

# CITY OF ALBUQUERQUE



October 9, 2012

Philip W. Clark, P.E.  
Clark Consulting Engineers  
19 Ryan Road  
Edgewood, NM 87015

**Re: Tuan Van Huynh Residence Grading and Drainage Plan  
Engineer's Stamp dated 08-25-12 (L-23/D001D)**

Dear Mr. Clark,

Based on revised plan submitted on 9/28/2012 the grading and drainage is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. The following comments have to be addressed prior to Final Certification of Occupancy:

- Since the topography does not represent the exiting graded areas, as-built grades will be required.
- Slopes treatment will be needed for the slopes exceeding 3:1 grades.
- There is also an existing retaining wall within the 5' drainage easement along the southerly boundary. Need to make sure that this retaining wall will adversely impact the offsite runoff.
- No runoff should drain over the slopes to the south. The runoff from the constructed area should be intercepted by inlet(s) and piped to the bottom of the slopes.
- A variance will be required if the proposed wall shown on the plan exceeds 8' (retaining wall + garden wall).

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

Albuquerque's MS4 Permit became effective March 1<sup>st</sup>, 2012. Grading and Drainage Plans and Drainage Reports will have to comply with the requirements of the new permit (<http://www.cabq.gov/planning/landcoord/Hydrology.html>).

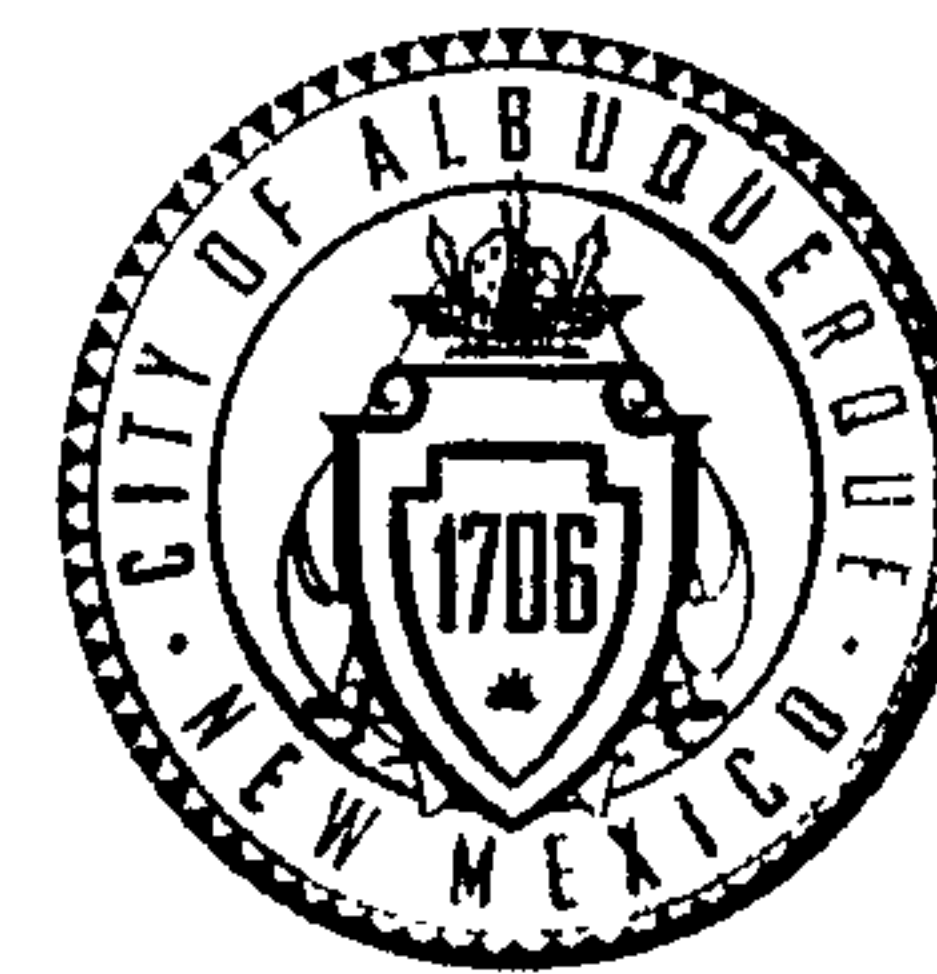
If you have any questions, you can contact me at 924-3695.

