

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Interim Director



Mayor Timothy M. Keller

October 8, 2021

Martin J. Garcia, PE
Anchor Engineering
575 Bosque Farms Blvd
Bosque Farms, NM 87068

**Re: Keenan Properties
12900 Central Ave SE
30-Day Temporary Certificate of Occupancy
Transportation Development Final Inspection
Engineer's/Architect's Stamp dated 6-27-18 (L22D061)
Certification dated 09-29-21**

Dear Mr. Garcia,

Based upon the information provided in your submittal received 10-1-21, Transportation Development has no objection to a 30-day Temporary Certificate of Occupancy based. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

- Please add Motorcycle Sign, MC Floor marking & Bicycle rack (Pics of corrections received 10-7-21)
- Please redline plan to reflect site changes.

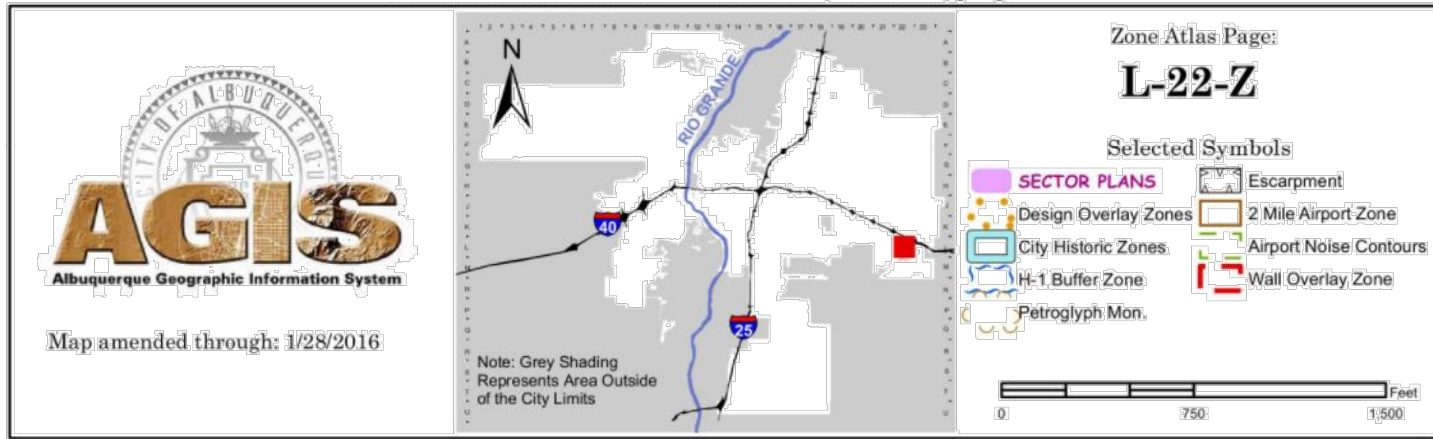
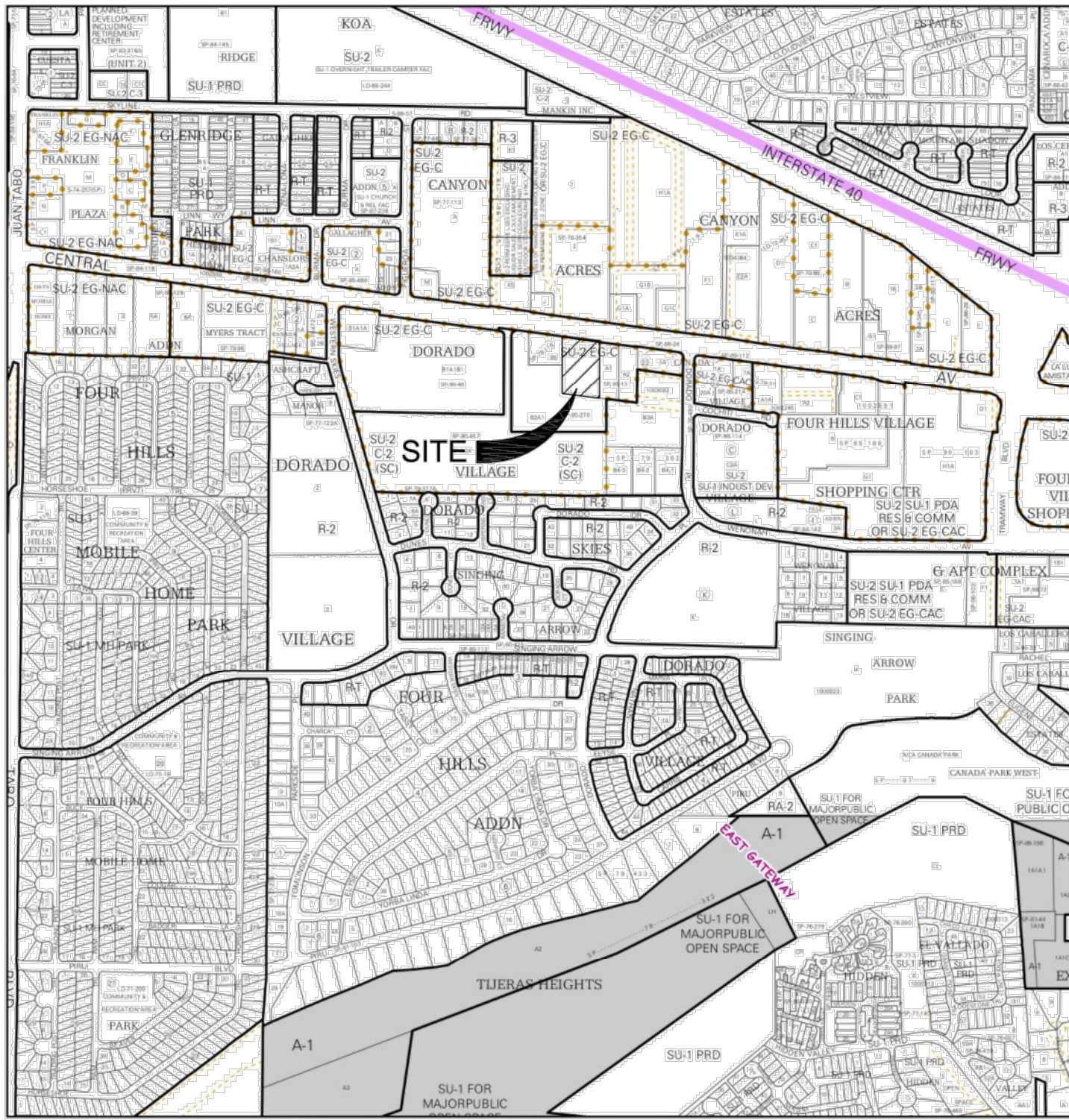
Once these corrections are complete, email pictures showing the changes to epgomez@cabq.gov for release of final CO.

