

CITY OF ALBUQUERQUE



May 24, 2018

Anchor Engineering, LLC
Martin J Garcia
1035 South Bosque Loop,
Bosque Farms, NM 8787068

Re: Kennan Properties
12900 central Ave SE, Albuquerque, NM 87123
Traffic Circulation Layout
Engineer's Stamp **05-15-18** (L22-D061)

Dear Mr. Garcia,

Based upon the information provided in your submittal received 05-15-18, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Please dimension the length of the existing and proposed parking spaces.
2. It is not apparent what type of pavement surface is being proposed. A hard driving surface will be required as part of this proposed project for parking area and drive aisles.
3. A 5 ft. keyway is required for dead-end parking aisles. Please show the 5 ft. dimension at the end of the parking rows.
4. Please clarify what the shaded area over the parking spots indicates.
5. The number of the parking in the drawing does not match the number mentioned in the legend. Please update the provided parking calculation.
6. There are 6 parking bumpers are shown at the west side of the building. Please indicate if they will be used for additional parking.

Resubmit a revised plan along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. PDF copies of the plans and submittal package must be emailed to PLNDRS@cabq.gov at time of resubmittal. If you have any questions, please contact Logan Patz at 505-924-3630.

Sincerely,

Logan Patz
Senior Engineer, Planning Department
Development Review Services

LWP via: email
C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: KENNAN PROPERTIES Building Permit #: _____ City Drainage #: L22D061
 DRB#: _____ EPC#: _____ Work Order#: _____
 Legal Description: 10N R4E SEC27 W1/2 NE1/4
 City Address: 12900 CENTRAL AVE SE, ALBUQUERQUE, NM 87123

Engineering Firm: ANCHOR ENGINEERING LLC Contact: MARTIN J. GARCIA
 Address: 1035 SOUTH BOSQUE LOOP, BOSQUE FARMS, NM 87068
 Phone#: 505-362-1530 Fax#: _____ E-mail: MARTIN@ANCHORENG

Owner: MIKE KENNAN Contact: _____
 Address: 12101 CENTRAL AVENUE, ALBUQUERQUE, NM 87123
 Phone#: 505-270-5820 Fax#: _____ E-mail: KENNAN820@YAHOO.C

Architect: _____ Contact: _____
 Address: _____
 Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: _____ Contact: _____
 Address: _____
 Phone#: _____ Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____
 Address: _____
 Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

