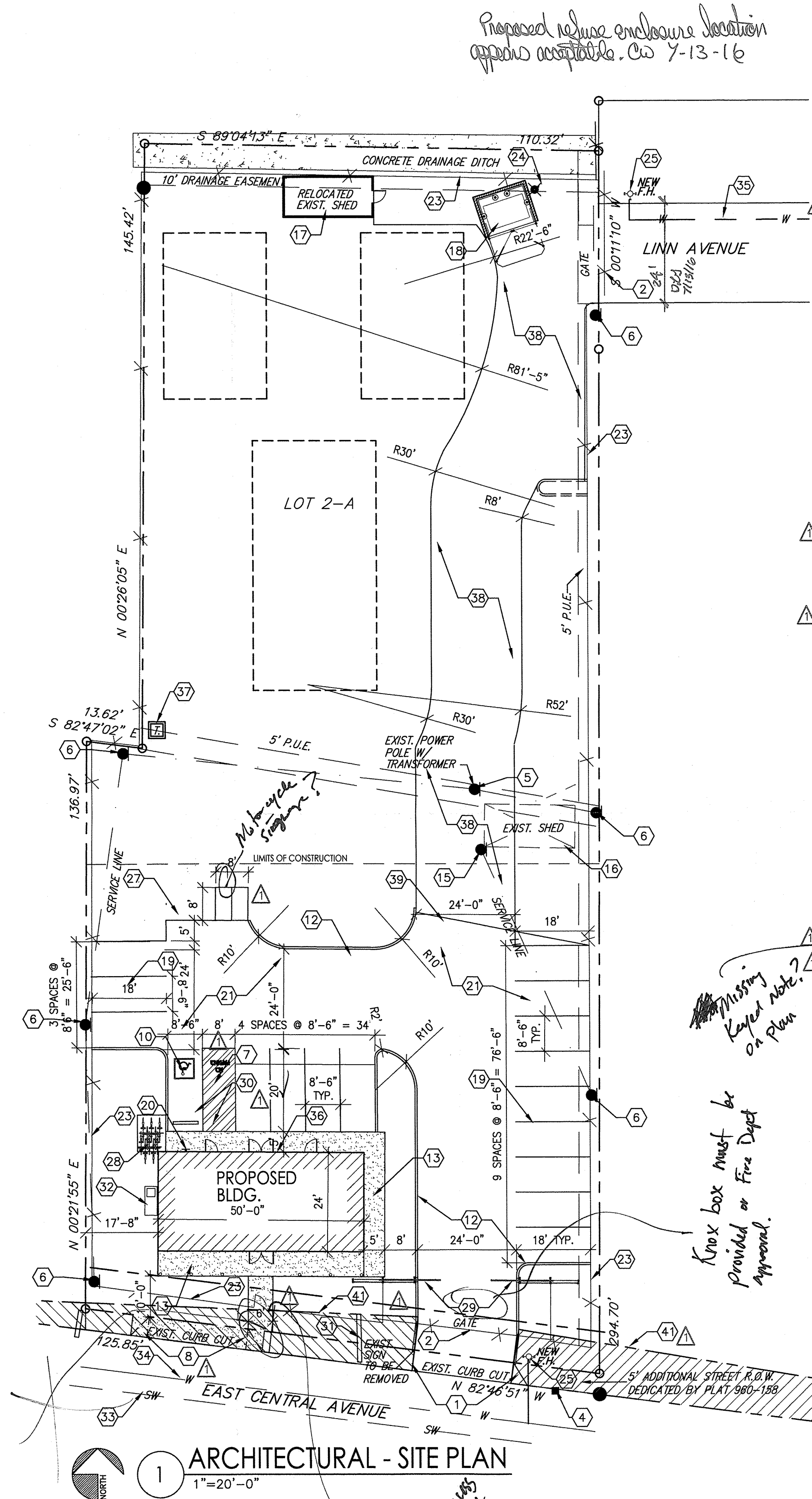


CITY OF ALBUQUERQUE TRANSPORTATION
DEPARTMENT REVIEW COMMENTS
7/11/2016
RBA ARCHITECTURE RESPONSE TO COMMENTS 7/12/2016

CommentNo. Response

1. The handicap accessible spaces must be a minimum of 20 ft. in length.
Response: Has been modified to 20' length.
2. The handicap accessible spaces must include an 8 ft. access aisle; all other aisles should be 5 ft. in width.
Response: Aisle has been modified to be 8 ft in width.
3. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 "Violators Are Subject to a Fine and/or Towing." Please call out detail and location of HC Signs.
Response: Please note that this was called out on our Handicap Parking Signage detail G/AC-2 Site Details Sheet attached to review package.
COA Response: Reference SIGN TYPE R7-8 (12"x18") see detail and attached 2009 New Mexico Accessible Parking Checklist page 3 of 6 "Parking Lot Sign".
4. We recommend that the motorcycle parking be moved to the East end of the 5 foot key way.
COA Response: Add with motorcycle signage to keyed note 27.
Response: Motorcycle parking spaces have been relocated as directed.
5. Per DPM, a 6 ft wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please provide details.
Response: A standard 4" thick 6' wide concrete sidewalk has been provided from the back side of the sidewalk located on Central up to the concrete building sidewalk as indicated on drawing per COA 2430 Paving Sidewalk Details.
6. Service vehicle and/or refuse vehicle maneuvering must be contained on-site; provide a copy of refuse approval.
Response: See Solid Waste sign-off.
7. Please provide a sight distance exhibit for Lomas Blvd. (see the Development Process Manual, Chapter 23, Section 3, Part D.5 Intersection Sight Distance). Response: First, sight is located mid-way on Central Ave just past Juan Tabo intersection not Lomas Blvd. Layout of Figure 3 of Part D.5 will be used for sight layout on this project.
8. Please add the following note to the clear sight triangle: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area.
Response: Note has been added to drawings, key note 41.
9. Please specify the City Standard Drawing Number when applicable
Response: Will be noted as required.

10. Please add a note on the plan stating "All improvements located in the Right of Way must be constructed through the COA DRC work order process.
Response: Note has been added to drawing as General Note B.
11. Unused curb cuts must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing.
