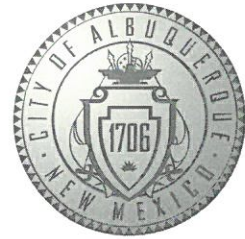


CITY OF ALBUQUERQUE



July 5, 2018

Anchor Engineering LLC
Martin Garcia
1035 South Bosque Lp.
Bosque Farms, NM 87068

Re: Keenan Properties
12900 Central Ave SE
Traffic Circulation Layout
Engineer's Stamp 06-27-18 (L22-D061)

Dear Mr. Garcia,

The TCL submittal received 07-03-17 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Logan Patz
Senior Engineer, Planning Department
Development Review Services

LWP via: email
C: File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: Keenan Properties Building Permit #: _____ Hydrology File #: L22-DO61

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: _____

City Address: 12900 Central Ave SE Albu. NM 87123

Applicant: Anchor Engineering LLC Contact: Martin Garcia

Address: 1035 South Bosque Lp. Bosque Farms, NM 87068

Phone#: 505-362-1530 Fax#: _____ E-mail: Martine@Anchoreng.net

Other Contact: Mike Keenan Contact: _____

Address: 12101 Central Ave NE Albu. NM 87123

Phone#: 505 270 5820 Fax#: _____ E-mail: Keenan820@yahoo.co

TYPE OF DEVELOPMENT: ☐ PLAT ☐ RESIDENCE ☐ DRB SITE ☐ ADMIN SITE

Check all that Apply:

DEPARTMENT:

☐ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY

TYPE OF SUBMITTAL:

☐ ENGINEER/ARCHITECT CERTIFICATION
☐ PAD CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE REPORT
☐ DRAINAGE MASTER PLAN
☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
☐ ELEVATION CERTIFICATE
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ STREET LIGHT LAYOUT
☐ OTHER (SPECIFY) _____
☐ PRE-DESIGN MEETING?

☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL

☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL

☒ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL

☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL

☐ CLOMR/LOMR
☐ FLOODPLAIN DEVELOPMENT PERMIT
☐ OTHER (SPECIFY) _____

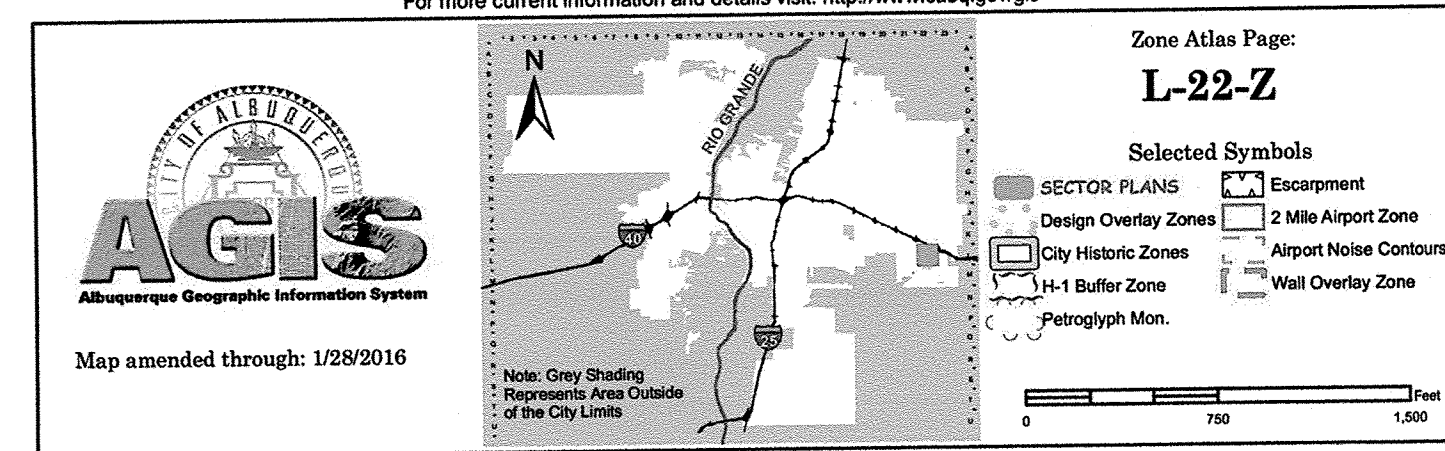
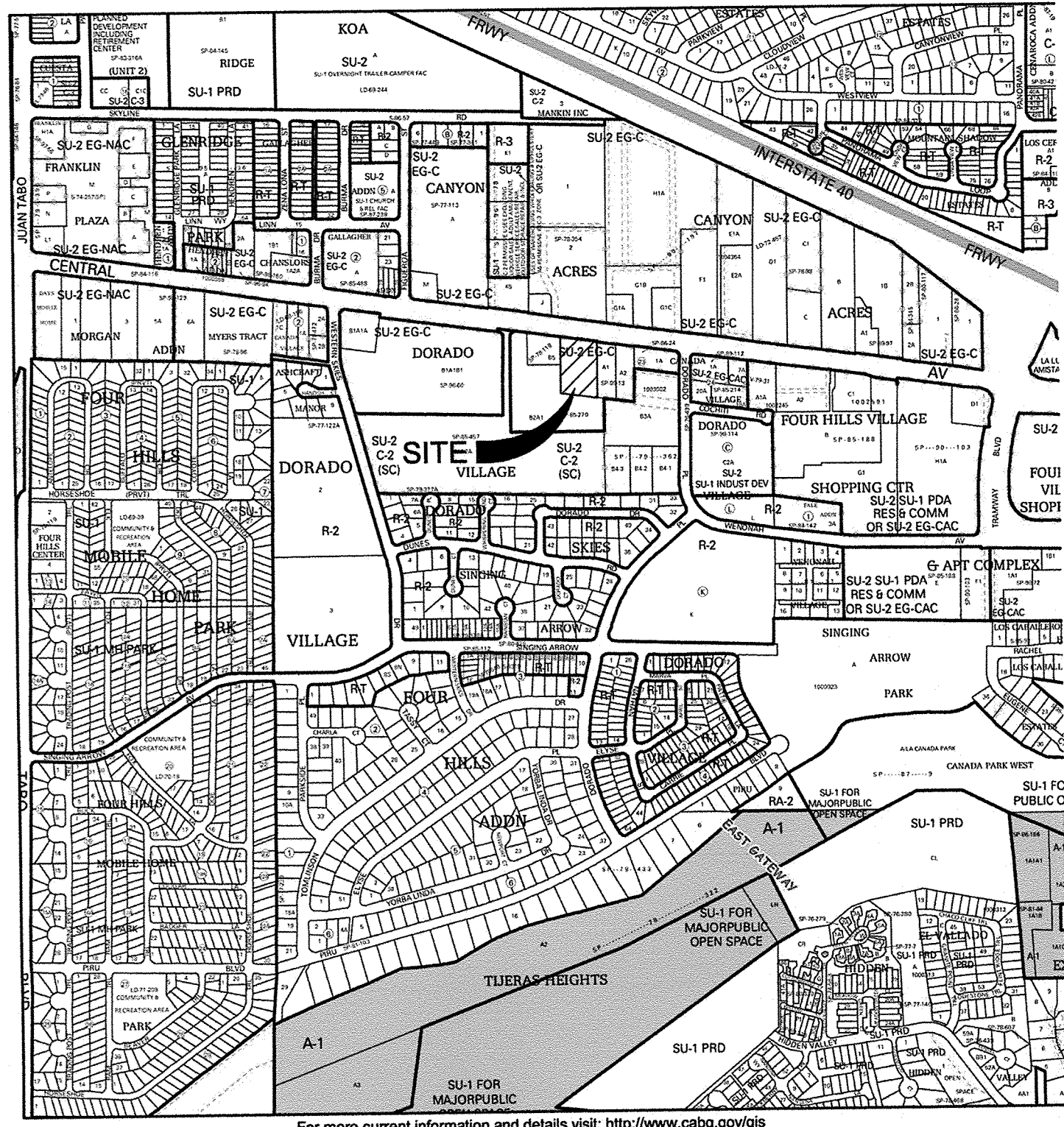
IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