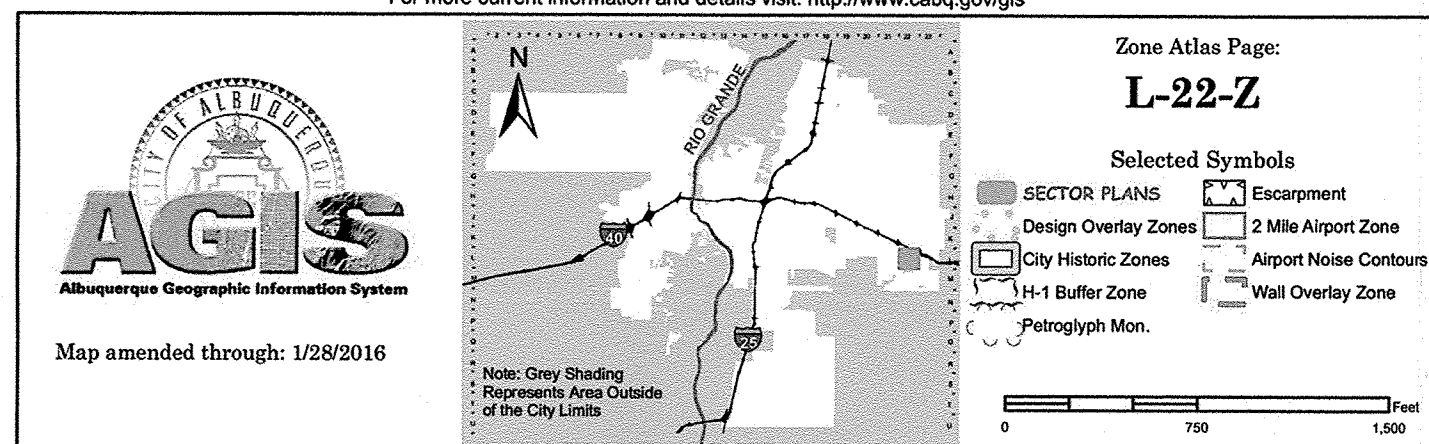
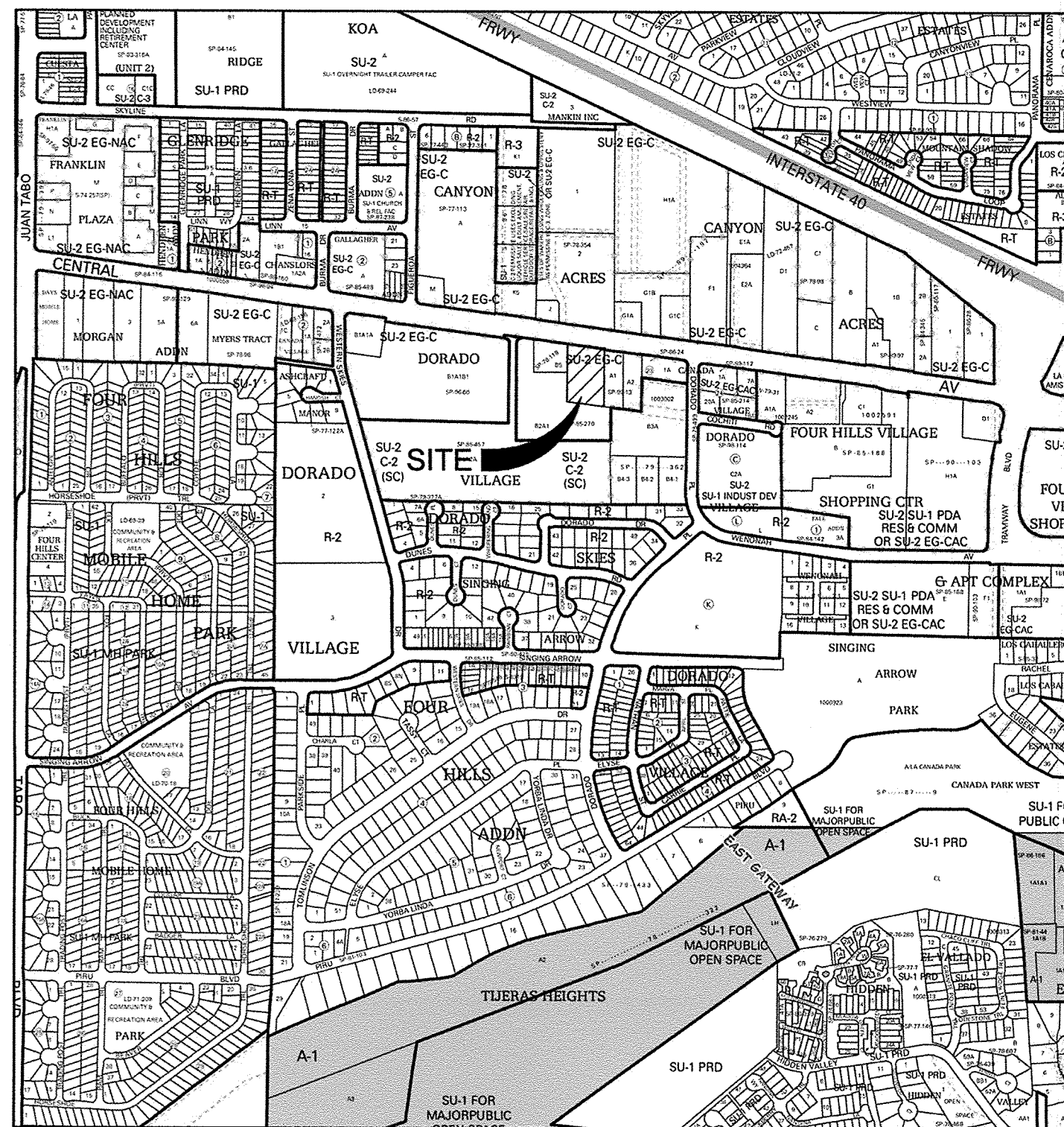
- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____