Response: Note has been added as key note 8 referencing COA 2415A, 2430.
COA Response: key not 8 does not reference COA STD DWG 2430. Please correct.
12. All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing.
Response: Note has been added to sheet as General Notes, note A.
13. Keyed notes 22 and 26 appear not to be called out in plan.
Response: Notes have been deleted.
 1. Keyed notes 3 & 40 are missing from plan, please add.
 2. Provide a Knox Box to the sliding entry gates or approval from the Fire Department.
 3. The pedestrian access gate must remain unlocked during business hours. Add note to plan.



1 ARCHITECTURAL - SITE PLAN
1"=20'-0"

KEYED NOTES

- EXIST. CURB CUT
- EXIST. GATE TO BE REMOVED
- EXIST. CONC. SIDEWALK MISSING FROM PLAN?
- EXIST. TELEPHONE BOX
- EXIST. POWER POLE WITH TRANSFORMER TO BE REMOVED & RELOCATED
- EXIST. POWER POLE TO REMAIN
- HANDICAP PARKING STRIPED ACCESS AISLE PER CODE
- EXIST. CURB CUT TO BE REMOVED. NEW CONCRETE SIDEWALK, CURB AND GUTTER TO BE INSTALLED MATCHING EXISTING GRADES PER COA STANDARDS CURB & GUTTER COA 2415A SIDEWALKS COA 2415A
- HANDICAP CAP PARKING SIGNAGE MOUNT ON EXIST. FENCE - SEE DTL. G/C2
- HANDICAP PARKING SYMBOL
- NEW HANDICAP ACCESS RAMP
- NEW CONC. CURB AND GUTTER - SEE CIVIL
- NEW CONC. SIDEWALK - SEE CIVIL
- NEW CONC. PAD FOR ROLL-OFF TRASH DUMPSTER
- EXIST. POWER POLE TO BE REMOVED
- EXIST. SHED TO BE RELOCATED
- RELOCATED SHED
- NEW CONCRETE PAD FOR TRASH ENCLOSURE - SEE DTL. A,B,C/AC-2
- PAINTED PARKING SPACE
- HANDICAP PARKING SIGNAGE MOUNT ON POLE INSTALLED PER CODE
- NEW ASPHALT PAVEMENT - SEE CIVIL
- N/A
- EXIST. FENCE TO REMAIN
- EXIST. LIGHT POLE TO REMAIN
- NEW FIRE HYDRANT TO BE INSTALLED, CONTRACTOR TO VERIFY WATER ACCESSIBILITY WITH CITY AND FIRE MARSHALL
- N/A
- MOTORCYCLE PARKING SPACES (2) Motorcycle signage?
- BICYCLE RACK FOR 5 BICYCLES
- FUTURE METAL SLIDING ENTRY GATES - DTL. K/AC-2
- SIDEWALK TO MATCH FINISH PAVING ELEVATION
- EXISTING SIGN TO BE REMOVED
- CONDENSER UNIT FOR HVAC - SEE MECHANICAL
- EXIST. SEWER LINE
- EXIST. WATER LINE
- NEW 6" WATER LINE TO TIE INTO EXIST. 6" WATER LINE 1 BLK. AWAY
- FIRE DEPARTMENT 'KNOX BOX' PROVIDED BY CONTRACTOR TO VERIFY LOCATION WITH FIRE MARSHAL
- NEW ELECTRICAL TRANSFORMER - SEE ELECTRICAL. CONTRACTOR TO COORDINATE WITH PNM
- EXISTING COMPACTED SUBGRADE WITH CRUSHER FINES AND GRAVEL ACCESS WAY
- EDGE OF ASPHALT PAVEMENT
- ADA PUBLIC ACCESSIBLE PEDESTRIAN PATHWAY SIDEWALK PER DPM "CLEAR SIGHT DISTANCE" PER DPM, CHAPTER 23, SECTION 2, PART D.5. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
-