Sincerely,

Shahab Biazar, P.E.  
Senior Engineer, Planning Dept.  
Development and Building Services

C: e-mail

# CITY OF ALBUQUERQUE



May 4, 2012

Philip W. Clark, P.E.  
Clark Consulting Engineers  
19 Ryan Road  
Edgewood, NM 87015

**Re: Tuan Van Huynh Residence Grading and Drainage Plan  
Engineer's Stamp dated 04-13-12 (L-23/D001D)**

Dear Mr. Clark,

Based upon the building elevation provided via e-mail the grading and drainage plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. The following comments have to be addressed prior to Final Certification of Occupancy:

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

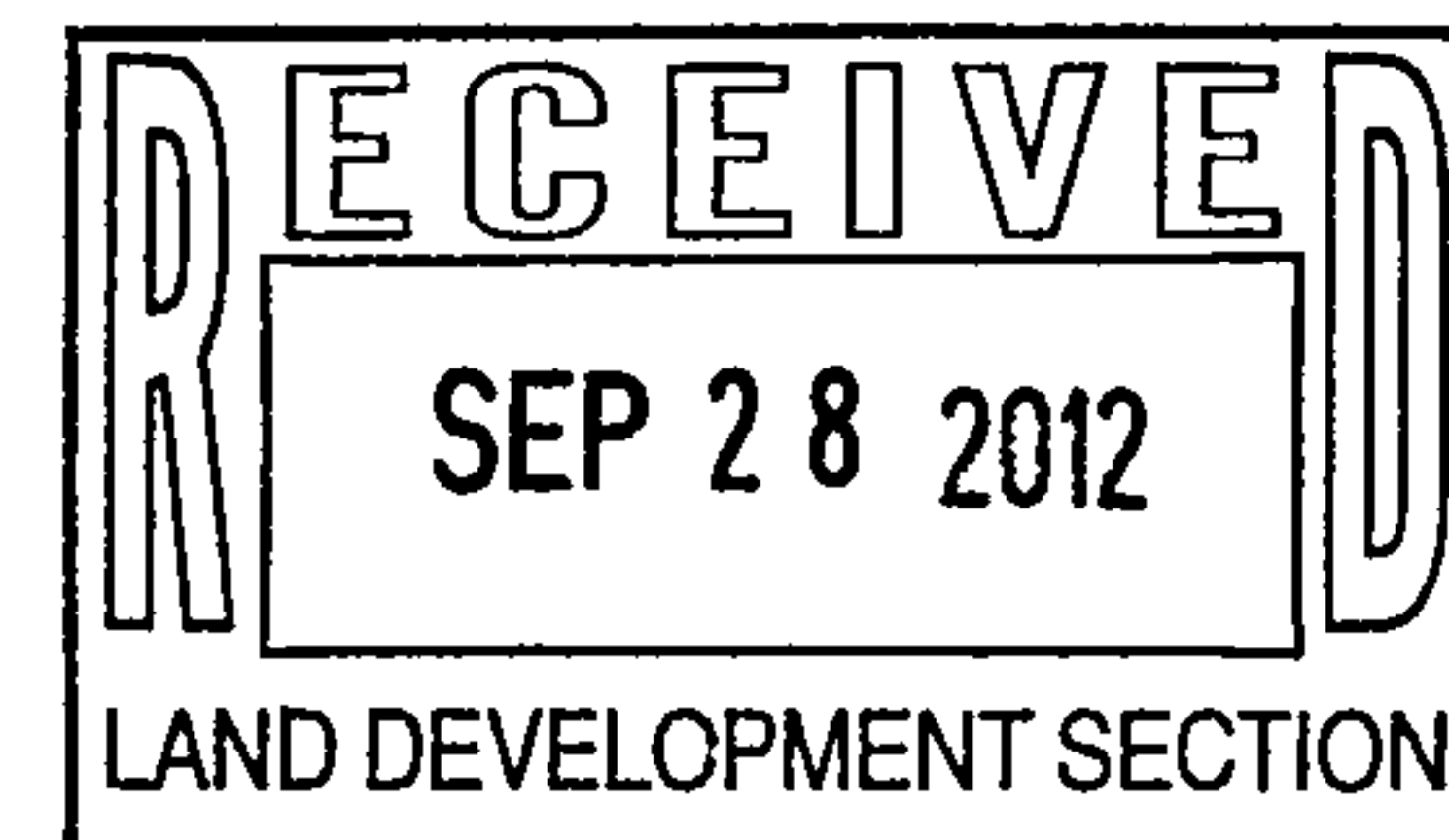
- Since the topography does not represent the exiting graded areas, as-built grades will be required.
- Slopes treatment will be needed for the slopes exceeding 3:1 grades.
- There is also an existing retaining wall within the 5' drainage easement along the southerly boundary. Need to make sure that this retaining wall will adversely impact the offsite runoff.

