: 8604 JEFFFESCH CITY, STATE: LUBUD, NIM	CONTACT: LARRY MEDRANO PHONE: 856-5700 ZIP CODE: 87107
CONTRACTOR: MIDH BUILDERS ADDRESS: #1 SEVEN ACRES Dr. CITY, STATE: LITTLE ROCK, AR	CONTACT: KAYO STEPHENSON PHONE: 501-580-9618 ZIP CODE: 72223
TYPE OF SUBMITTAL: DRAINAGE REPORT DRAINAGE PLAN 1* SUBMITTAL DRAINAGE PLAN RESUBMITTAL CONCEPTUAL G & D PLAN GRADING PLAN EROSION CONTROL PLAN ENGINEER'S CERT (HYDROLOGY) CLOMR/LOMR TRAFFIC CIRCULATION LAYOUT ENGINEER'S CERT (TCL) ENGINEER'S CERT (DRB SITE PLAN) OTHER WAS A PRE-DESIGN CONFERENCE ATTENDED:	SIA/FINANCIAL GUARANTEE RELEASE PRELIMINARY PLAT APPROVAL S. DEV. PLAN FOR SUB'D APPROVAL S. DEV. FOR BLDG. PERMIT APPROVAL SECTOR PLAN APPROVAL FINAL PLAT APPROVAL FOUNDATION PERMIT APPROVAL BUILDING PERMIT APPROVAL CERTIFICATE OF OCCUPANCY (PERM) CERTIFICATE OF OCCUPANCY (TEMP) GRADING PERMIT APPROVAL PAVING PERMIT APPROVAL WORK ORDER APPROVAL OTHER (SPECIFY)
YES NO COPY PROVIDED	HYDROLOGY SECTION
SUBMITTED BY: STEVE MORIZOW Requests for approvals of Site Development Plans and/or Subdivision	DATE: 6-4-07
Darticular nature location and come to the manner of decation and	

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



May 17, 2007

Mr. Paul Brasher, P.E.

Brasher & Lorenz

2201 San Pedro NE Ste. 1200

Albuquerque, NM 87110

Re: Value Place Hotel, 13001 & 13013 Central Ave NE,

Approval of 90-Day Temporary Certificate of Occupancy (C.O.)

Engineer's Stamp dated 10/10/2005 (L-22/D058)

Certification dated 05/16/2007

Based upon the information provided in your submittal received 05/16/2007, the above referenced certification is approved for release of 90-day Temporary Certificate of Occupancy by Hydrology.

P.O. Box 1293

According to our records, the approved plan is date 8-30-2005. Please, correct this date on the stamp and in the certifying language when submitting for final certificate of occupancy.

Albuquerque

Upon final Engineer Certification of project site, please resubmit an updated Certification for Permanent C.O.

New Mexico 87103

If you have any questions, you can contact me at 924-3982.

www.cabq.gov

Timothy Sims

Sincerely,

Plan Checker

Development and Building Services

C:

CO Clerk-Katrina Sigala

File

DRAINAGI ND TRANSPORTATION INFORMATION (Rev. 06/22/2005)

PROJECT TITLE: VALUE PLACE HOTEL DRB#: 1004364 EPC#:	ZONE MAP/DRG. FILE # L-22/158 WORK ORDER#: 77 30.81
LEGAL DESCRIPTION: TRACTS E-1 AND E-2, CITY ADDRESS: 13001 AND 13013 CENTRAL A	CANYON ACRES.
ENGINEERING FIRM: BRASHETZ : WPENZ, INC. ADDRESS: 2201 SAN PEDRO NE, BLOCI, STE 12 CITY, STATE: ALBUQUERQUE, NEW MEXICO	CONTACT: PAUL BRASHER DO PHONE:(505) 888-6088 ZIP CODE: 87110
OWNER: GUANAH PROPERTIES ADDRESS: 16610 DAILAS PARKWAY SUITE CITY, STATE: DALLAS, TY 75248	CONTACT: AND RATCHFORD. 1300 PHONE: 214-368-8780 ZIP CODE: 75 248
ARCHITECT: WDM ARCHITECTS ADDRESS: 105 H. WASHINGTON CITY, STATE: WICHITA, KANSAS	CONTACT: SCOTT BIXLER PHONE: (316) 262-4700 ZIP CODE: 67702
SURVEYOR: PRECISION ADDRESS: 8604 JEFFERSON CITY, STATE: LUBUS, NM	CONTACT: LARRY MEDRANO PHONE: 856-5700 ZIP CODE: 87107
CONTRACTOR: MIDH BUILDERS ADDRESS: #1 SEVEN ACRES DC. CITY, STATE: LITTLE ROCK, AR	CONTACT: KAYO STEPHENSON PHONE: 501 - 580 - 9618 ZIP CODE: 72223
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SUBMITTED BY: STEVE MORIOW	DATE: 5-15-07
Requests for approvals of Site Development Plans and/or Subdivision particular nature, location and scope to the proposed development de levels of submittal may be required based on the following: 1. Conceptual Grading and Drainage Plan: Required for appropriate the second	fines the degree of drainage detail. One or more of the following

Sector Plans.

- Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



Planning Department Transportation Development Services Section

May 17, 2007

Steven K. Morrow, P.E., BRASHER & LORENZ, INC. 2201 San Pedro NE, Bldg. 1, Ste. 1200 Albuquerque, NM 87110

Re: Approval of Temporary Certificate of Occupancy (C.O.) for

Value Place Hotel, 13001 & 13013 Central Ave. NE Engineer's Stamp Dated 05/16/07 (L-22/D58)

Dear Mr. Morrow:

Based on the information provided on your submittal dated May 16, 2007, the above referenced project is approved for a 90-day Temporary C.O.

P.O. Box 1293 A Temporary C.O. has been issued allowing the outstanding striping and H.C. ramp

issues to be completed within this time period. When these remaining issues have been fully completed, are in substantial compliance, and a final Certification for Transportation has been resubmitted to the City's Hydrology office for approval, a Permanent C.O. will

be issued.

Albuquerque

www.cabq.gov

The Certification package for Final C.O. must include an <u>exact</u> copy of the approved TCL, or signed off D.R.B. Site Plan, which is in each of the two City Permit Plan Sets—the contractor's City field set and the City's plan set in the basement of the Plaza Del Sol building. Package also must include a letter of certification on designer's letterhead-stamped with his seal, signed, and dated. Submit package along with fully completed Drainage Information Sheet to front counter personnel for log in and evaluation by

Transportation.

Sincérely

If you have any questions, please call me at 924-3630.

Nild E. Salgado-Fernandez, P.E.

Senior Traffic Engineer

Development and Building Services

Planning Department

c: Engineer

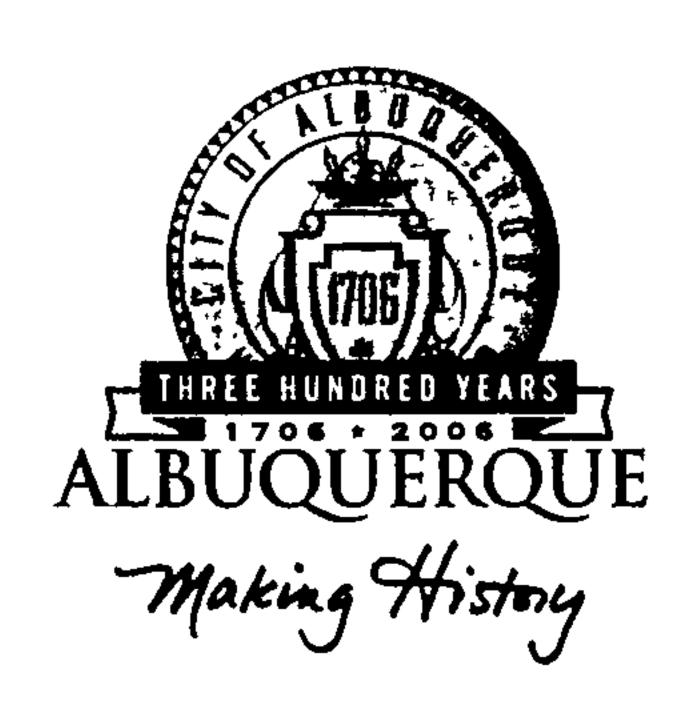
Hydrology file CO Clerk

DRAINAGI VD TRANSPORTATION INFORMATION EET (Rev. 06/22/2005)