If you have any questions, please contact me at (505) 924-3981.

Sincerely,

Ernie Gomez,
Plan Checker, Planning Dept.
Development Review Services

EG via: email
C: CO Clerk, File



Parcel Information
Site Address:
12900 Central Ave, S.E.
Albuquerque, NM 87123
UPC: 1-022-056-293-406-105-13
Zoning Designation: SU-2 EG-C

- Legend**
- PROPERTY LINE
 - FIRE TRUCK WHEEL PATH
 - DIRECTION OF TRAFFIC FLOW
 - PAINTED STRIPING
 - CONCRETE
 - SIGHT DISTANCE TRIANGLE
 - ASPHALT PAVED SURFACE
 - NEW FENCE, BY OWNER

TRAFFIC CERTIFICATION

I, MARTIN J. GARCIA, NMPE OR NMRA 11767, OF THE FIRM ANCHOR ENGINEERING, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 7/5/2018. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY DAVID R. VIGIL OF THE FIRM NORTHSTAR SURVEYING. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 9/29/2021 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Signature of Engineer or Architect
9/29/21
Date



General Notes

- SLOPES FOR PARKING LOT AND ARE DESIGNED NOT TO EXCEED 2% SLOPE AS PER THE GRADING AND DRAINAGE PLAN. SEE SHEET C2.
- ADA ACCESS AISLES SHALL HAVE THE WORDS "NO PARKING" IN CAPITALS LETTERS AND SHALL BE 1 FOOT HIGH AND AT LEAST 2 INCHES WIDE, PLACES IN THE REAR OF THE AISLE SPACE.
- ALL ADA SIGNAGE TO HAVE THE REQUIRED LANGUAGE PER 66-7-352.4C NMSA 1978.
- ALL LANDSCAPING AND SIGNAGE SHALL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 FEET TO 8 FEET TALL MEASURED FROM THE GUTTER PAN WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

Parking Analysis

1 SPACE REQUIRED PER EVERY 200 SQ FT (OFFICE SPACE)
1 SPACE REQUIRED FOR EVERY 2000 SQ FT (GARAGE SPACE)
10% REDUCTION PERMITTED PER CITY OF ALBUQUERQUE PARKING ORDINANCE FOR PROXIMITY TO PUBLIC TRANSPORTATION.