DATE SUBMITTED: 7/3/2018 By: Don P. Wigg

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



Parcel Information

Site Address:
12900 Central Ave. S.E.
Albuquerque, NM 87123

UPC: 1-022-056-293-406-105-13

Zoning Designation: SU-2 EG-C

- Legend**
- PROPERTY LINE
 - - - FIRE TRUCK WHEEL PATH
 - ← DIRECTION OF TRAFFIC FLOW
 - [Hatched Box] PAINTED STRIPING
 - [Stippled Box] CONCRETE
 - [Cross-hatched Box] SIGHT DISTANCE TRIANGLE
 - [Dotted Box] ASPHALT PAVED SURFACE
 - NEW FENCE, BY OWNER

- General Notes**
- SLOPES FOR PARKING LOT AND ARE DESIGNED NOT TO EXCEED 2% SLOPE AS PER THE GRADING AND DRAINAGE PLAN. SEE SHEET C2.
 - ADA ACCESS AISLES SHALL HAVE THE WORDS "NO PARKING" IN CAPITALS LETTERS AND SHALL BE 1 FOOT HIGH AND AT LEAST 2 INCHES WIDE, PLACES IN THE REAR OF THE AISLE SPACE.
 - ALL ADA SIGNAGE TO HAVE THE REQUIRED LANGUAGE PER 66-7-352.4C NMSA 1978.
 - ALL LANDSCAPING AND SIGNAGE SHALL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 FEET TO 8 FEET TALL MEASURED FROM THE GUTTER PAN WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

Parking Analysis

1 SPACE REQUIRED PER EVERY 200 SQ FT (OFFICE SPACE)
1 SPACE REQUIRED FOR EVERY 2000 SQ FT (GARAGE SPACE)
10% REDUCTION PERMITTED PER CITY OF ALBUQUERQUE PARKING ORDINANCE FOR PROXIMITY TO PUBLIC TRANSPORTATION.

850 SF / 200 = 4.25 PARKING SPACES REQUIRED
7150 SF / 2000 = 3.57 PARKING SPACES REQUIRED
OFFICE 4.25 (4 SPACES)
GARAGE 3.86 (4 SPACES)

8 PARKING SPACES REQUIRED
23 PARKING SPACES PROVIDED
(INCLUDING 2 HANDICAP SPACES)
(13 SPACES ALONG FRONTAGE FOR DISPLAY, CAR SALES)

