

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

June 27, 2023

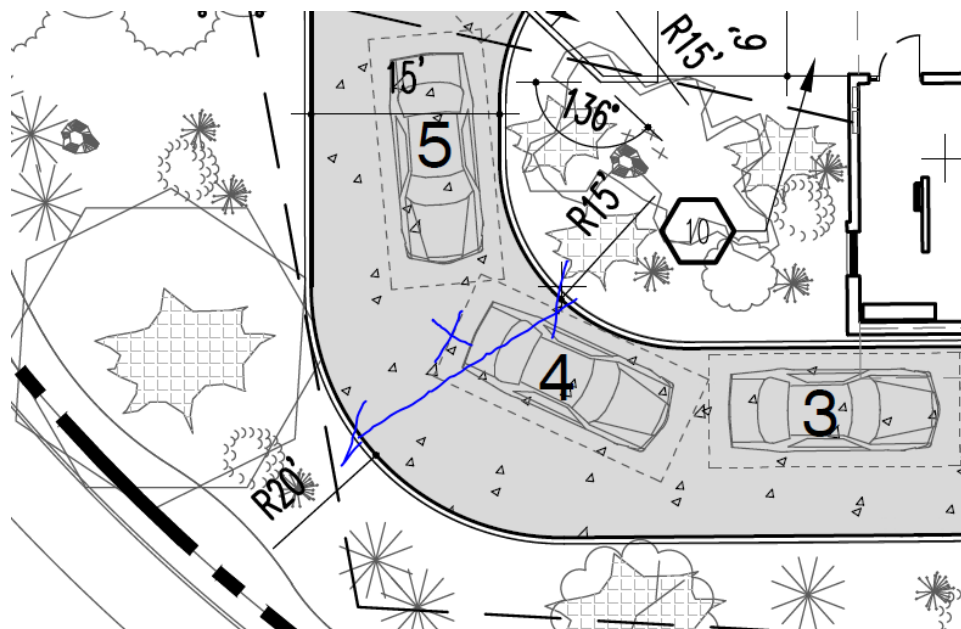
Devin Nguyen, RA
Modulus Architect
100 Sun Ave. NE
Albuquerque, NM 87109

Re: Starbucks
200 Tramway Blvd. SE
Traffic Circulation Layout
Architect's Stamp XX-XX-XX (L21-D015A)

Dear Mr. Nguyen,

Based upon the information provided in your submittal received 06-09-23, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. The traffic circulation layout must be stamped, signed, and dated by an engineer or architect licensed in the state of New Mexico.
2. Identify all existing access easements and rights of way width dimensions.
3. Identify the right of way width, medians, curb cuts, and street widths on Tramway Blvd. SE.
4. Please provide an approved and recorded easement.
5. Detail C2 is missing.
6. Provide "ON WAY" sign and pavement marking at the beginning of the drive-thru.
7. Please show on the site plan the drive-thru width in this location.



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8. ADA curb ramps at the city right of way must be updated to current standards and have truncated domes installed.
9. Clear sight triangle must start at the back of the sidewalk.
10. Please specify the City Standard Drawing Number when applicable.
11. Shared Site access: driveways that straddle property lines, or are entirely on one property but are to be used by another property, shall have an access easement. Please include a copy of your shared access agreement with the adjacent property owner.
12. Add a note stating "All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter." A build note must be provided referring to the appropriate City Standard drawing.
13. Please provide a letter of response for all comments given.
14. Traffic Studies: See the Traffic Impact Study (TIS) thresholds. In general, a minimum combination of 100 vehicles entering and exiting in the peak hour warrants a Traffic Impact Study. Visit with Traffic Engineer for determination, and fill out a TIS Form that states whether one is warranted. In some cases, a trip generation may be requested for determination (**Contact Matt Grush: mgrush@cabq.gov**).

Once corrections are complete resubmit

1. The Traffic Circulation Layout
2. A Drainage Transportation Information Sheet (DTIS)
3. Send an electronic copy of your submittal to PLNDRS@cabq.gov.
4. The \$75 re-submittal fee.

for log in and evaluation by Transportation.

If you have any questions, please contact me at (505) 924-3674.

Sincerely,

Marwa Al-najjar

Marwa Al-najjar
Associate Engineer, Planning Dept.
Development Review Services

\xxx via: email
C: CO Clerk, File



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: Starbucks Coffee Shop **Building Permit #:** TBD **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: TRACT J-1-A AND J-1-B, FOUR HILLS VILLAGE SHOPPING CENTER AND APARTMENT COMPLEX, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNILLO COUNTY, NEW MEXICO.

City Address: 200 TRAMWAY BLVD. SE, ALBUQUERQUE, NM 87123

Applicant: Modulus Architects **Contact:** Devin Nguyen

Address: 100 Sun Ave Suite 600, Albuquerque NM 87109

Phone#: 505-338-1499 **Fax#:** _____ **E-mail:** devinn@modulusarchitects.com

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes ☒ No

DEPARTMENT ☒ TRANSPORTATION _____ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) _____
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