Albuquerque's MS4 Permit became effective March 1<sup>st</sup>, 2012. Grading and Drainage Plans and Drainage Reports will have to comply with the requirements of the new permit (<http://www.cabq.gov/planning/landcoord/Hydrology.html>).

If you have any questions, you can contact me at 924-3695.

Sincerely,

Shahab Biazar, P.E.  
Senior Engineer, Planning Dept.  
Development and Building Services



C: e-mail

# CITY OF ALBUQUERQUE



April 20, 2012

Philip W. Clark, P.E.  
Clark Consulting Engineers  
19 Ryan Road  
Edgewood, NM 87015

**Re: Tuan Van Huynh Residence Grading and Drainage Plan  
Engineer's Stamp dated 04-13-12 (L-23/D001D)**

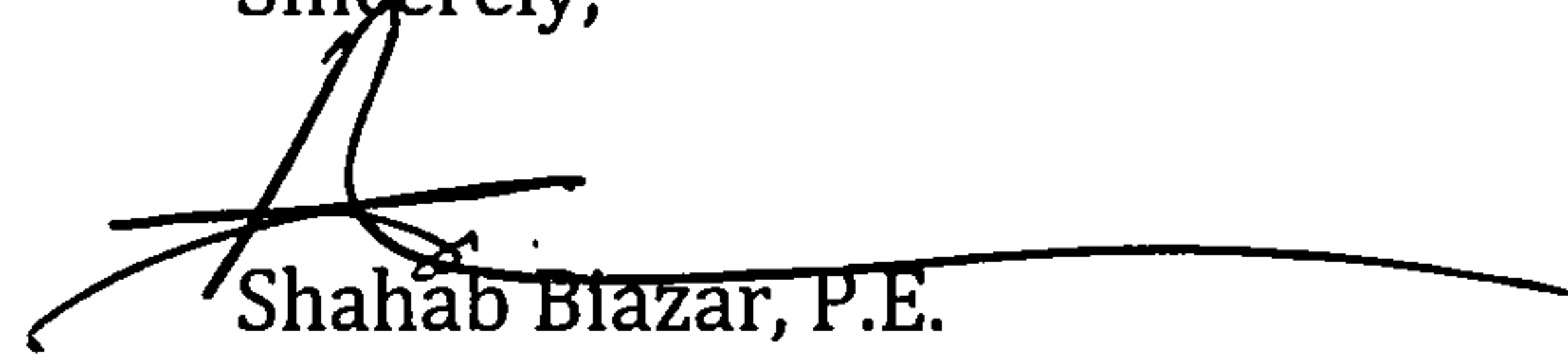
Dear Mr. Clark,

Based upon the information provided in your submittal dated 04-17-12, the above referenced plan cannot be approved for Building Permit until the following comments have been addressed:

- The 38 ft. contour south of the balcony does not match up with the existing contour of 29 ft. It appears that a retaining wall will be needed along this contour.
- The spot elevation at the southeastern edge of the residence appears to be 3 ft. lower than the existing pad elevation of the home.
- There also appears to be a 4 foot drop around the southeastern edge of the footing for the balcony. How will this be addressed?

If you have any questions, you can contact me at 924-3695.

