



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: _____ **Building Permit #:** _____ **City Drainage #:** _____
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: _____
City Address: _____

Engineering Firm: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Owner: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Architect: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

DEPARTMENT:

- HYDROLOGY/ DRAINAGE
- TRAFFIC/ TRANSPORTATION
- MS4/ EROSION & SEDIMENT CONTROL

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY
- PRELIMINARY PLAT APPROVAL
- SITE PLAN FOR SUB'D APPROVAL
- SITE PLAN FOR BLDG. PERMIT APPROVAL
- FINAL PLAT APPROVAL
- SIA/ RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING/ PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR
- PRE-DESIGN MEETING
- OTHER (SPECIFY) _____

TYPE OF SUBMITTAL:

- ENGINEER/ ARCHITECT CERTIFICATION
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- DRAINAGE MASTER PLAN
- DRAINAGE REPORT
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- TRAFFIC IMPACT STUDY (TIS)
- EROSION & SEDIMENT CONTROL PLAN (ESC)
- OTHER (SPECIFY) _____

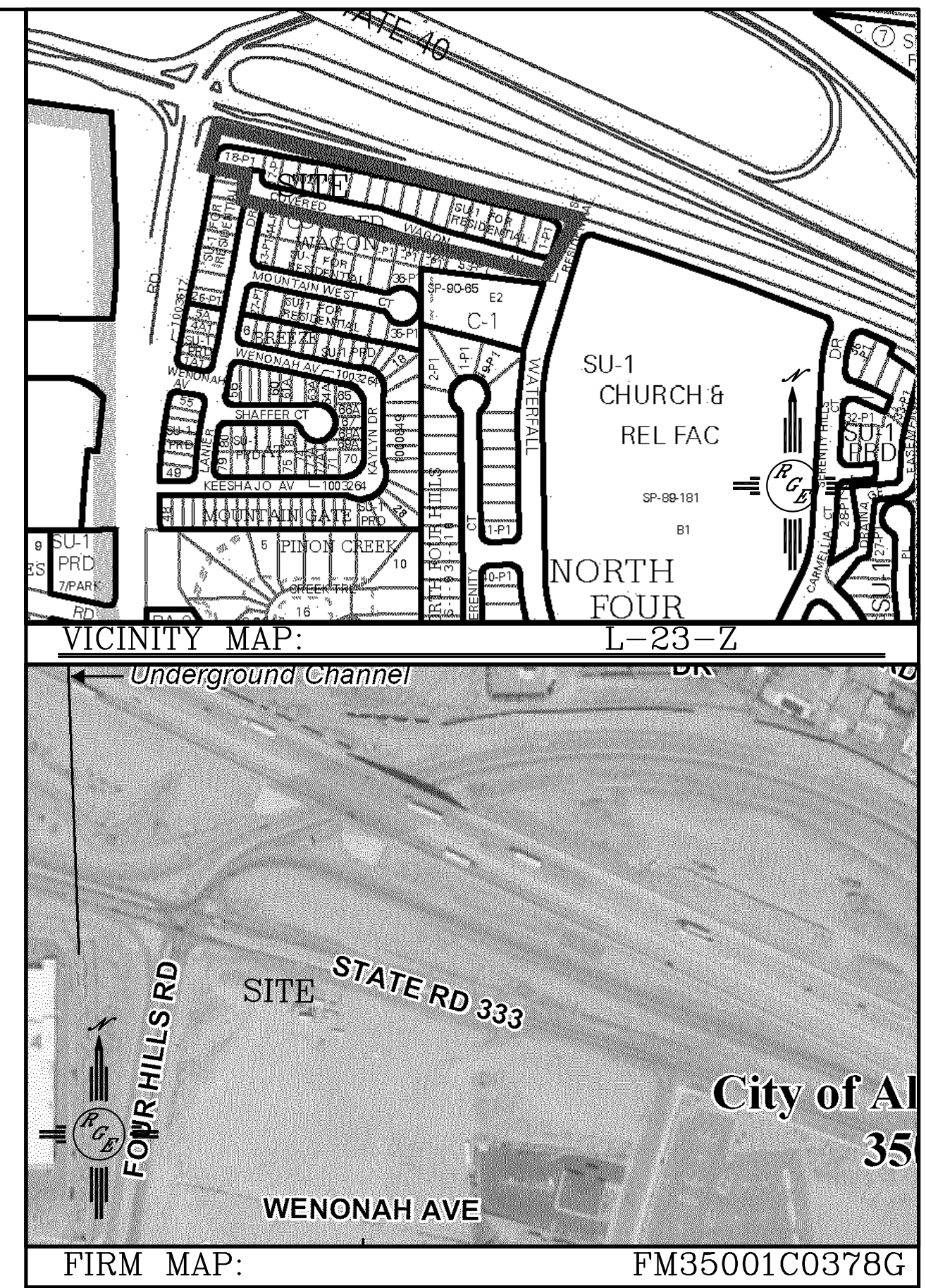
IS THIS A RESUBMITTAL?: Yes No