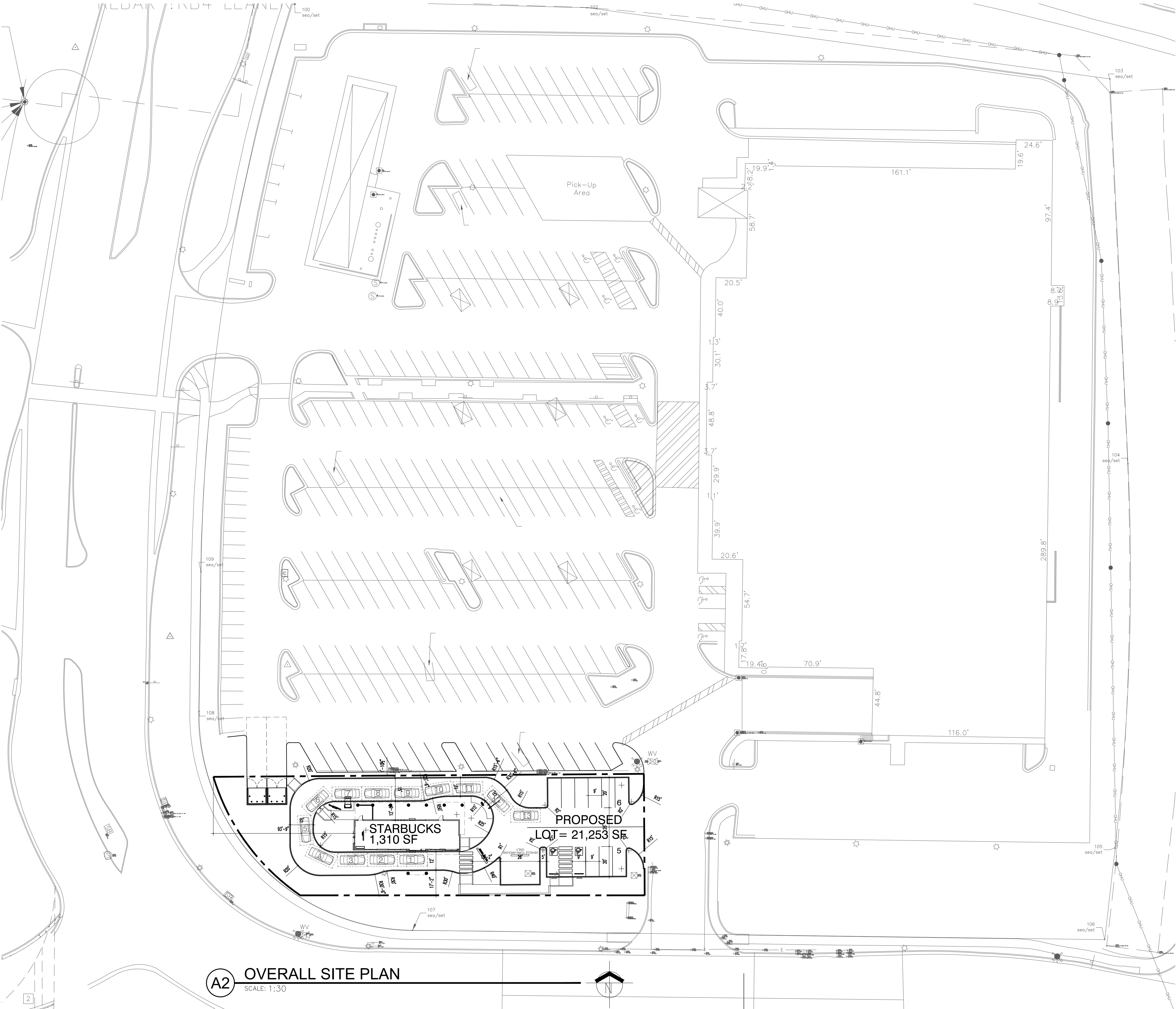
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ **By:** 6 Jun 2023

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



A2 OVERALL SITE PLAN
SCALE: 1:30

GENERAL NOTES

- A. "0" SERIES SHEETS APPLY TO THE ENTIRE SET OF DRAWINGS.
B. INDICATED DIMENSIONS ARE TO FACE OF FINISH, UNLESS OTHERWISE NOTED.

SMITH'S PARKING CALCULATION

EXISTING SMITHS BLDG SF	
85,298 SF	
PARKING SPACES REQUIRED	
1 PER 300 CSF @ 85,298 CSF = 285	
EXISTING # OF PARKING SPACES	NEW # OF PARKING SPACES
383	335

STARBUCKS' PARKING CALCULATION

PARKING SPACES REQUIRED	PARKING SPACES PROVIDED
8 PER 1,000 CSF @ 1,310 CSF	(8) SPACES
PARKING SPACES REQUIRED FOR PATIO	PARKING SPACES PROVIDED
3 PER 1,000 CSF @ 725 CSF	(2) SPACES
MOTORCYCLE PARKING REQUIRED	
(1) REQUIRED	(2) SPACES
BICYCLE PARKING REQUIRED	
(1) REQUIRED	(4) SPACES

FOR CONSTRUCTION NOT



MODULUS ARCHITECTS
100 SUN AVENUE N.E., Ste 600
ALBUQUERQUE, NEW MEXICO 87109
PHONE (505) 338-1499 FAX (505) 338-1498

NOT FOR CONSTRUCTION
xx xxx 2022

PROJECT TITLE

STARBUCKS – TRAMWAY

200 TRAMWAY BLD. NE

ALBUQUERQUE, NEW MEXICO 87123

PROJECT MANAGER

DEVIN NGUYEN

JOB NO.

SB-TRAMWAY

DRAWN BY:

DIN

SHEET TITLE

OVERALL SITE PLAN

DATE:

25 Jun 2023

SCALE:

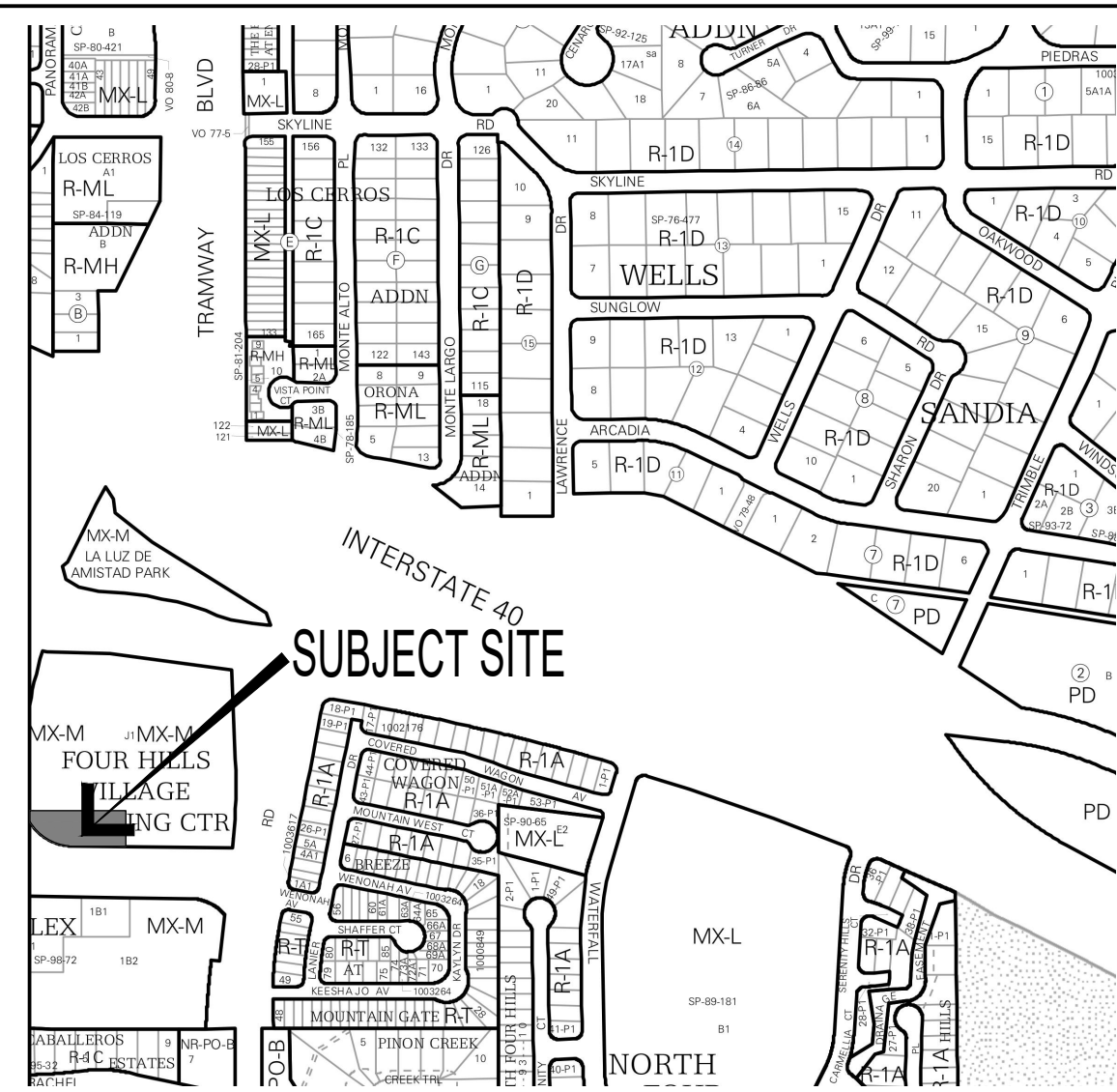
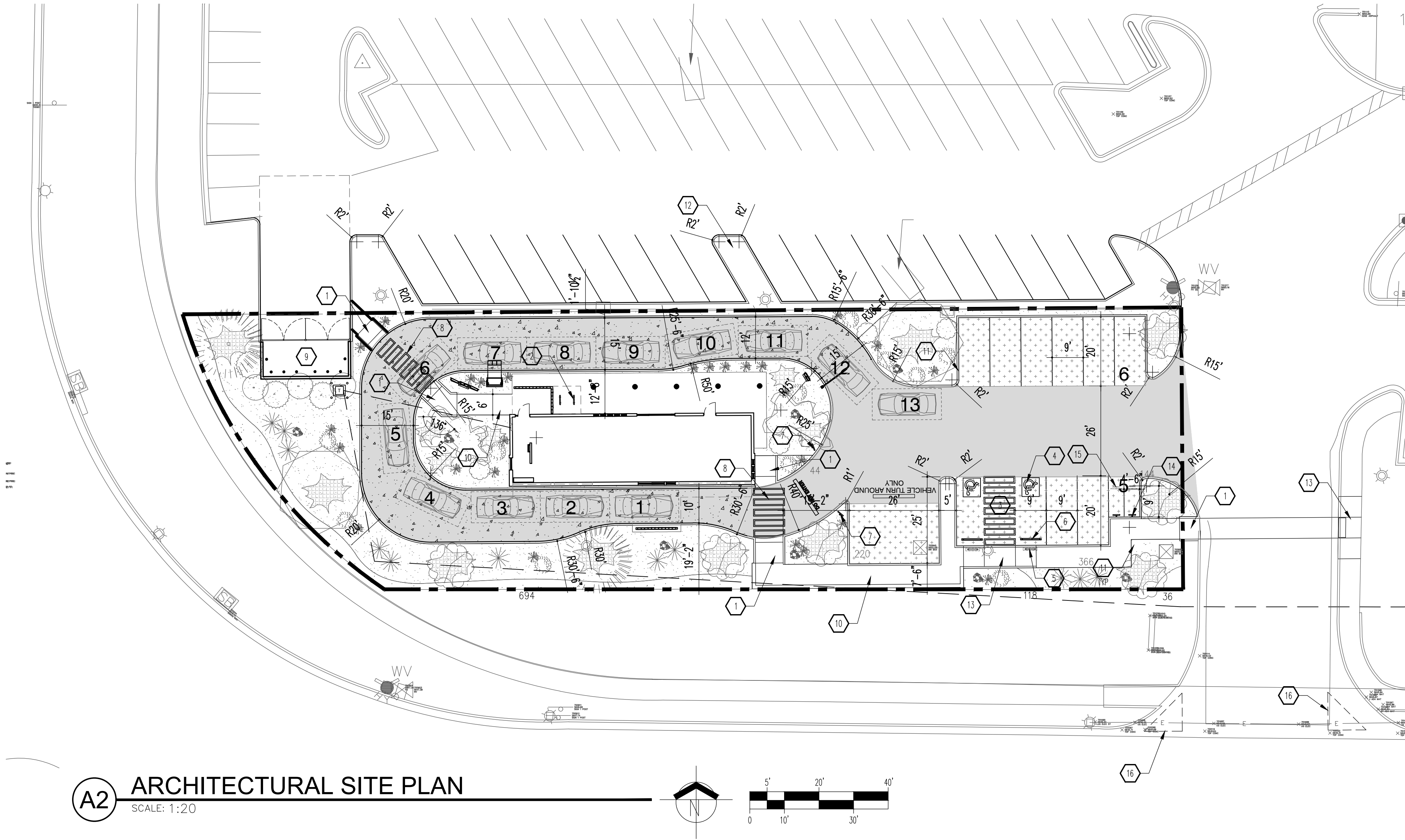
AS NOTED