Sincerely,

  
Shahab Blazar, P.E.  
Senior Engineer, Planning Dept.  
Development and Building Services

C: file  
CJH/CC

# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: Folium Energy Solar Project  
DRB #: \_\_\_\_\_ EPC#: \_\_\_\_\_

ZONE MAP/DRG. FILE #: M-21 / D007E  
WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: Annexation portion of Section 33, NW 1/4 SW 1/4 T10N R4E NMPM  
CITY ADDRESS: 2000 Eubank Blvd SE

ENGINEERING FIRM: Larry Read & Associates, Inc.  
ADDRESS: 2430 Midtown Place NE Suite C  
CITY, STATE: Albuquerque, New Mexico

CONTACT: Larry Read  
PHONE: 237-8421  
ZIP CODE: 87107

OWNER: Folium Energy  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

ARCHITECT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

SURVEYOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

## CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL, **REQUIRES TCL or equal**
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☒ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

## CHECK TYPE OF APPROVAL SOUGHT:

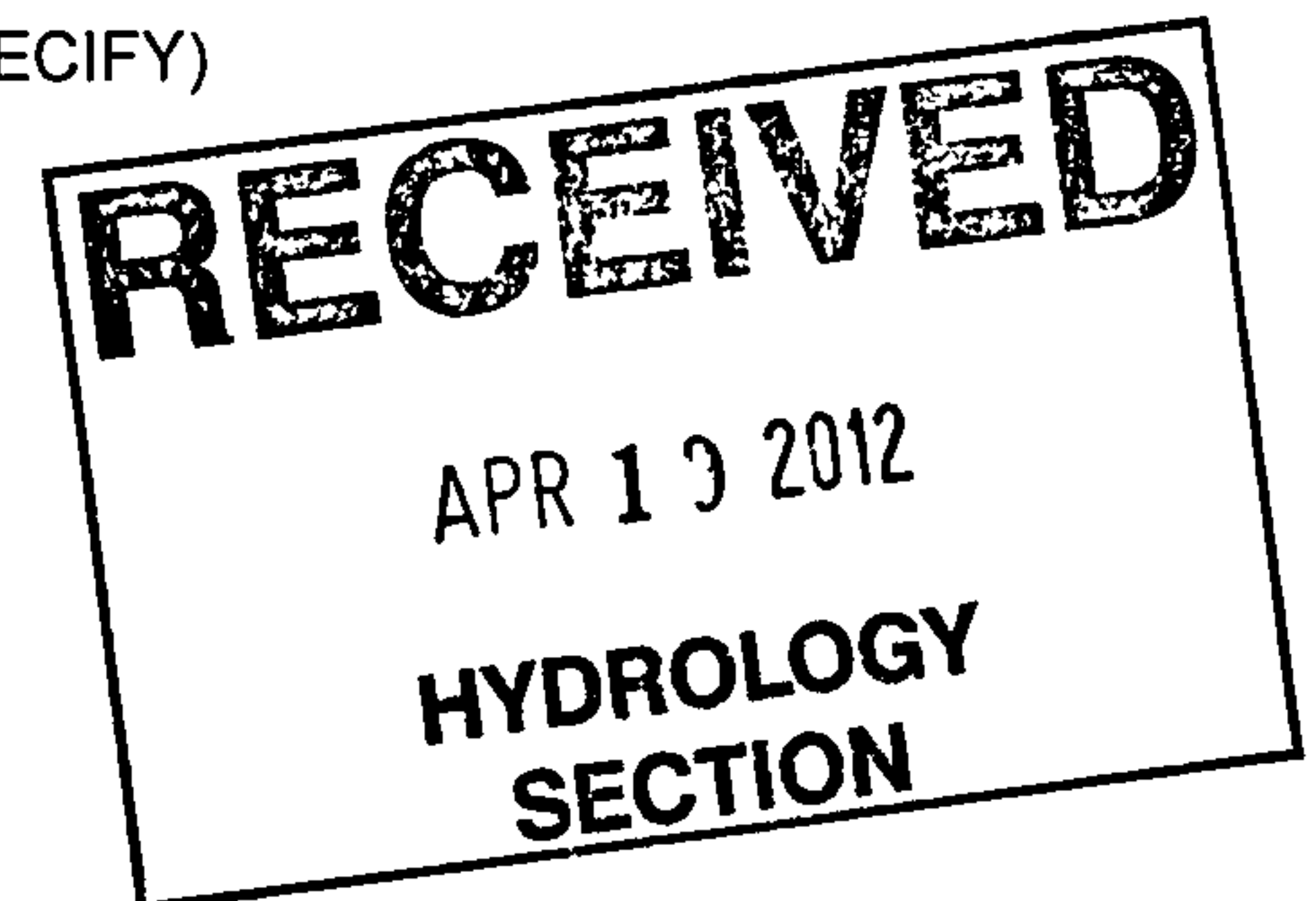
- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☒ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

## WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
- ☐ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: April 18, 2012

BY: Larry D. Read, PE



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.