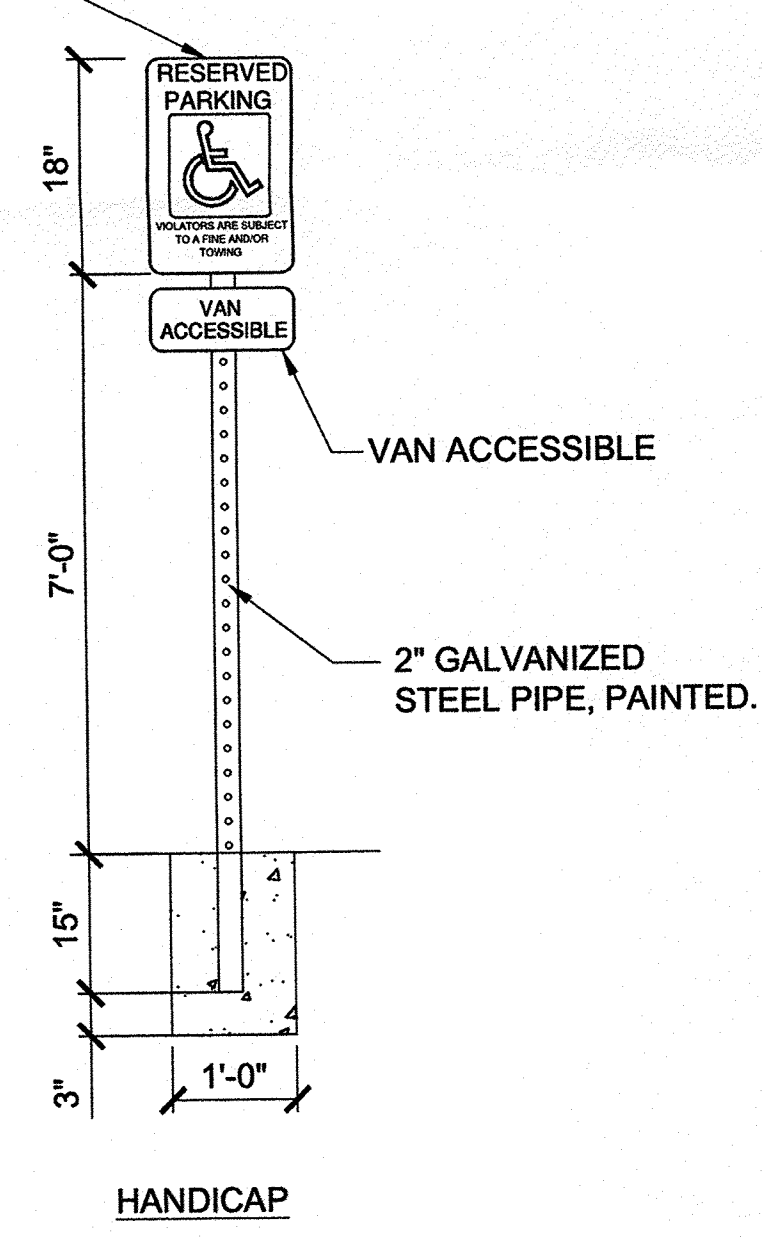
- 1 MOTORCYCLE SPACE PROVIDED
1 BIKE RACK PROVIDED

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

TRAFFIC CIRCULATION LAYOUT APPROVED

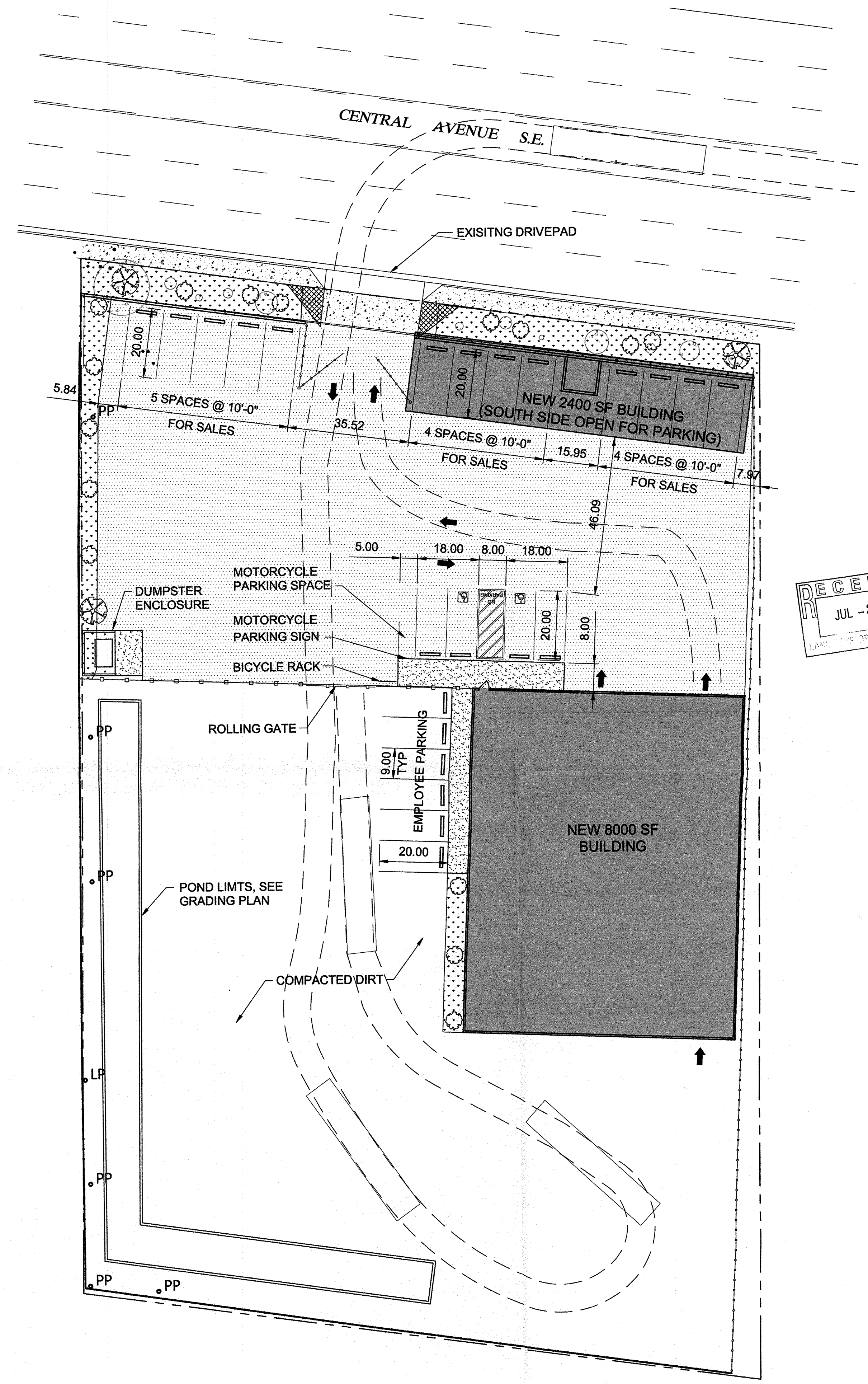
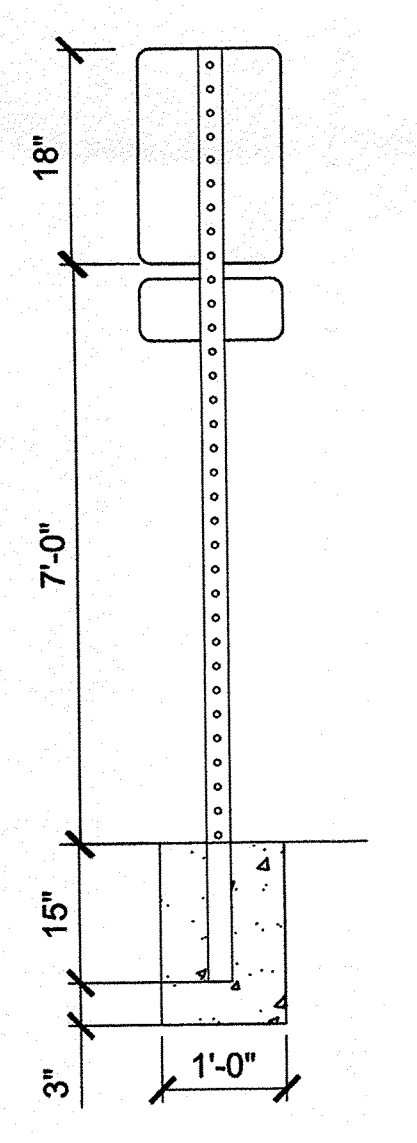
Signature 07-05-18
Signed Date