GENERAL NOTES

- ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER BY CONTRACTOR PER CITY OF ALBO. CONTRACTOR TO PROVIDE APPROPRIATE CITY STANDARD DRAWING PRIOR TO STARTING WORK.
- ANY AND ALL IMPROVEMENTS LOCATED IN THE "RIGHT OF WAY" MUST BE CONSTRUCTED THROUGH COA DRC WORK ORDER PROCESS

INTERNATIONAL BUILDING CODE 2009

SITE DESCRIPTION

LOT 5-A, BLOCK C, 0.6115 ACRES & LOTS 1 THRU 4 AND THE NLY 10' OF LOT NUMBER FIVE IN BLOCK C OF THE DURAN & ALEXANDER ADDITION.

SITE DATA

ZONING: SU2-EG-C
CONSTRUCTION TYPE: VB
SEISMIC DESIGN CATEGORY: D (SEE S-0.0 GENERAL STRUCTURAL NOTES)
AUTOMATIC SPRINKLER SYSTEM: NO SPRINKLER SYSTEM
REQUIRED SEPARATION OF OCCUPANCIES, TABLE 508.4: OCCUPANCY B, A3 AND R: 1 HR.

IBC 2009, SEC. 717.3 FLOORS & 717.4 ATTICS: FIREBLOCKING REQUIRED IN COMBUSTIBLE CONCEALED SPACES

EXISTING SITE 0.78 ACRES = 33,850.98 SF
NEW BUILDING 1,200 SF [0.4%]
EXISTING PAVING, SIDEWALKS 15,841 SF [0.46%]
EXISTING LANDSCAPING 16,809.98 SF [0.50%]

OCCUPANCY:
BUILDING - GROUP B OFFICES (940 SF/100) = 10 OCCPS

TABLE 1021.1 MIN. NO. OF EXITS PER OCC. LOAD: TOAL OCC. LOAD = 10 OCCUPANTS = (2) EXITS REQUIRED, (4) EXITS PROVIDED.

TABLE 1016.1 EXIT ACCESS TRAVEL DISTANCE: WITHOUT SPRINKLER SYSTEM: 200 FEET MAX.

SECTION 1005 EGRESS WIDTH REQUIRED: OCC. LOAD = 10 x 0.2 = 2 INCH EGRESS WIDTH.
EGRESS WIDTH PROVIDED: (2) 36 INCH EGRESS WIDTH, (2) 72 INCH EGRESS WIDTH

PARKING PROVIDED:

BUILDING 'A':
OFFICE [940 SF/200] = 5 SPACES
TOTAL 5 SPACES

BUS STOP REDUCTION 10% = 1 SPACES
SUBTOTAL 4 SPACES

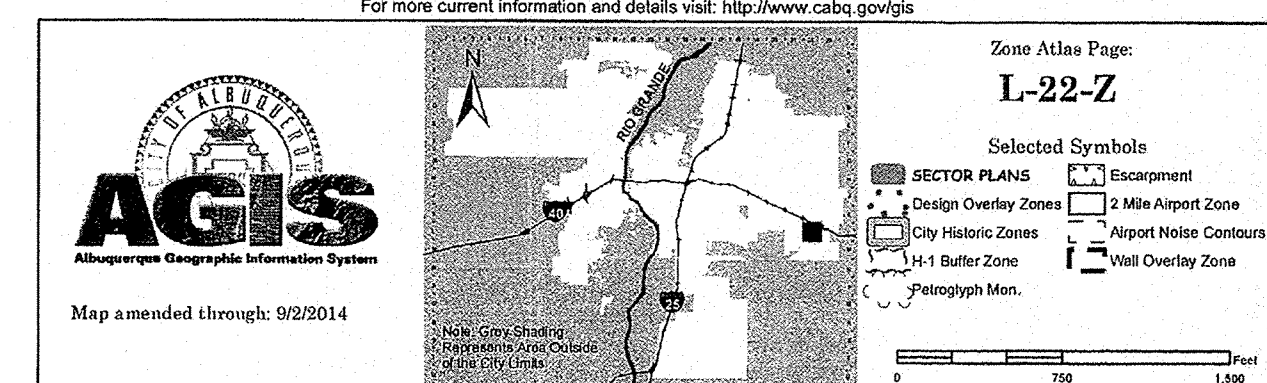
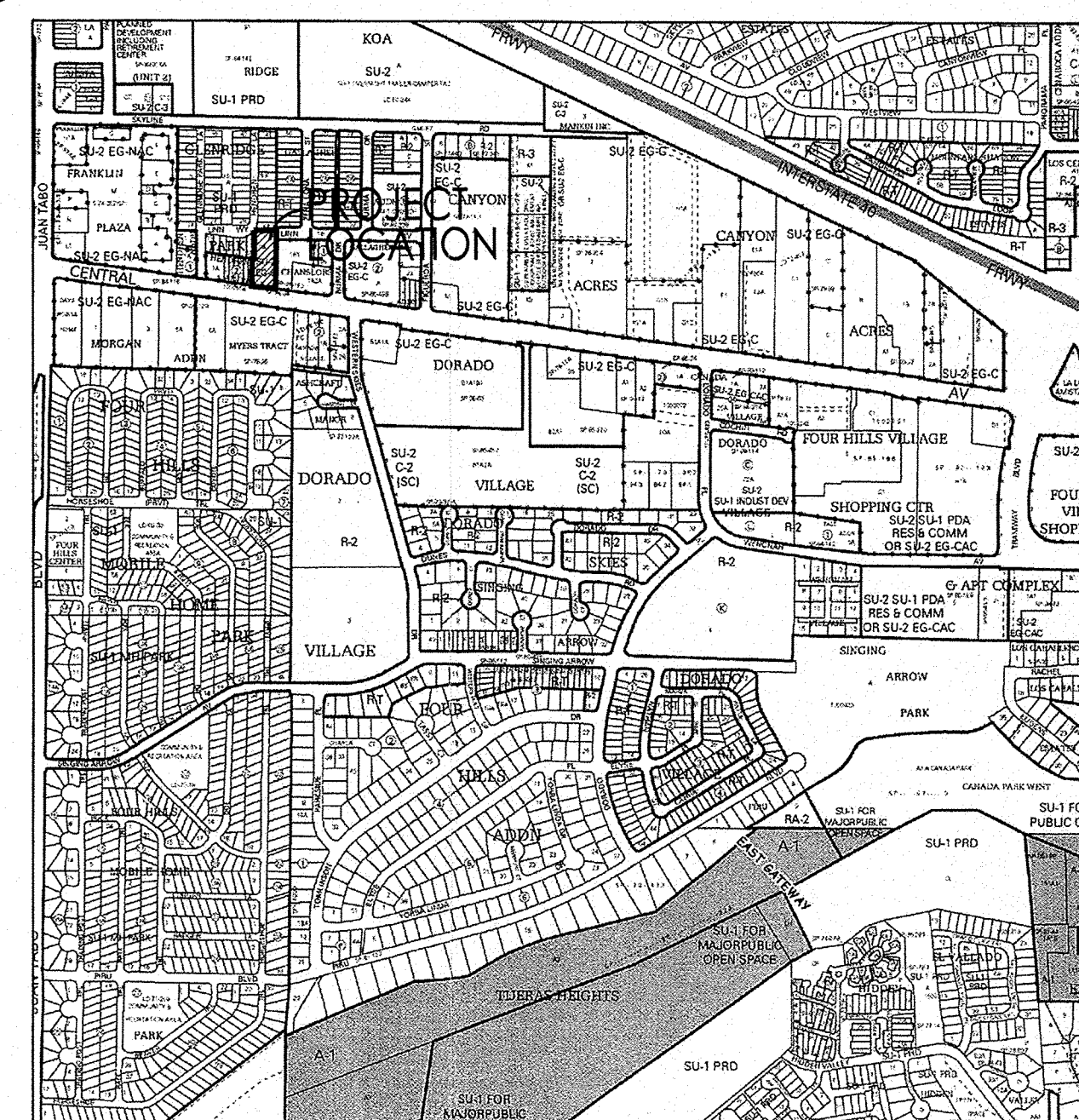
SITE PARKING PROVIDED - 15 STANDARD SPACES
1 HANDICAP SPACES