# CITY OF ALBUQUERQUE



May 4, 2012

Philip W. Clark, P.E.  
Clark Consulting Engineers  
19 Ryan Road  
Edgewood, NM 87015

**Re: Tuan Van Huynh Residence Grading and Drainage Plan  
Engineer's Stamp dated 04-13-12 (L-23/D001D)**

Dear Mr. Clark,

Based upon the building elevation provided via e-mail the grading and drainage plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. The following comments have to be addressed prior to Final Certification of Occupancy:

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

- Since the topography does not represent the exiting graded areas, as-built grades will be required.
- Slopes treatment will be needed for the slopes exceeding 3:1 grades.
- There is also an existing retaining wall within the 5' drainage easement along the southerly boundary. Need to make sure that this retaining wall will adversely impact the offsite runoff.

Albuquerque's MS4 Permit became effective March 1<sup>st</sup>, 2012. Grading and Drainage Plans and Drainage Reports will have to comply with the requirements of the new permit (<http://www.cabq.gov/planning/landcoord/Hydrology.html>).

If you have any questions, you can contact me at 924-3695.

Sincerely,

Shahab Biazar, P.E.  
Senior Engineer, Planning Dept.  
Development and Building Services

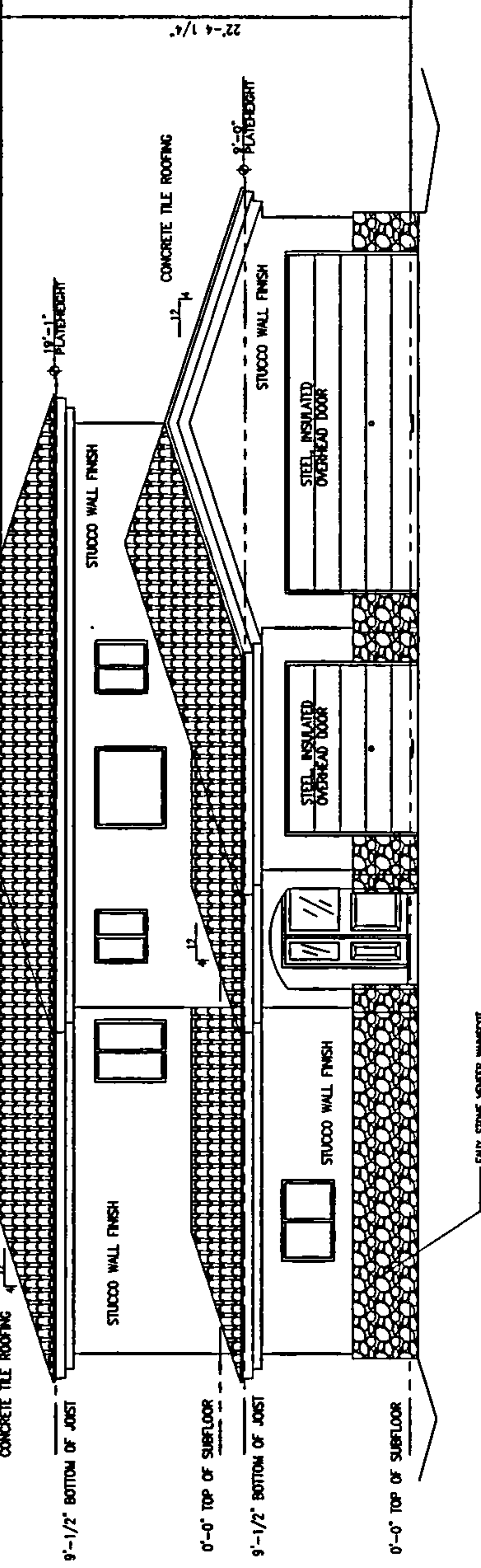
C: e-mail

L23/ Door D

1 +

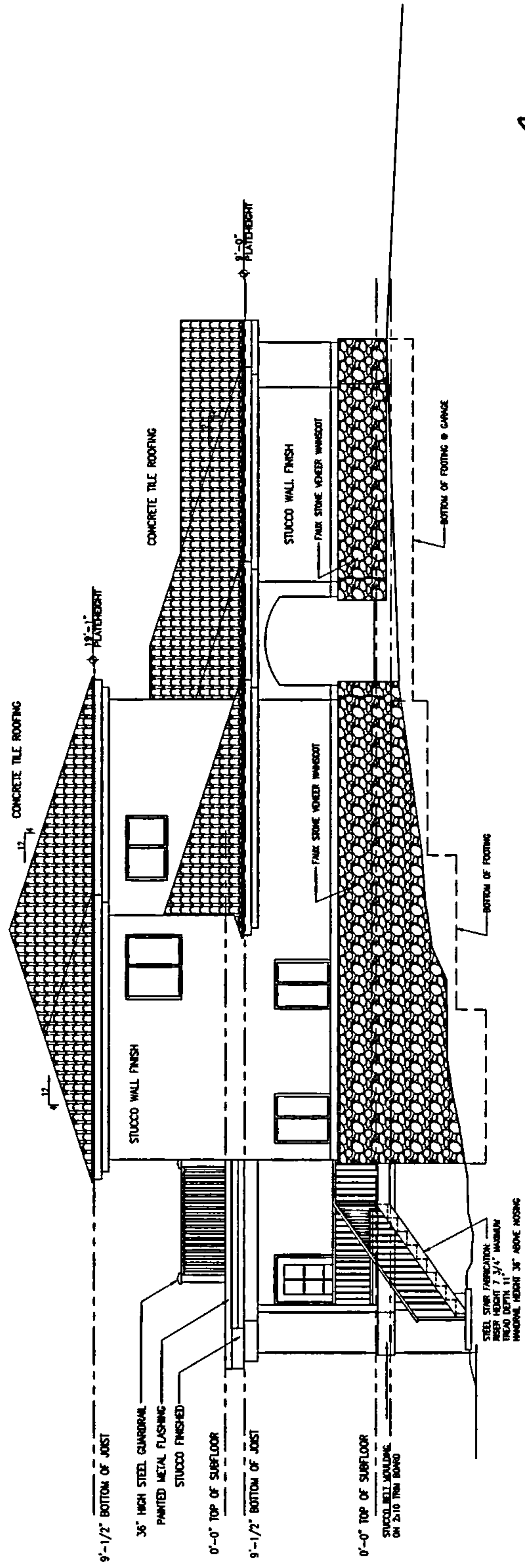
2

James B. Clark  
20 FEB 2012  
ARCHITECT  
CLARK # 10417  
STATE OF NEW MEXICO



1. NORTHEAST EXTERIOR ELEVATION  
A4

SCALE 1/4" = 1'-0"