WAS A PRE-DESIGN CONFERENCE ATTENDED: ☒ Yes ☐ No Copy Provided
 DATE SUBMITTED: 5/15/18 By: [Signature]

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



Parcel Information
Site Address:
12900 Central Ave, S.E.
Albuquerque, NM 87123
UPC: 1-022-056-293-406-105-13
Zoning Designation: SU-2 EG-C

- Legend**
- PROPERTY LINE
 - FIRE TRUCK WHEEL PATH
 - DIRECTION OF TRAFFIC FLOW
 - PAINTED STRIPING
 - CONCRETE
 - SIGHT DISTANCE TRIANGLE

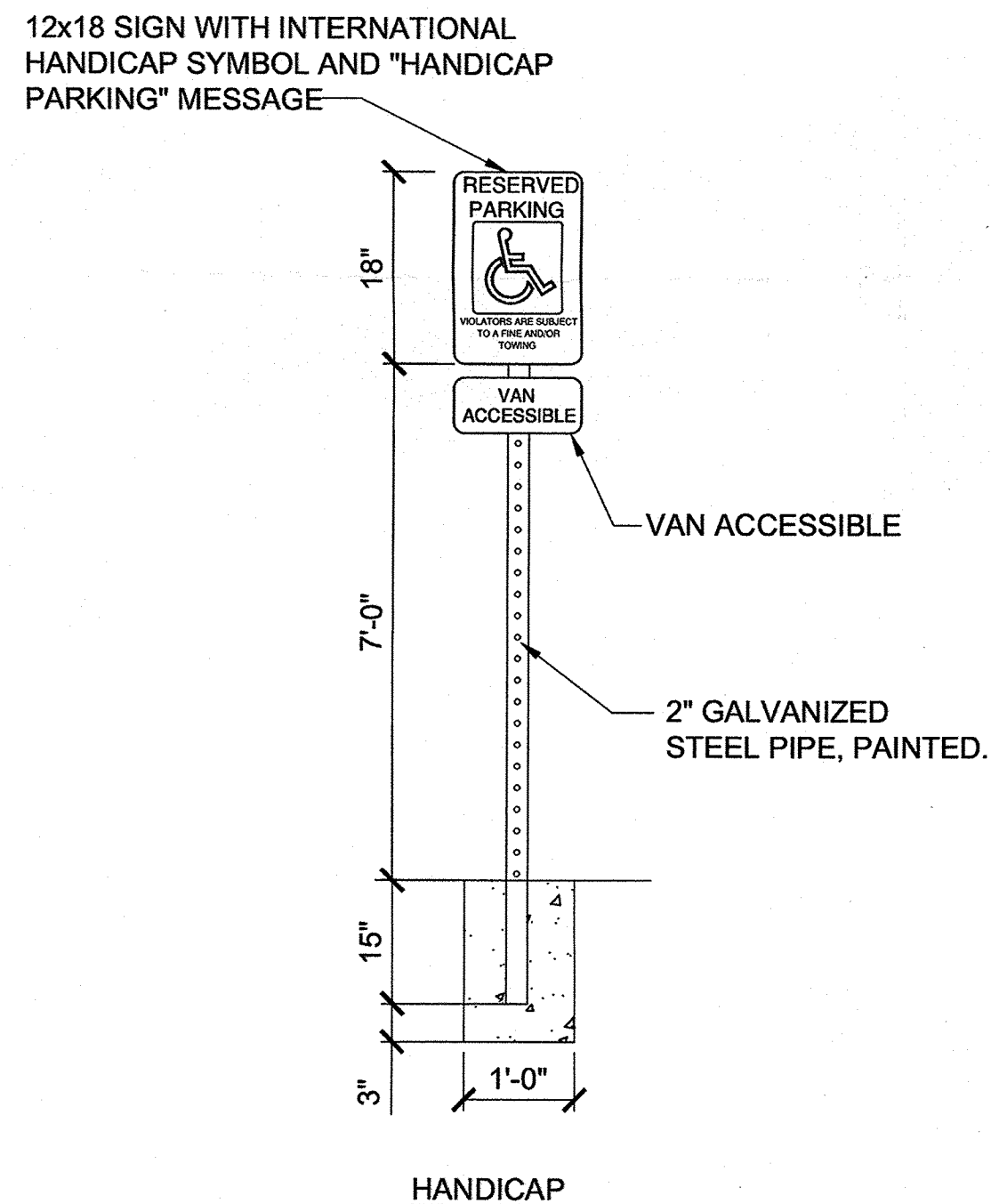
- General Notes**
- SLOPES FOR PARKING LOT AND ARE DESIGNED NOT TO EXCEED 2% SLOPE AS PER THE GRADING AND DRAINAGE PLAN. SEE SHEET C2.
 - ADA ACCESS AISLES SHALL HAVE THE WORDS "NO PARKING" IN CAPITALS LETTERS AND SHALL BE 1 FOOT HIGH AND AT LEAST 2 INCHES WIDE, PLACES IN THE REAR OF THE AISLE SPACE.
 - ALL ADA SIGNAGE TO HAVE THE REQUIRED LANGUAGE PER 66-7-352.4C NMSA 1978.
 - ALL LANDSCAPING AND SIGNAGE SHALL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 FEET TO 8 FEET TALL MEASURED FROM THE GUTTER PAN WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