sheet-

AS100

et.

REV	DATE	BY	REVISION
△			
△			
△			
△			
△			
△	16 JUN 2023	RD	SITE PLAN MODIFICATION TO INCLUDE STARBUCKS



VICINITY MAP
Zone Atlas Map L-23-Z NTS

LEGAL DESCRIPTION: TRACT J-1-A AND J-1-B, FOUR HILLS VILLAGE SHOPPING CENTER AND APARTMENT COMPLEX, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNILLO COUNTY, NEW MEXICO.

GENERAL NOTES

A. "G" SERIES SHEETS APPLY TO THE ENTIRE SET OF DRAWINGS.
B. INDICATED DIMENSIONS ARE TO FACE OF FINISH, UNLESS OTHERWISE NOTED.
C. PARKING AND ACCESSIBLE PAVEMENT MARKING AND STRIPING SHALL CONFORM TO THE NEW MEXICO COMMERCIAL BUILDING CODE SECTION 1110.3 #12.
D. LANDSCAPING AND SIGNAGE SHALL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBS BETWEEN 3' AND 8' TALL (AS MEASURED FROM THE CUTTER PLAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

KEYED NOTES

1. CURBED RAMP: SEE A1/A1.1.
2. BIKE RACK: SEE B1/A1.2; TYPICAL OF (2).
3. HANDICAP PARKING: SEE A1/A1.2 AND A3/A1.2.
4. HANDICAP PAVEMENT MARKING: SEE A5/A1.2.
5. HANDICAP SIGNAGE: SEE B4/A1.2; TYPICAL OF (2).
6. WHEEL STOP: SEE B5/A1.2; TYPICAL OF (2).
7. "DO NOT ENTER" SIGNAGE: SEE B3/A1.2; TYPICAL OF (2).
8. WALKWAY PAVEMENT MARKING: SEE C5/A1.2.
9. REFUSE ENCLOSURE: SEE B2/A1.3.
10. SIDEWALK: SEE B3/A1.1.
11. CURB & CUTTER: SEE B1/A1.1.
12. PARKING ISLAND: SEE C3/A1.1.
13. TAPERED RAMP: SEE C1/A1.1.
14. MOTORCYCLE PARKING SIGNAGE: SEE B2/A1.2; TYPICAL OF (2).
15. "MOTORCYCLE PARKING": 12" HIGH x 4" WIDE PAVEMENT MARKING, WHITE IN COLOR.
16. DASHED LINE INDICATES 11' x 11' CLEAR SITE TRIANGLE.

GRAPHIC LEGEND

6" THICK NORMAL WEIGHT REINFORCED CONCRETE PAVING.

HEAVY DUTY: SEE A5/A1.3.

LIGHT DUTY ASPHALT: SEE A3/A1.3.

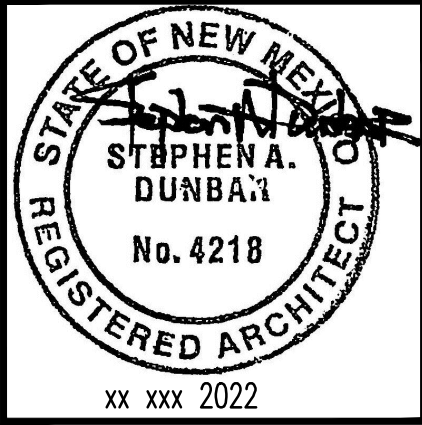
EASEMENTS

NO EASEMENTS AT IMMEDIATE SITE.

PARKING CALCULATION	
PARKING SPACES REQUIRED	PARKING SPACES PROVIDED
8 PER 1,000 CSF @ 1,310 CSF	(8) SPACES
PARKING SPACES REQUIRED FOR PATIO	PARKING SPACES PROVIDED
3 PER 1,000 CSF @ 725 CSF	(2) SPACES
MOTORCYCLE PARKING REQUIRED	
(1) REQUIRED	(2) SPACES
BICYCLE PARKING REQUIRED	
(1) REQUIRED	(4) SPACES

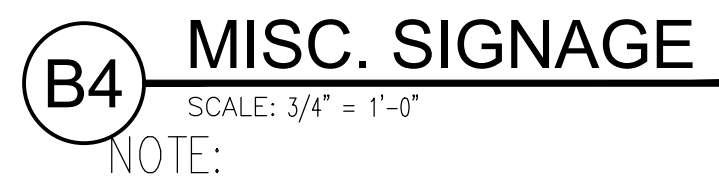
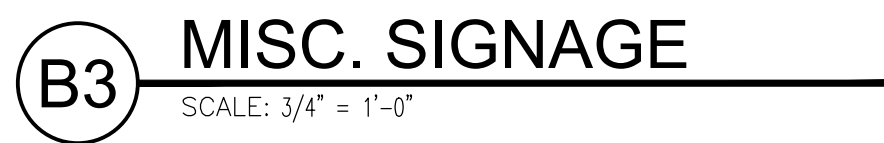
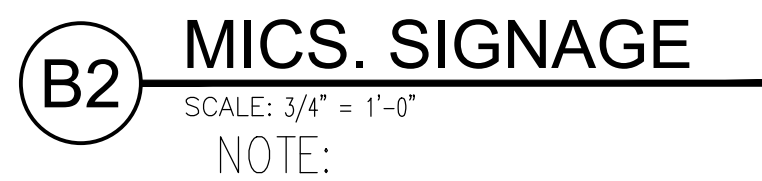
REV	DATE	BY	REVISION
1			
2			
3			
4			
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MODULUS ARCHITECTS
100 SUN AVENUE N.E., Ste 600
ALBUQUERQUE, NEW MEXICO 87109
PHONE (505) 338-1499 FAX (505) 338-1498