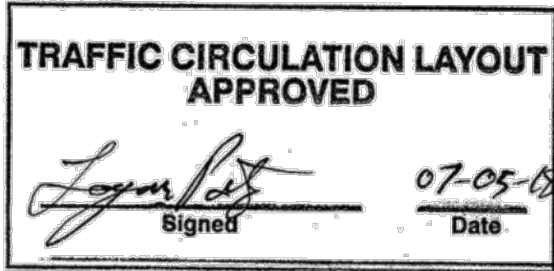
850 SF / 200 = 4.25 PARKING SPACES REQUIRED
7150 SF / 2000 = 3.57 PARKING SPACES REQUIRED
OFFICE 4.25 (4 SPACES)
GARAGE 3.86 (4 SPACES)

8 PARKING SPACES REQUIRED
23 PARKING SPACES PROVIDED
(INCLUDING 2 HANDICAP SPACES)
(13 SPACES ALONG FRONTAGE FOR DISPLAY, CAR SALES)

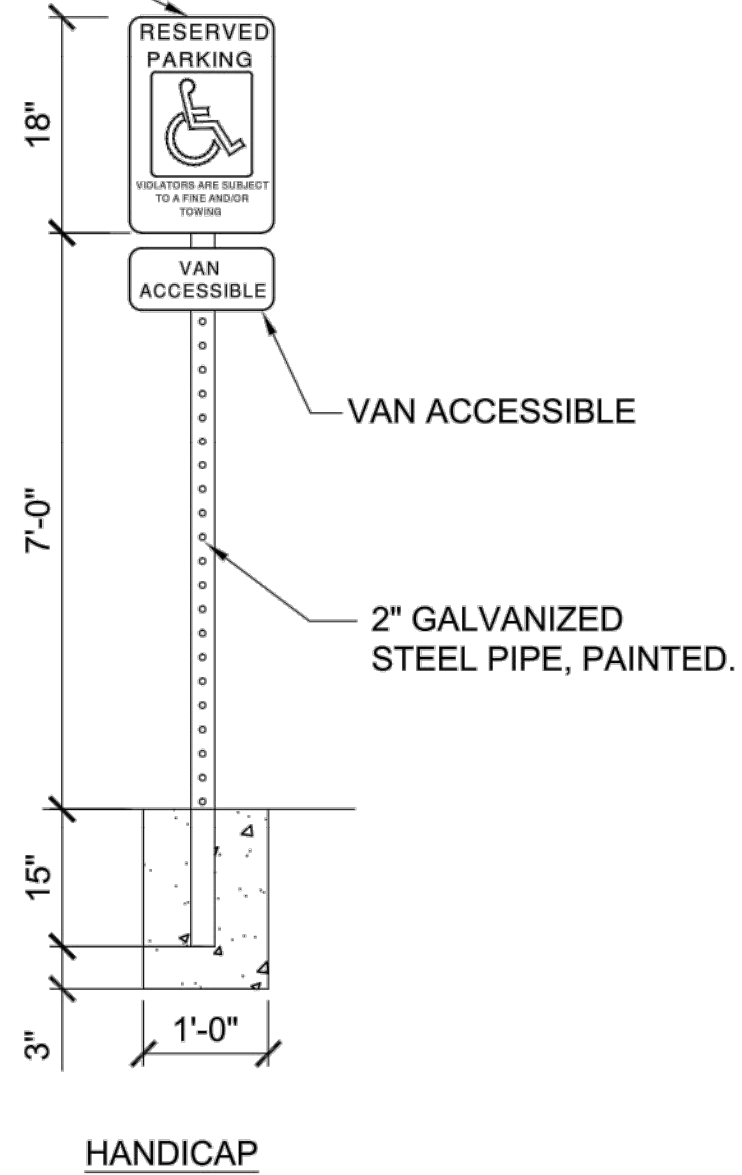
1 MOTORCYCLE SPACE PROVIDED

1 BIKE RACK PROVIDED

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.