Parking Analysis
1 SPACE REQUIRED PER EVERY 200 SQ. FT. (OFFICE SPACE)
1 SPACE REQUIRED FOR EVERY 2000 SQ. FT. (GARAGE SPACE)
10% REDUCTION PERMITTED PER CITY OF ALBUQUERQUE PARKING ORDINANCE FOR PROXIMITY TO PUBLIC TRANSPORTATION.

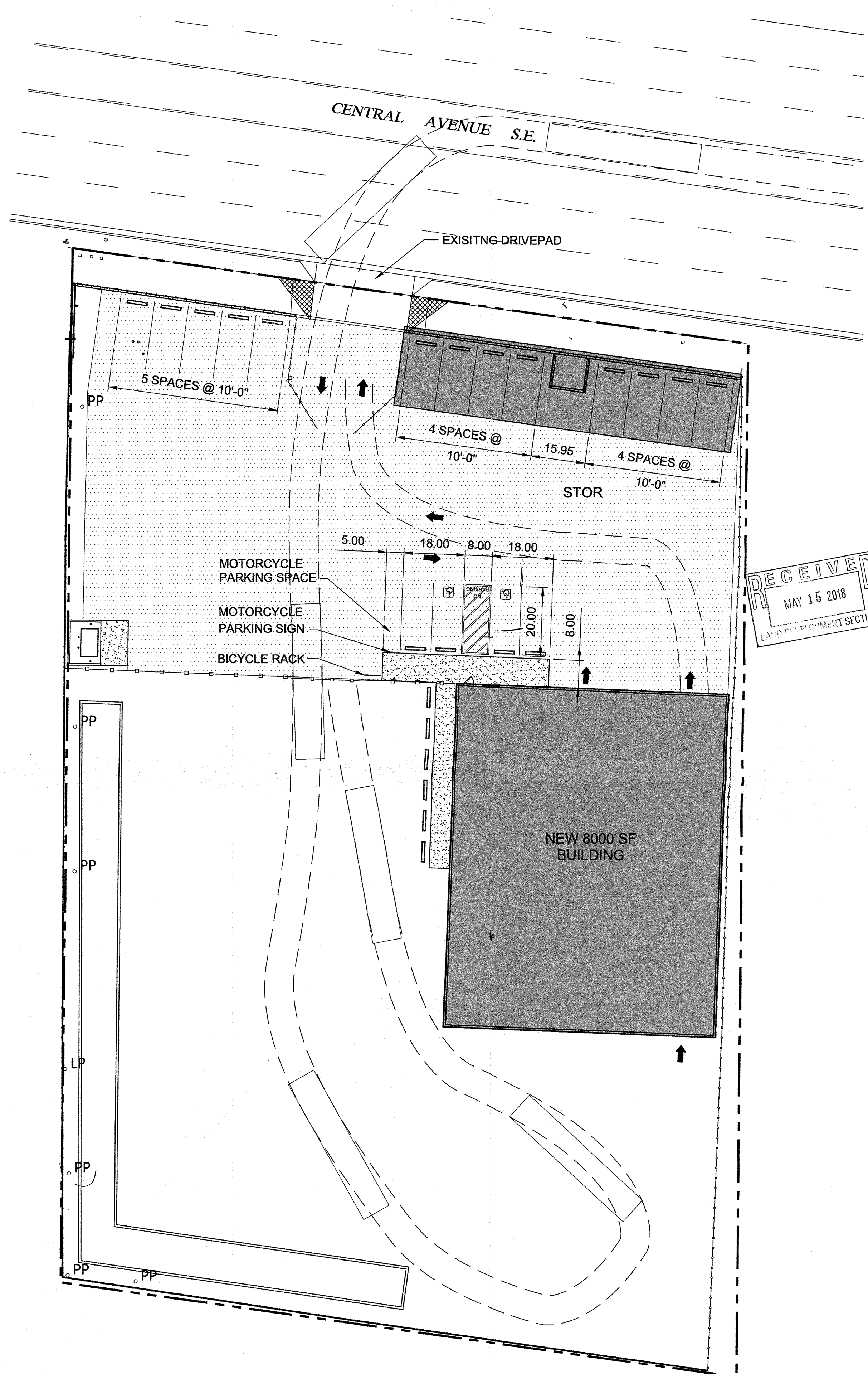
850 SF / 200 = 4.25 PARKING SPACES REQUIRED
7150 SF / 2000 = 3.57 PARKING SPACES REQUIRED
OFFICE 4.25 (4 SPACES)
GARAGE 3.86 (4 SPACES)

8 PARKING SPACES REQUIRED
10 PARKING SPACES PROVIDED (INCLUDING 2 HANDICAP SPACES)

1 MOTORCYCLE SPACE PROVIDED
1 BIKE RACK PROVIDED