12x18 SIGN WITH INTERNATIONAL HANDICAP SYMBOL AND "HANDICAP PARKING" MESSAGE



SIGNAGE DETAILS

SCALE: NTS



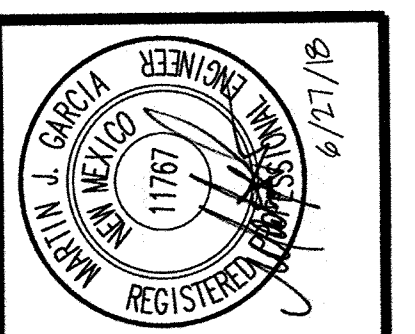
RECEIVED
JUL - 3 2018
LANDING PROJECT CENTER

TRAFFIC CIRCULATION PLAN

SCALE: 1" = 20'



0 10 20 40
SCALE: 1" = 20'



Anchor Engineering, LLC

1031 S. Basque Ln. Bogue Farm, NM 87068
505.362.1530
mgarza@anchoreng.net

PROJECT NO.	DATE	COMMENTS
18-039	5.15.2018	
DRAWN BY:	F. PHILLIPS	
CHECKED BY:	M. GARCIA	
SCALE:	1" = 20'	

PROJECT TITLE
KEVAN PROPERTIES
12900 CENTRAL AVENUE S.E.
ALBUQUERQUE, NEW MEXICO

SHEET TITLE
TRAFFIC CIRCULATION PLAN

C4