DATE SUBMITTED: _____ By: _____

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



LEGAL DESCRIPTION:
 LOTS 1-18, WAGON BREEZE

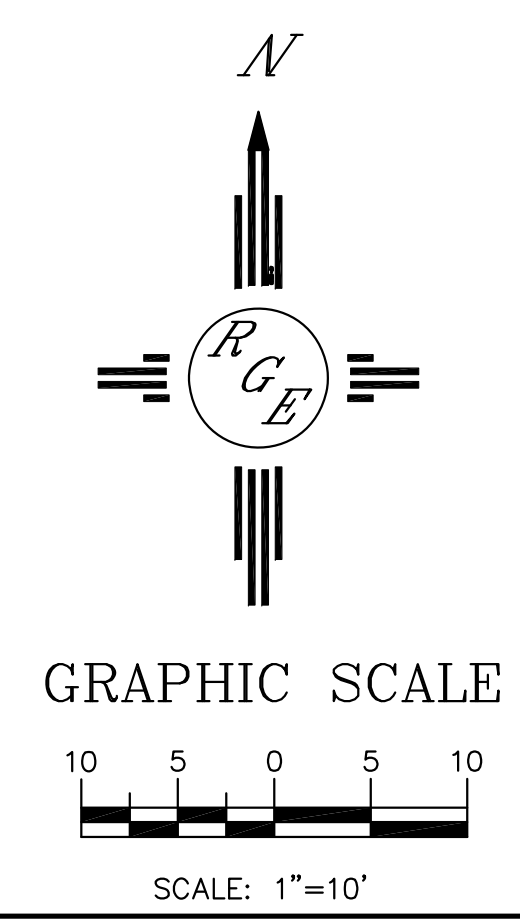
- NOTES:**
1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
 2. ALL CURB AND GUTTER TO 6" HEADER UNLESS OTHERWISE NOTED.
 3. ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.

LEGEND

---	5414	---	EXISTING CONTOUR
---	5415	---	EXISTING INDEX CONTOUR
---	5414	---	PROPOSED CONTOUR
---	5415	---	PROPOSED INDEX CONTOUR
---	5415	---	SLOPE TIE
•	4048.25	•	EXISTING SPOT ELEVATION
•	4048.25	•	PROPOSED SPOT ELEVATION
---		---	BOUNDARY
---		---	CENTERLINE
---		---	RIGHT-OF-WAY
---		---	PROPOSED CURB
---		---	EXISTING CURB AND GUTTER
---		---	PROPOSED SIDEWALK
---		---	EXISTING SIDEWALK
---		---	PROPOSED RETAINING WALL (DESIGN BY OTHERS)
---		---	PROPOSED 6' SCREEN WALL (DESIGN BY OTHERS)
---		---	EXISTING RETAINING WALL

ROUGH GRADING APPROVAL _____ DATE _____

CAUTION:
 EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION OF UTILITIES & OTHER IMPROVEMENTS.



	COVERED WAGON SUBDIVISION - LOT 15	DRAWN BY WCKJ
	GRADING AND DRAINAGE PLAN	DATE 7-29-16
		21511-LAYOUT-4-02-15
		SHEET #
DAVID SOULE P.E. #14522		JOB # 21510