TOTAL SPACES PROVIDED 16 SPACES

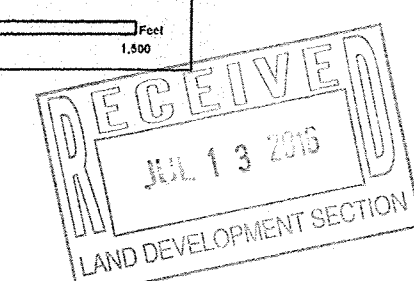
PER SEC. 14-16-3-1 OFFSTREET PARKING REGULATIONS, C, 1-25 SPACES = 1 SPACE

MOTORCYCLE PARKING REQUIRED - 1 SPACES, (2) SPACES PROVIDED

BICYCLE WAVE RACK PROVIDED - 5 BICYCLES CAPACITY

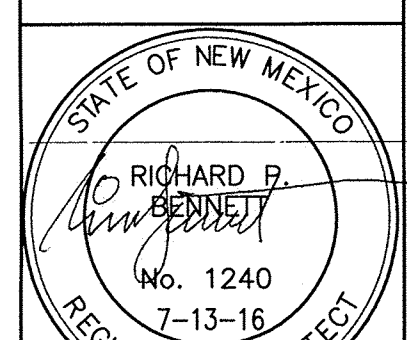


PROJECT ZONE ATLAS L-22-Z ZONED SU-2 EG-C



TUYET SON BUDDHIST TEMPLE
ARCHITECTURAL - SITE PLAN BLDG. A
ALBUQUERQUE, NM
PROJECT #1580

REVISION DATE
PER TCL COMMENTS 7/11/16

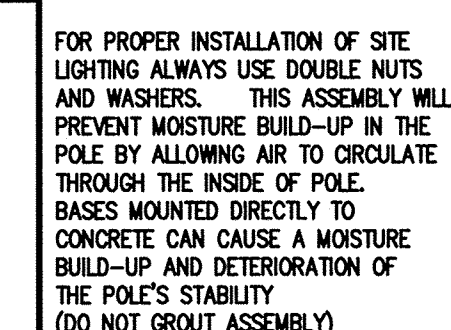
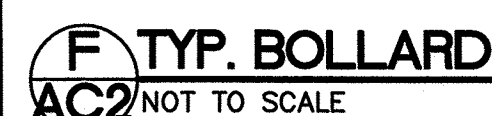


RBA
ARCHITECTURE, PC
PLANNING
DESIGN
104 West Ave SW
Albuquerque, NM 87102
www.rba.com

DATE
7-6-2016

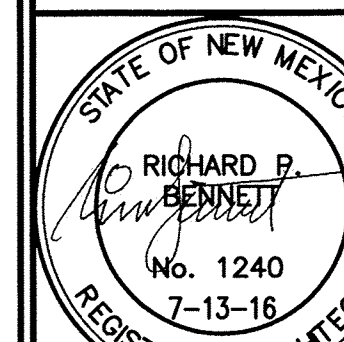
SHEET NUMBER

TCL-1



TUYET SON BUDDHIST TEMPLE
ARCHITECTURAL SITE DETAILS
ALBUQUERQUE, NM
PROJECT #1580

REVISION DATE



RBA
ARCHITECTURE, PC
PLANNING
DESIGN

104 Park Ave. SW
Tombuquerque, NM 87102
(505) 242-1859 / (505) 242-4630
www.rba81.com

DATE 7/5/2016

SHEET NUMBER

AC-2