PROJECT TITLE		DRAWN BY:	
STARBUCKS - TRAMWAY		DIN	
200 TRAMWAY BLVD. NE		JOB NO.	
ALBUQUERQUE, NEW MEXICO 87123		SB-TRAMWAY	
PROJECT MANAGER		DEVIN NGUYEN	
SHEET TITLE		SITE PLAN	
DATE:		sheet-	
25 Jun 2023		AS101	
SCALE:		et.	
AS NOTED			

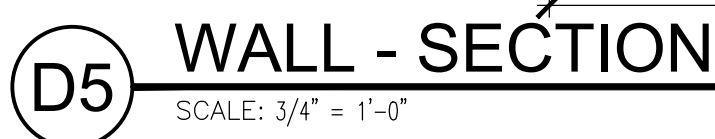
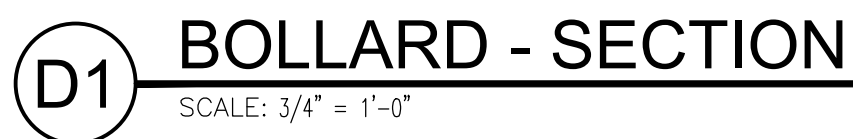
DATE: 25 Jan 2023	sheet- A1.1
SCALE: AS NOTED	



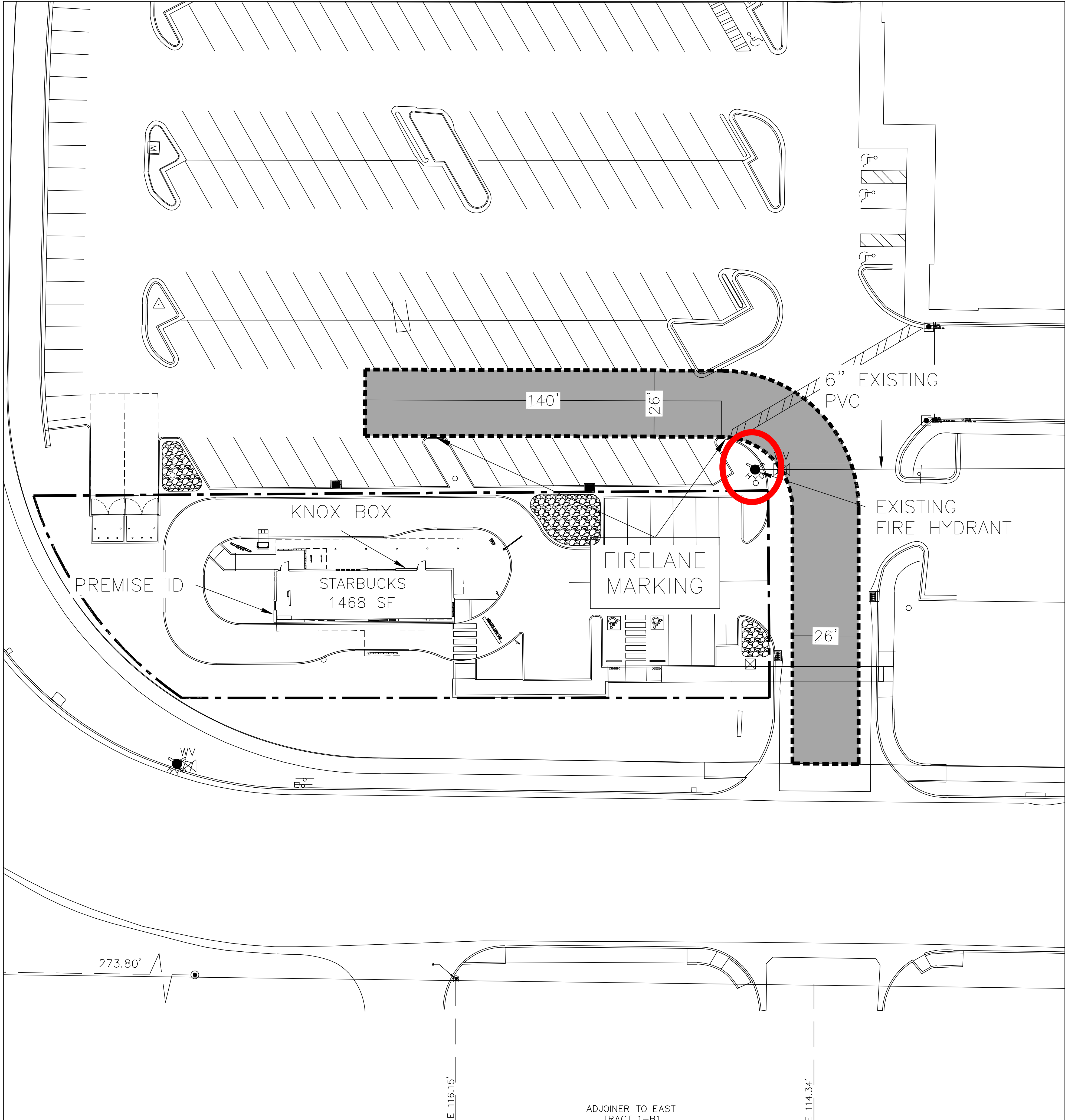
1. PAINT BLUE.
2. PAINT WHITE.
3. 12" HIGH BY 4" WIDE "NO PARKING" MARKING - WHITE PAINT.
4. HANDICAP PAVEMENT MARKING: SEE A5/A1.2.
5. TAPERED RAMP: SEE C2/A1.1.
6. WHEEL STOP: SEE B5/1.2.
7. WALKWAY PAVEMENT MARKING: SEE C5/A1.2.
8. HANDICAP POST SIGNAGE: SEE B4/A1.2.
9. TOP OF REINFORCING BAR FLUSH WITH TOP OF CONCRETE.
10. $\frac{3}{8}$ " DIAMETER HOLE.
11. (2) #4 BARS CONTINUOUS.
12. $\frac{3}{8}$ " REINFORCING BAR EMBEDDED 24" INTO SUBGRADE.
13. #5 REINFORCING BAR.
14. 4" WIDE WHITE PAINTED STRIPING.
15. 3,500 PSI CONCRETE FOUNDATION.
16. FINISHED SURFACE.
17. BITUMINOUS JOINT FILLER (CONCRETE PAVEMENT ONLY).
18. 6" DIAMETER STEEL PIPE FILLED WITH CONCRETE.
19. ROUND CONCRETE TOP.
20. PAINT SAFETY YELLOW.
21. 2" OD GALVANIZED STEEL SIGN POST.
22. "VAN ACCESSIBLE" SIGN WHERE INDICATED ON SITE PLAN.
23. $\frac{3}{8}$ " STEEL PLATE WITH CONTINUOUS WELD ALONG INTERSECTION OF PIPE POST AND PLATE.
24. CONCRETE FOUNDATION.
25. 7" DIAMETER X $\frac{3}{8}$ " THICK STEEL PLATE: BLACK POWDER COAT.
26. 2 $\frac{3}{8}$ " STANDARD DUTY PIPE CENTER SUPPORT.
27. ADA APPROVED TRUNCATED DOME STRIP.
28. 2 $\frac{3}{8}$ " OUTSIDE DIAMETER (OD) STEEL TURNING: BLACK POWDER COAT.