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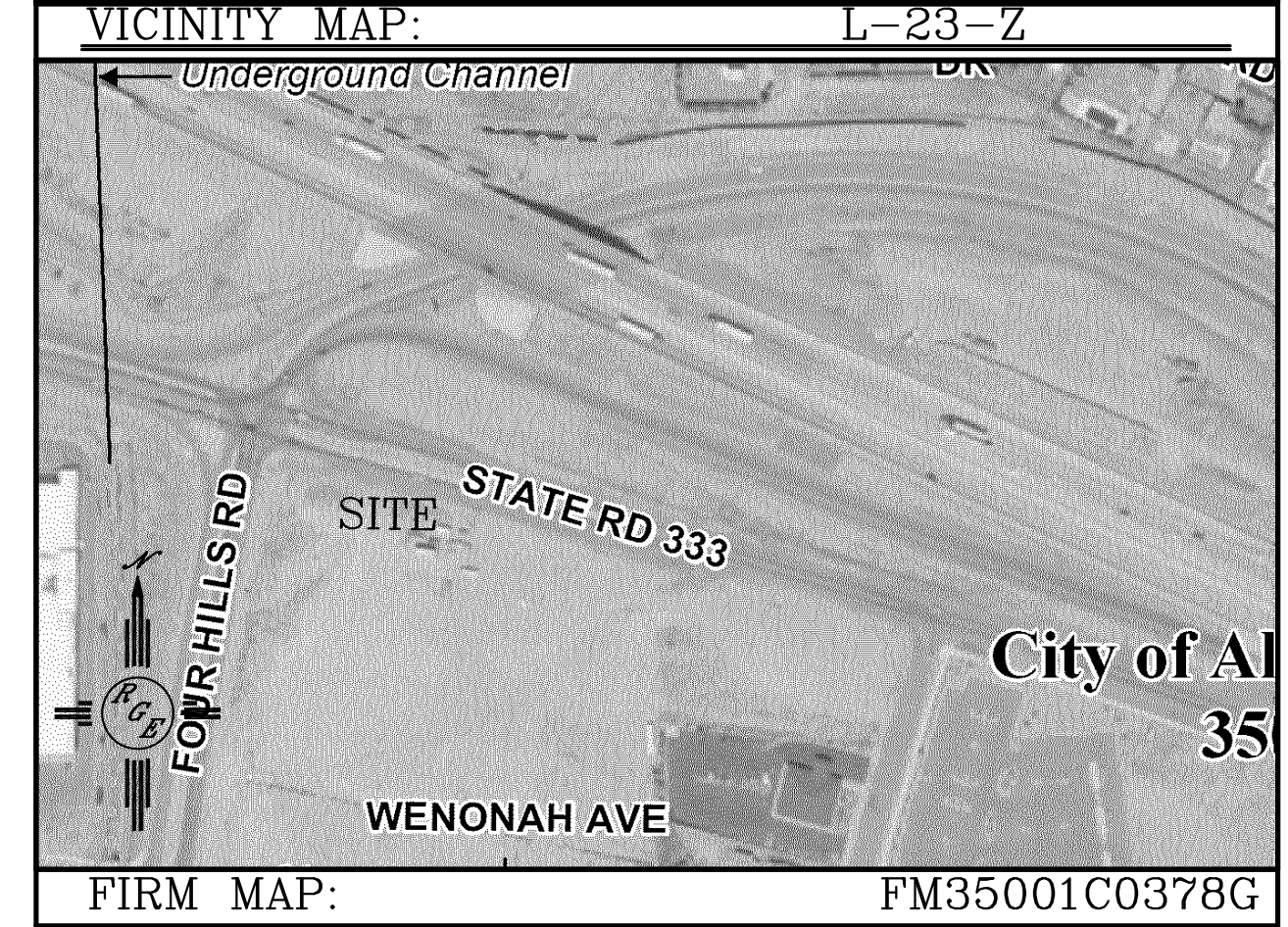
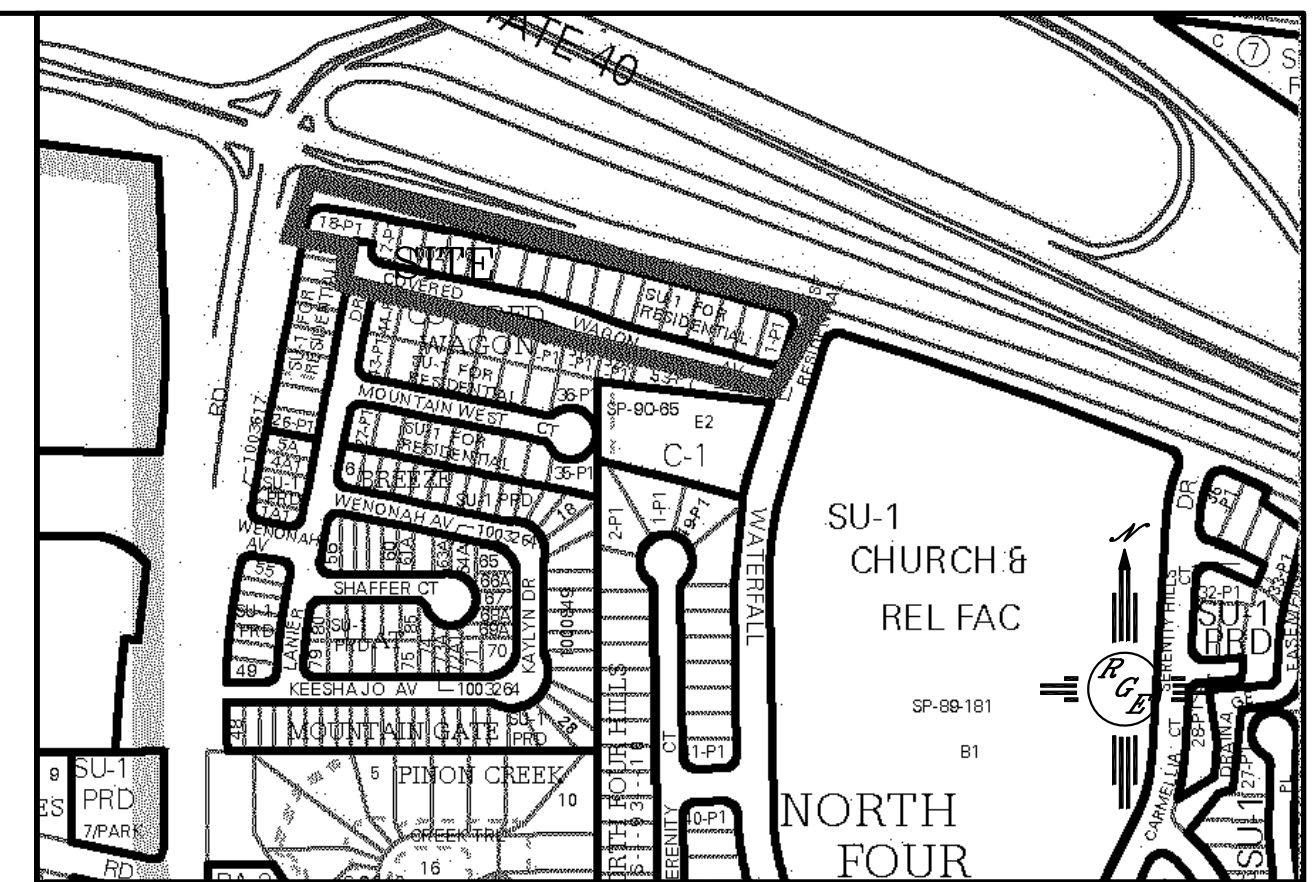
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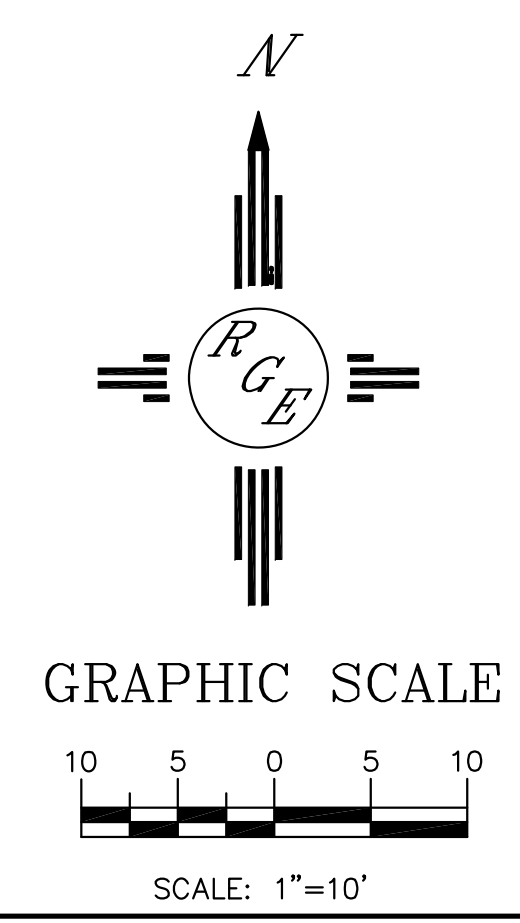
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	GRADING AND DRAINAGE PLAN	DATE 7-29-16
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Rael, Rudy E.

To: David Soule (david@riograndeengineering.com)
Cc: Carrillo, Abiel X.
Subject: 13609, 13705 & 13709 Covered Wagon

Mr. Soule

This email is being sent in lieu of an attached comment letter in order to expedite our response to previous comments. Response to comments should continue to be included in the resubmittal. A reply to these comments via email will not be considered a resubmittal.

Based upon the information provided in your resubmittal received 8/1/16, the above referenced Grading and Drainage Plan cannot be approved for Grading Permit or Building Permit until the following comments are addressed:

- An approved ESC plan is required for all the lots, plus an ESC Permit is required for each lot which have different owners.
- Address the First Flush requirements. All flows must exit the front yard via a landscaped pond.
- Provide how erosion will be prevented from entering the adjacent property.
- Provide an excerpt about the retaining wall in the rear yards. Who will be responsible for the maintenance of the retaining wall?
- Was the retaining wall in the rear yards approved and certified?

If you should have any questions feel free to contact me or Abiel Carrillo at 924-3986.

Rudy E. Rael, CE, CFM
Engineer Associate, Hydrology
Planning Department
600 2nd St. NW Suite 201
Albuquerque NM 87102
(505) 924-3977