PROJECT TITLE: VALUE PLACE HOTEL DRB#: 1004364 EPC#: N/A	ZONE MAP/DRG. FILE # L-22/158 WORK ORDER#: 7730.81
LEGAL DESCRIPTION: TRACTS E-1 AND E-7 CITY ADDRESS: 13001 AND 13013 CENTRAL	•
ENGINEERING FIRM: BRACHER LURENZ, INC. ADDRESS: ZZUI SAN PEORD NE, BLOCI, ST. CITY, STATE: ALBUQUERQUE, NEW MEXICO	
OWNER: QUANAU PROPERTIES ADDRESS: 1660 DAILAS PARKUA CITY, STATE: 1300 DALLAS TY	
ARCHITECT: WDM ARCHITECTS ADDRESS: 105 H. WASHINGTON CITY, STATE: WICHITA, KANSAS	CONTACT: SCOTT BIXLER PHONE: (316) 262-4700 ZIP CODE: 67701
SURVEYOR: PRECISION ADDRESS: 8604 JEFFERSCH CITY, STATE: LUBUD. NIM	CONTACT: LARRY MEDRANO PHONE: 856-5700 ZIP CODE: 87107
CONTRACTOR: MIDH BUILDERS ADDRESS: #1 SEVEN ACRES DC CITY, STATE: LITTLE ROCK, AR	CONTACT: <u>KAYO STEPHENSON</u> PHONE: <u>501 - 580 - 9618</u> ZIP CODE: <u>72223</u>
TYPE OF SUBMITTAL: DRAINAGE REPORT DRAINAGE PLAN 1* SUBMITTAL DRAINAGE PLAN RESUBMITTAL CONCEPTUAL G & D PLAN GRADING PLAN EROSION CONTROL PLAN ENGINEER'S CERT (HYDROLOGY) CLOMR/LOMR TRAFFIC CIRCULATION LAYOUT ENGINEER'S CERT (TCL) ENGINEER'S CERT (DRB SITE PLAN) OTHER	CHECK TYPE OF APPROVAL SOUGHT: SIA/FINANCIAL GUARANTEE RELEASE PRELIMINARY PLAT APPROVAL S. DEV. PLAN FOR SUB'D APPROVAL S. DEV. FOR BLDG. PERMIT APPROVAL SECTOR PLAN APPROVAL FINAL PLAT APPROVAL FOUNDATION PERMIT APPROVAL BUILDING PERMIT APPROVAL CERTIFICATE OF OCCUPANCY (PERM) CERTIFICATE OF OCCUPANCY (TEMP) GRADING PERMIT APPROVAL PAVING PERMIT APPROVAL WORK ORDER APPROVAL OTHER (SPECIFY)
WAS A PRE-DESIGN CONFERENCE ATTENDED: YES NO COPY PROVIDE SUBMITTED BY: MORROW	MAY 1 6 2007 HYDROLOGY SECTION

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



September 9, 2005

Paul T. Brasher, P.E. Brasher & Lorenz, Inc. 2201 San Pedro NE Bldg. 1 Suite 1200 Albuquerque, NM 87110

Re: Value Place Hotel 13001 and 13013 Central Ave. NE

Grading and Drainage Plan

Engineer's Stamp dated 8-30-05 (L22-D58)

Dear Mr. Brasher,

Based upon the information provided in your submittal received 8-30-05, the above referenced plan is approved for Site Development Plan, Site Building Permit, Preliminary Plat action by DRB and Building Permit. Once the board approves the plan, please submit a Mylar copy for my signature in order to obtain a Rough Grading Permit.

Albuquerque

P.O. Box 1293

This project requires a National Pollutant Discharge Elimination System (NPDES) permit. If you have any questions regarding this permit please feel free to call the DMD Storm Drainage Design section at 768-3654 (Charles Caruso).

New Mexico 87103

If you have any questions, you can contact me at 924-3695.

www.cabq.gov

Rudy E. Rael, Associate Eng.

Planning Department.

Development and Building Services

W

Sincerely.

C: Charles Caruso, DMD Storm Drainage Design

CC: File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (Rev. 06/22/2005)