PROJECT TITLE		STARBUCKS — TRAMWAY	
200 TRAMWAY BLVD. NE ALBUQUERQUE, NEW MEXICO 87123		JOB NO.	DRAWN BY:
PROJECT MANAGER		SG-TRAMWAY	DYN
SHEET TITLE		SITE DETAILS	

DATE:	sheet:
25 Jun 2023	A1.2
SCALE:	of:
AS NOTED	

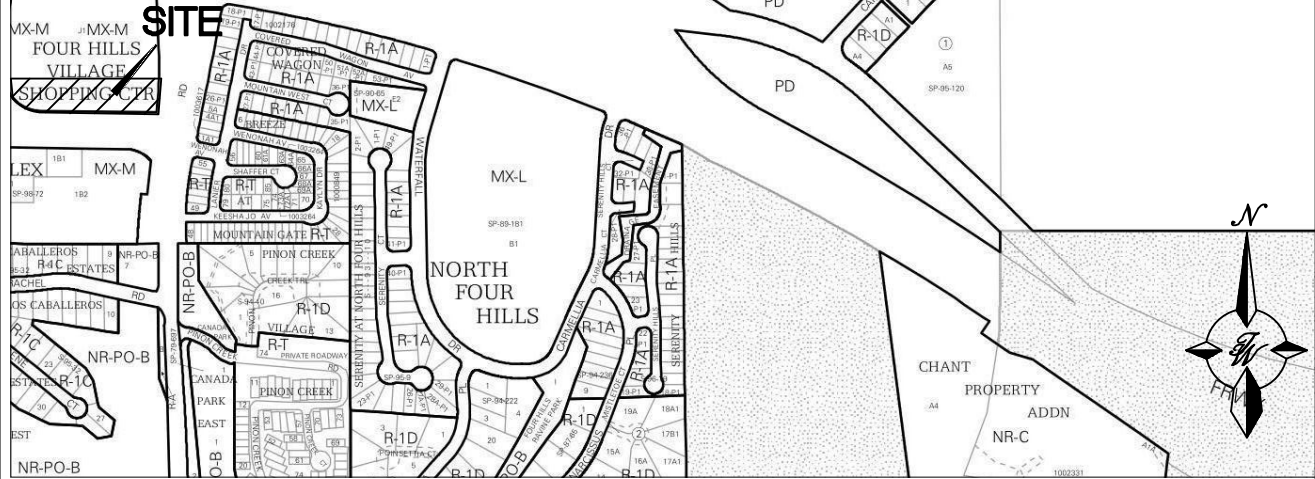


DATE: 25 Jan 2023	sheet- A1.3
SCALE: AS NOTED	of-



ALBUQUERQUE FIRE MARSHAL'S
DIVISION OFFICE PLANS
CHECKING DIVISION
PERMIT
PERMIT NUMBER: **FE-23-014753**
APPROVED DATE: **06/06/23**
APPROVED

THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND APPROVED BY THE
ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH THE CITY
ORDINANCE, THE INTERNATIONAL FIRE CODE, AND NFPA STANDARDS. THIS
PERMIT IS VALID FOR 180 DAYS. FINAL INSPECTION IS REQUIRED.
FIRE FLOW: 1750 GPM, 150 FT. V-B