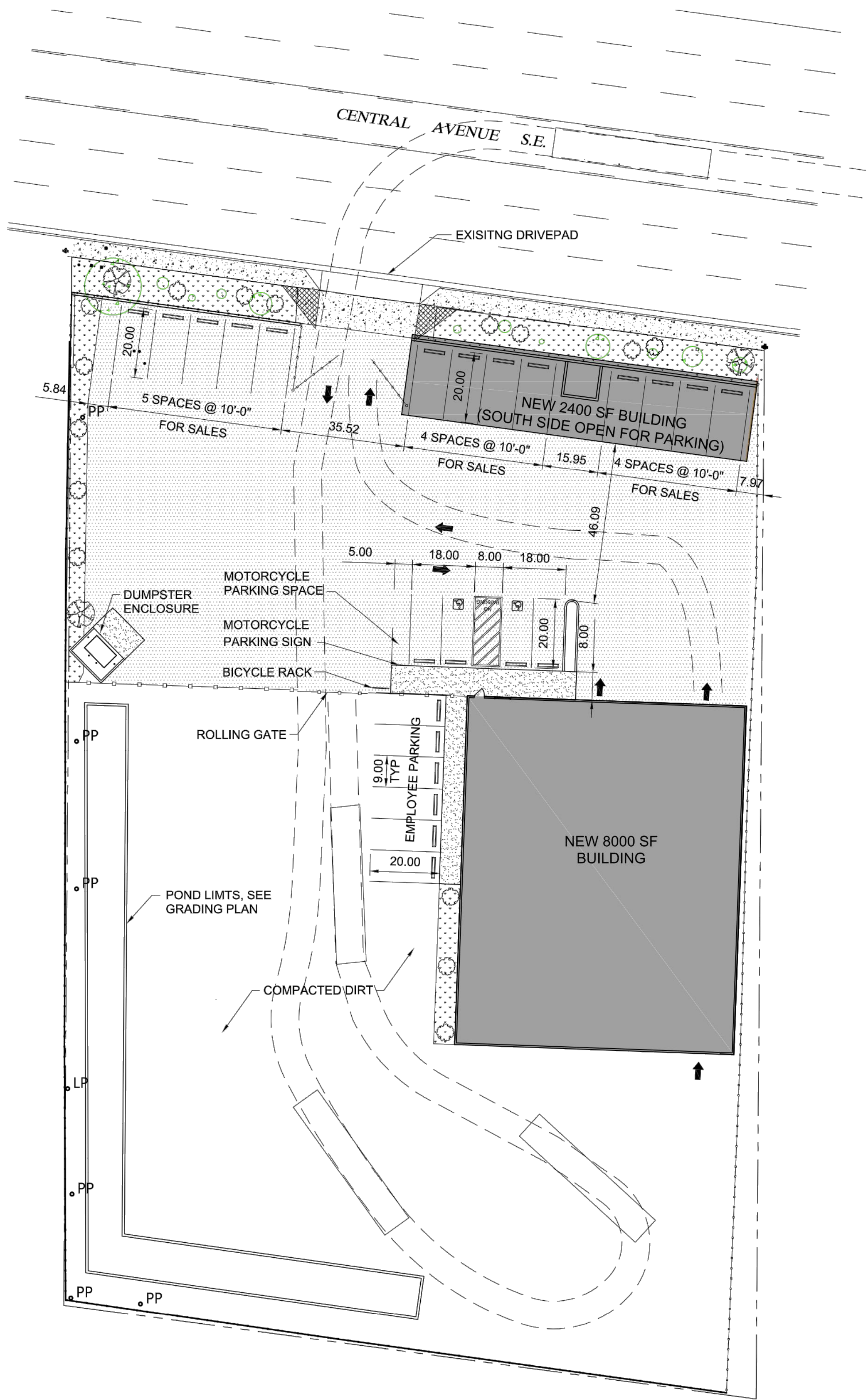
12x18 SIGN WITH INTERNATIONAL HANDICAP SYMBOL AND "HANDICAP PARKING" MESSAGE



SIGNAGE DETAILS

SCALE: NTS

1
C4



TRAFFIC CIRCULATION PLAN

SCALE: 1" = 20'



0 10 20 40
SCALE: 1" = 20'



Anchor Engineering, LLC
1160 Bosque Farms Blvd. Suite E, Bosque Farms, NM 87068
505.362.1330
martin@anchoreng.net

NO.	DATE	COMMENTS
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

PROJECT NO.	18-039
DATE:	5.15.2018
DRAWN BY:	F PHILLIPS
CHECKED BY:	M GARCIA
SCALE:	1" = 20'

PROJECT TITLE	KEENAN PROPERTIES 12900 CENTRAL AVENUE S.E. ALBUQUERQUE, NEW MEXICO
SHEET TITLE	TRAFFIC CIRCULATION PLAN

SHEET

C4



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 10/2018)

Project Title: _____ **Building Permit #:** _____ **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Applicant: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes _____ No

DEPARTMENT: _____ TRAFFIC/TRANSPORTATION _____ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- _____ ENGINEER/ARCHITECT CERTIFICATION
- _____ PAD CERTIFICATION
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ DRAINAGE MASTER PLAN
- _____ DRAINAGE REPORT
- _____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- _____ ELEVATION CERTIFICATE
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ TRAFFIC IMPACT STUDY (TIS)
- _____ OTHER (SPECIFY) _____
- _____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- _____ BUILDING PERMIT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY
- _____ PRELIMINARY PLAT APPROVAL
- _____ SITE PLAN FOR SUB'D APPROVAL
- _____ SITE PLAN FOR BLDG. PERMIT APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ SIA/ RELEASE OF FINANCIAL GUARANTEE
- _____ FOUNDATION PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ SO-19 APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ GRADING/ PAD CERTIFICATION
- _____ WORK ORDER APPROVAL
- _____ CLOMR/LOMR
- _____ FLOODPLAIN DEVELOPMENT PERMIT
- _____ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____