PROJECT TITLE: VALUE PLACE HOTEL DRB#: EPC#:	ZONE MAP/DRG. FILE # L-22/D58 WORK ORDER#:
LEGAL DESCRIPTION: TRACTS E-1 AND E-2, CACITY ADDRESS: 13001 AND 13013 CENTRAL AVE	ANYON ACRES N.E.
ENGINEERING FIRM: BRACHER LUPENZ, INC. ADDRESS: ZZOI SAN PEDRO NE, BLOGI, STE 1200 CITY, STATE: ALBUQUERQUE, NEW MEXICO	CONTACT: PAUL BRASHER PHONE: (505) 888-6088 ZIP CODE: 87110
OWNER: VALUE PLACE, INC. (ONHER UNDER COMPRACT ADDRESS:	CONTACT:PHONE: ZIP CODE:
ARCHITECT: WOM ARCHITECTS ADDRESS: 105 N. WASHINGTON CITY, STATE: WICHITA, KANSAS	CONTACT: SCOTT BIXLER PHONE: (316) 262-4700 ZIP CODE: 67702
SURVEYOR: PRECISION ADDRESS: 8604 JEFFESSON CITY, STATE: BUBLO, NM	CONTACT: LARRY MEDRANO PHONE: 856-5700 ZIP CODE: 87107
CONTRACTOR: ADDRESS: CITY, STATE:	CONTACT: PHONE: ZIP CODE:
DRAINAGE REPORT DRAINAGE PLAN 1st SUBMITTAL DRAINAGE PLAN RESUBMITTAL CONCEPTUAL G & D PLAN GRADING PLAN EROSION CONTROL PLAN ENGINEER'S CERT (HYDROLOGY) CLOMR/LOMR TRAFFIC CIRCULATION LAYOUT ENGINEER'S CERT (TCL) ENGINEER'S CERT (DRB SITE PLAN) OTHER	TYPE OF APPROVAL SOUGHT: SIA/FINANCIAL GUARANTEE RELEASE PRELIMINARY PLAT APPROVAL S. DEV. PLAN FOR SUB'D APPROVAL S. DEV. FOR BLDG. PERMIT APPROVAL SECTOR PLAN APPROVAL FINAL PLAT APPROVAL FOUNDATION PERMIT APPROVAL BUILDING PERMIT APPROVAL CERTIFICATE OF OCCUPANCY (PERM) CERTIFICATE OF OCCUPANCY (TEMP) GRADING PERMIT APPROVAL PAVING PERMIT APPROVAL WORK ORDER APPROVAL OTHER (SPECIFY)
WAS A PRE-DESIGN CONFERENCE ATTENDED: YESNO	SEP 0 6 2005
SUBMITTED BY:	HYDROLOGY SECTION DATE: 1-07-05

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

find till , file for review

• ·

•

September 2, 2005

Kristal D. Metro, PE
Development and Building Services
Planning Department
PO Box 1293
Albuquerque, New Mexico 87103

RE: VALUE PLACE HOTEL GRADING AND DRAINAGE PLAN - L-22 / D58

Dear Ms. Metro:

Having received your review comments regarding our grading and drainage submittal dated 08/02/05 for Value Place Hotel, we have revised the Grading and Drainage Plan, attached, as follows:

The tabulation of flow rates generated within the respective basins has been revised to reflect the AHYMO analyses we conducted. There isn't a good explanation as to how that table got confused, but I appreciate your attention to that detail.

We generally include the parking lot striping on the grading plan since contractors use it as a reference in fine grading and paving section. But showing it does tend to clutter the drawing, so we have removed it from our submittal, together with a few extraneous legend symbols.

If you have any further comments, please let me know. Thanks for your help in this.

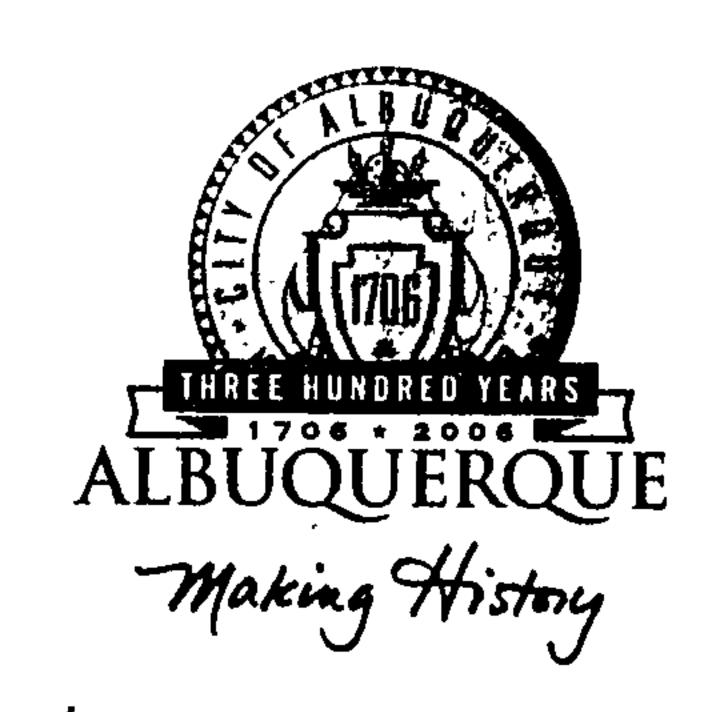
Sincerely,

Paul Brasher, PE

Brasher & Lorenz, Inc.