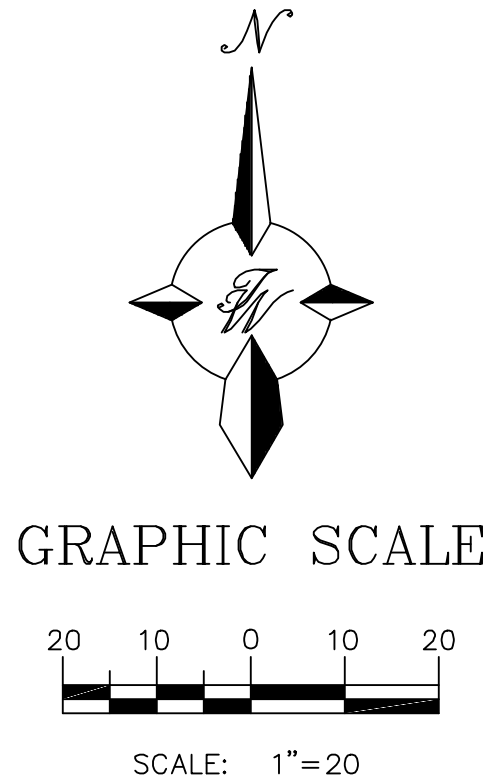


VICINITY MAP: L-23-Z

LEGAL DESCRIPTION:
TR J-1 REPL OF TRS F, H-1, J & UNPLATTED LAND FOUR HILLS
VILLAGE SHOPPING CENTER & APT COMPLEX CONT 7.9444 AC
+/- OR 346,058 SF +/-
TOTAL PROPERTY
21,500 S.F.
.49 ACRES
Max. Building Footprint= 1468 SF
Occupancy Type = A-2
Construction Type = V-B
Non-Sprinklered System in Bldg
Fire-Flow = 1,500 gpm

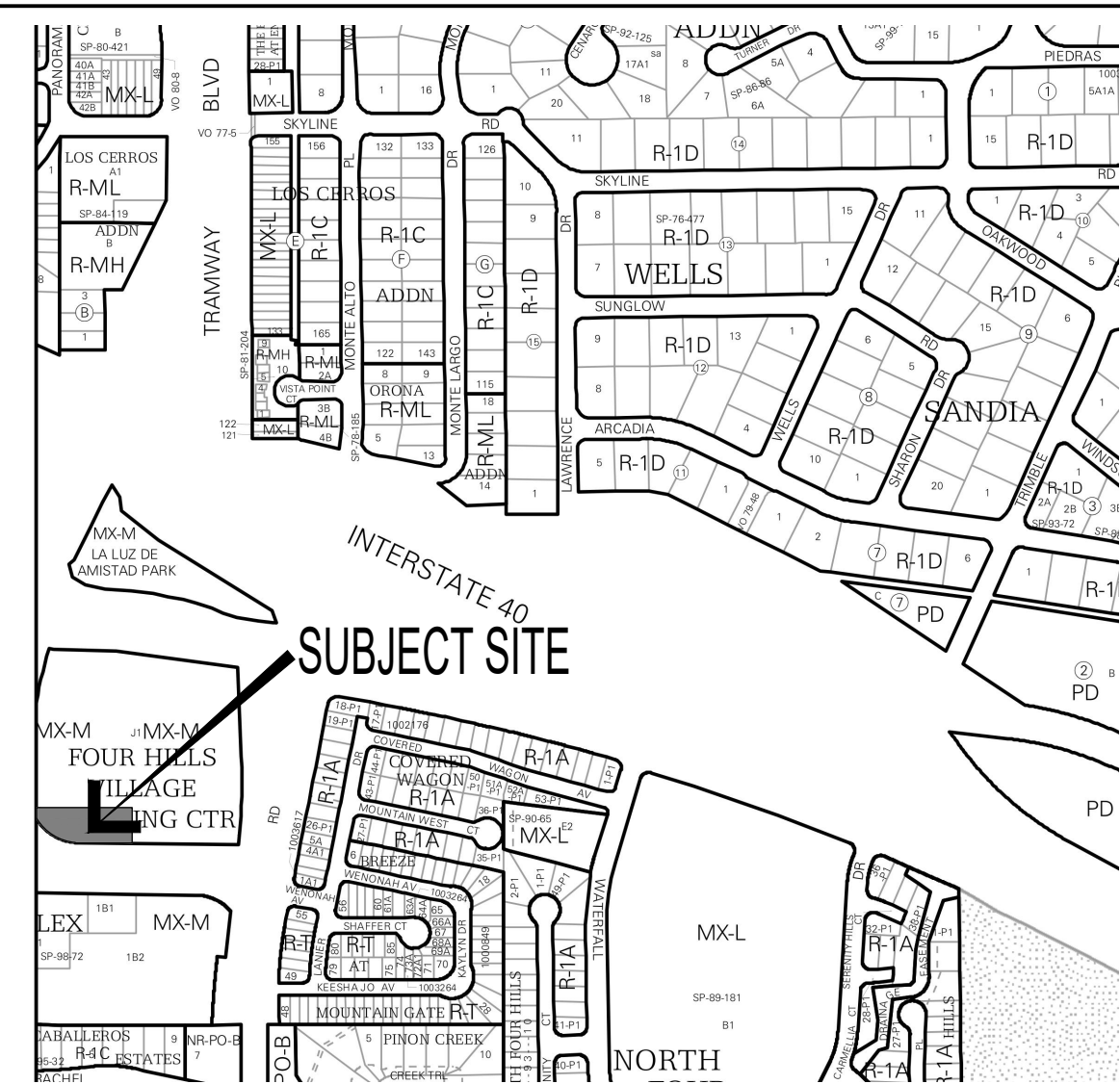
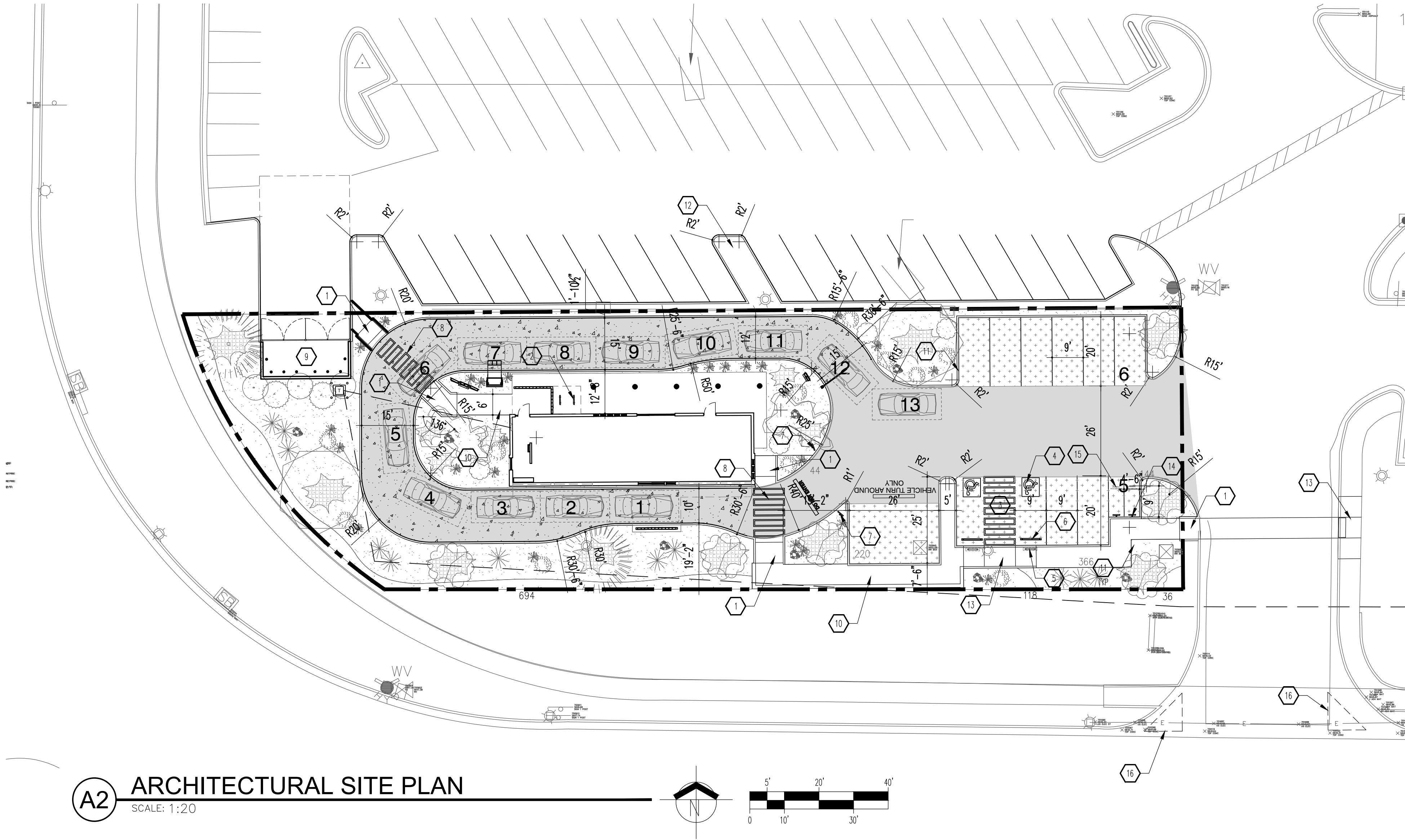
- NOTES**
- ON SITE FIRE LANE ROAD SHALL BE MARKED ON BOTH SIDES,
AS DIRECTED BY FIRE MARSHALL.
 - FIRE APPARATUS ACCESS ROADS SHALL NOT EXCEED 10 PERCENT
IN GRADE AND SHALL HAVE AN ALL WEATHER DRIVING SURFACE
CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS
WEIGHING AT LEAST 75000 LBS.
 - KEY BOX (KNOX BOX) SHALL BE MOUNTED BETWEEN 4 AND 6
FEET ABOVE GRADE AND SHALL BE ILLUMINATED.