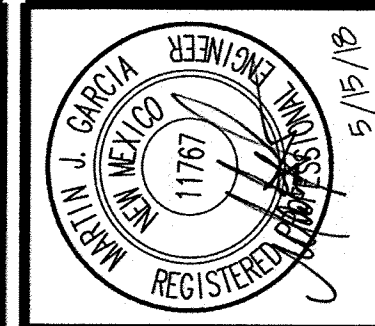
SIGNAGE DETAILS
SCALE: NTS



TRAFFIC CIRCULATION PLAN
SCALE: 1" = 20'



0 10 20 40
SCALE: 1" = 20'



Anchor Engineering, LLC
1035 S. Bosque Ln., Suite 100
Albuquerque, NM 87108
505.362.1530
martin@anchoreng.net

PROJECT NO.	DATE	COMMENTS
18-039	5.15.2018	
DRAWN BY:	F. PHILLIPS	
CHECKED BY:	M. GARCIA	
SCALE:	1" = 20'	

PROJECT TITLE	KENNAN PROPERTIES 12900 CENTRAL AVENUE S.E. ALBUQUERQUE, NEW MEXICO
SHEET TITLE	TRAFFIC CIRCULATION PLAN

PROJECT NO.	18-039
DATE	5.15.2018
DRAWN BY:	F. PHILLIPS
CHECKED BY:	M. GARCIA
SCALE:	1" = 20'

C4