SEP 0 6 2005

HYDROLOGY SECTION



August 25, 2005

Paul Brasher, P.E.
Brasher & Lorenz
2201 San Pedro NE, Building 1 Suite 1200
Albuquerque, NM 87110

Re: Value Place Hotel, 13001 and 13013 Central Avenue NE, Site Development Plan

Engineer's Stamp dated 8-02-05 (L22-D58)

Dear Mr. Brasher,

P.O. Box 1293 Prelin

Based upon the information provided in your submittal received 8-02-05, the above referenced plan is approved for Site Development Plan for Building Permit and Preliminary Plat action by the DRB. However, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

Albuquerque

- 1. The flow calculations shown on the grading and drainage plan are incorrect. Please correct these calculations before your next submittal.
- 2. Remove all references to non-hydrology related issues, such as striping.

Sincerely,

New Mexico 87103

If you have any questions, you can contact me at 924-3981.

www.cabq.gov

Kristal D. Metro, P.E.

Senior Engineer, Planning Dept.

Development and Building Services

C: File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (Rev. 06/22/2005)

PROJECT TITLE: VALUE PLACE HOTEL DRB#: EPC#:	ZONE MAP/DRG. FILE # L-22/DS8 WORK ORDER#:
LEGAL DESCRIPTION: TRACTS E-1 AND E-2, CACITY ADDRESS: 13001 AND 13013 CENTRAL AND	ANYON ACIRES N.E.
ENGINEERING FIRM: BRAGHETZ LURENZ, INC. ADDRESS: ZZOI SAN PEDRO NE, BLOGI, STE 1200 CITY, STATE: ALBUQUERQUE, NEW MEXICO	CONTACT: PAUL BRASHER PHONE: (505) 888-6088 ZIP CODE: 87110
OWNER: VALUE PLACE, INC. (OWNER UNDER CONTRACT ADDRESS: CITY, STATE:	CONTACT:PHONE: ZIP CODE:
ARCHITECT: WDM ARCHITECTS ADDRESS: 105 N. WASHINGTON CITY, STATE: WICHITA, KANSAS	CONTACT: SCOTT BIXLER PHONE: (316) 262-4700 ZIP CODE: 67702
SURVEYOR: PRECISION ADDRESS: 8604 JEFFERSON CITY, STATE: MUBUD, NM	CONTACT: LARRY MEDRANO PHONE: 856-5700 ZIP CODE: 87107
CONTRACTOR:ADDRESS:CITY, STATE:	CONTACT: PHONE: ZIP CODE:
DRAINAGE REPORT DRAINAGE PLAN 1st SUBMITTAL DRAINAGE PLAN RESUBMITTAL CONCEPTUAL G & D PLAN X GRADING PLAN EROSION CONTROL PLAN ENGINEER'S CERT (HYDROLOGY) CLOMR/LOMR TRAFFIC CIRCULATION LAYOUT ENGINEER'S CERT (TCL) ENGINEER'S CERT (DRB SITE PLAN) OTHER	TYPE OF APPROVAL SOUGHT: SIA/FINANCIAL GUARANTEE RELEASE PRELIMINARY PLAT APPROVAL S. DEV. PLAN FOR SUB'D APPROVAL S. DEV. FOR BLDG. PERMIT APPROVAL SECTOR PLAN APPROVAL FINAL PLAT APPROVAL FOUNDATION PERMIT APPROVAL BUILDING PERMIT APPROVAL CERTIFICATE OF OCCUPANCY (PERM) CERTIFICATE OF OCCUPANCY (TEMP) GRADING PERMIT APPROVAL PAVING PERMIT APPROVAL WORK ORDER APPROVAL OTHER (SPECIFY)
WAS A PRE-DESIGN CONFERENCE ATTENDED: YES NO COPY PROVIDED SUBMITTED BY: PAUL BRASHER Requests for approvals of Site Development Plans and/or Subdivision Planticular nature, location and scope to the proposed development define levels of submittal may be required based on the following: 1. Conceptual Grading and Drainage Plan: Required for approve Sector Plans.	es the degree of drainage detail. One or more of the following
 Drainage Plans: Required for building permits, grading permits, Drainage Report: Required for subdivision containing more that 	paving permits and site plans less than five (5) acres on ten (10) lots or constituting five (5) acres or more. AUG 0 2 2005 HYDROLOGY SECTION