LEGEND	
	CURB & GUTTER
	PROPERTY LINE
	BUILDING
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	FIRE ACCESS
	EXISTING HYDRANT
	FIRE MARKINGS



CAUTION
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM
RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED
BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE
CONTRACTOR TO CONDUCT ALL NECESSARY FIELD
INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION,
TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND
OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY
CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH
AND APPROVED BY THE ENGINEER.

	STARBUCKS AT TRAMWAY ALBUQUERQUE, NM	DRAWN BY PB
		DATE 6-5-2023
	FIRE ONE PLAN	DRAWING 2023047-F1
		SHEET # F1
	TERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrowestllc.com	JOB # 2023047



VICINITY MAP
Zone Atlas Map L-23-Z
NTS

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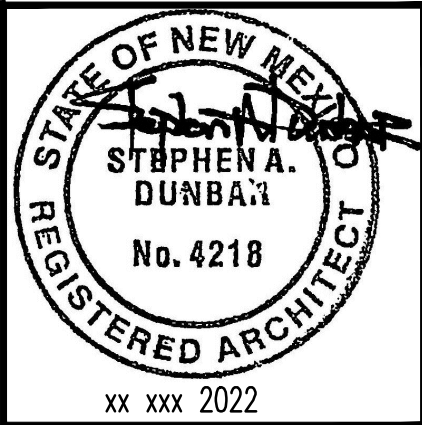
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REV	DATE	BY	REVISION
1			
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MODULUS ARCHITECTS
100 SUN AVENUE N.E., Ste 600
ALBUQUERQUE, NEW MEXICO 87109
PHONE (505) 338-1499 FAX (505) 338-1498



PROJECT TITLE		DRAWN BY:	
STARBUCKS - TRAMWAY		DIN	
200 TRAMWAY BLVD. NE		JOB NO.	
ALBUQUERQUE, NEW MEXICO 87123		SB-TRAMWAY	
PROJECT MANAGER		DEVIN NGUYEN	
SHEET TITLE		SITE PLAN	
DATE:		sheet-	
25 Jun 2023		AS101	
SCALE:		et.	
AS NOTED			