2. SOUTHEAST EXTERIOR ELEVATION  
A4

SCALE 1/4" = 1'-0"

1 +

200 5'-7'-12

**DRAINAGE AND TRANSPORTATION INFORMATION SHEET**  
(Rev. 12/05)

PROJECT TITLE: Van Huynh ZONE MAP/DRG. FILE # L-23 / D 001D  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: LOT 9-A BLK 2 N. 4. Hills  
CITY ADDRESS: 13804 Waterlily Ct SE

ENGINEERING FIRM: Clark Consulting Engineers CONTACT: Phil  
ADDRESS: 19 Ryan Road PHONE: 281-2444  
CITY, STATE: Edgewood, New Mexico 87015 ZIP CODE: \_\_\_\_\_

OWNER: Tuan Van Huynh CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

ARCHITECT: Masterworks CONTACT: Jim Clark  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

SURVEYOR: Way John CONTACT: Thomas  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

**TYPE OF SUBMITTAL:**

- ☐ DRAINAGE REPORT  
☒ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL G & D PLAN  
☒ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERT (HYDROLOGY)  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT  
☐ ENGINEER/ARCHITECT CERT (TCL)  
☐ ENGINEER/ARCHITECT CERT (DRB S.P.)  
☐ ENGINEER/ARCHITECT CERT (AA)  
☐ OTHER (SPECIFY) \_\_\_\_\_

**CHECK TYPE OF APPROVAL SOUGHT:**

- ☐ SIA/FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY (PERM)  
☐ CERTIFICATE OF OCCUPANCY (TEMP)  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ OTHER (SPECIFY) \_\_\_\_\_

WAS A PRE-DESIGN CONFERENCE ATTENDED?

- ☐ YES  
☐ NO  
☐ COPY PROVIDED

SUBMITTED BY: [Signature] DATE: 4/13/12

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

RECEIVED  
APR 13 2012  
17

Paid \$50.00