

DRAINAGE INFORMATION SHEET

PROJECT TITLE: Creekside East Subdivision ZONE ATLAS/DRNG, FILE #: L-23 / 117A
DRB #: 94-121 EPC #: 2-94-26 WORK ORDER #: _____
LEGAL DESCRIPTION: Tract J, North Four Hills
CITY ADDRESS: Carmellia and Narcissus

ENGINEERING FIRM:	<u>Mark Goodwin & Associates, PA</u>	CONTACT:	<u>Mark Goodwin, PE</u>
ADDRESS:	<u>P.O. Box 90606 87199</u>	PHONE:	<u>828-2200</u>
OWNER:	<u>Joe Boyden</u>	CONTACT:	<u>Joe Boyden</u>
ADDRESS:	<u>P.O. Box 199, Cedar Crest 87008</u>	PHONE:	<u>281-4368</u>
ARCHITECT:	<u>N/A</u>	CONTACT:	_____
ADDRESS:	_____	PHONE:	_____
SURVEYOR:	<u>Aldrich Land Surveying</u>	CONTACT:	<u>Tim Aldrich</u>
ADDRESS:	<u>P.O. Box 30701</u>	PHONE:	<u>884-1990</u>
CONTRACTOR:	<u>N/A</u>	CONTACT:	_____
ADDRESS:	_____	PHONE:	_____

TYPE OF SUBMITTAL:

CHECK TYPE OF APPROVAL SOUGHT:

☐ DRAINAGE REPORT
☒ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION
☐ OTHER

☐ SKETCH PLAT APPROVAL
☒ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. PLAN FOR BLDG PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☒ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATION OF OCCUPANCY APPROVAL
☒ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☐ OTHER _____ (Specify)

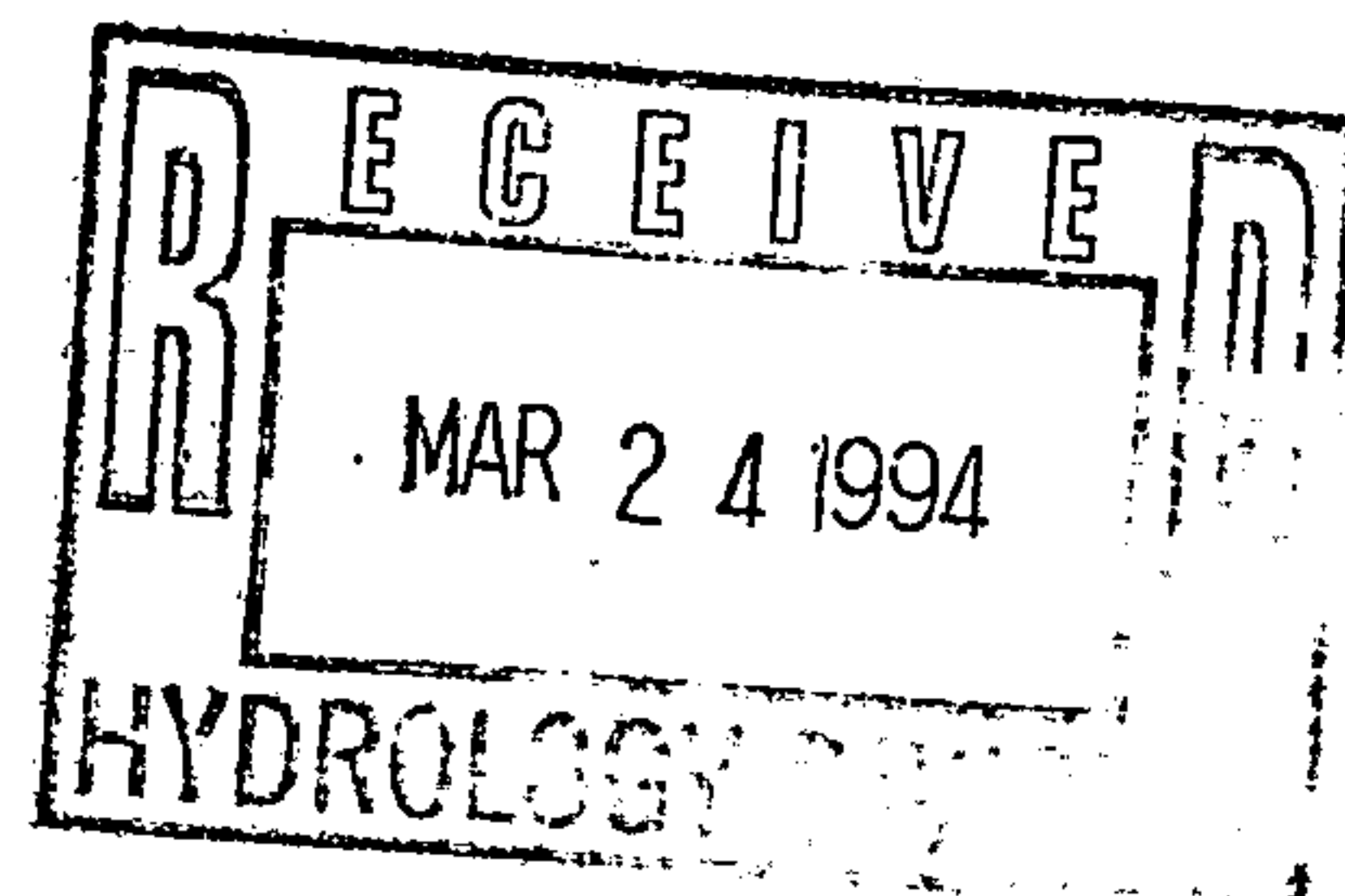
PRE-DESIGN MEETING:

☐ YES
☒ NO
☐ COPY PROVIDED

DATE SUBMITTED: 3/24/94

BY: _____

John M. MacKenzie
John M. MacKenzie





D. Mark Goodwin & Associates, P.A.
Consulting Engineers and Surveyors
P.O. BOX 90606, ALBUQUERQUE, NM 87199
(505) 828-2200

March 8, 1994

Mr. Morteza Jafari
North Four Hills Limited Partnership
10832 Prospect NE #F
Albuquerque, NM 87111

Re: **Tract J Off-Site Grading**

Dear Mr. Jafari:

As a result of the anticipated development of Tract J, North Four Hills, we find it necessary to request permission from you to perform related grading on Lot 1, Block 2, of the North Four Hills Subdivision for the benefit of the southern end of Tract J, as shown on the grading plan entitled "Creekside East" by Mark Goodwin and Associates, PA, dated February 1994.

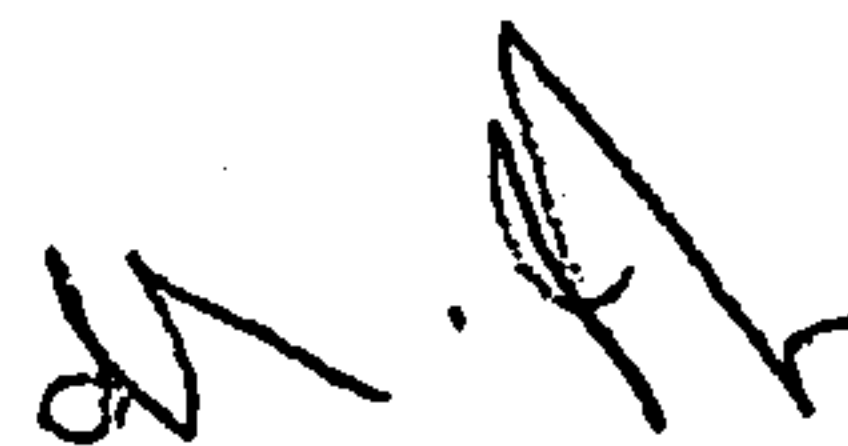
By signing this agreement, you have verified your position as title holder of Lot 20, Block 2, North Four Hills Subdivision, and that you grant permission to the future owner of Tract J to perform the referenced grading.

Sincerely,

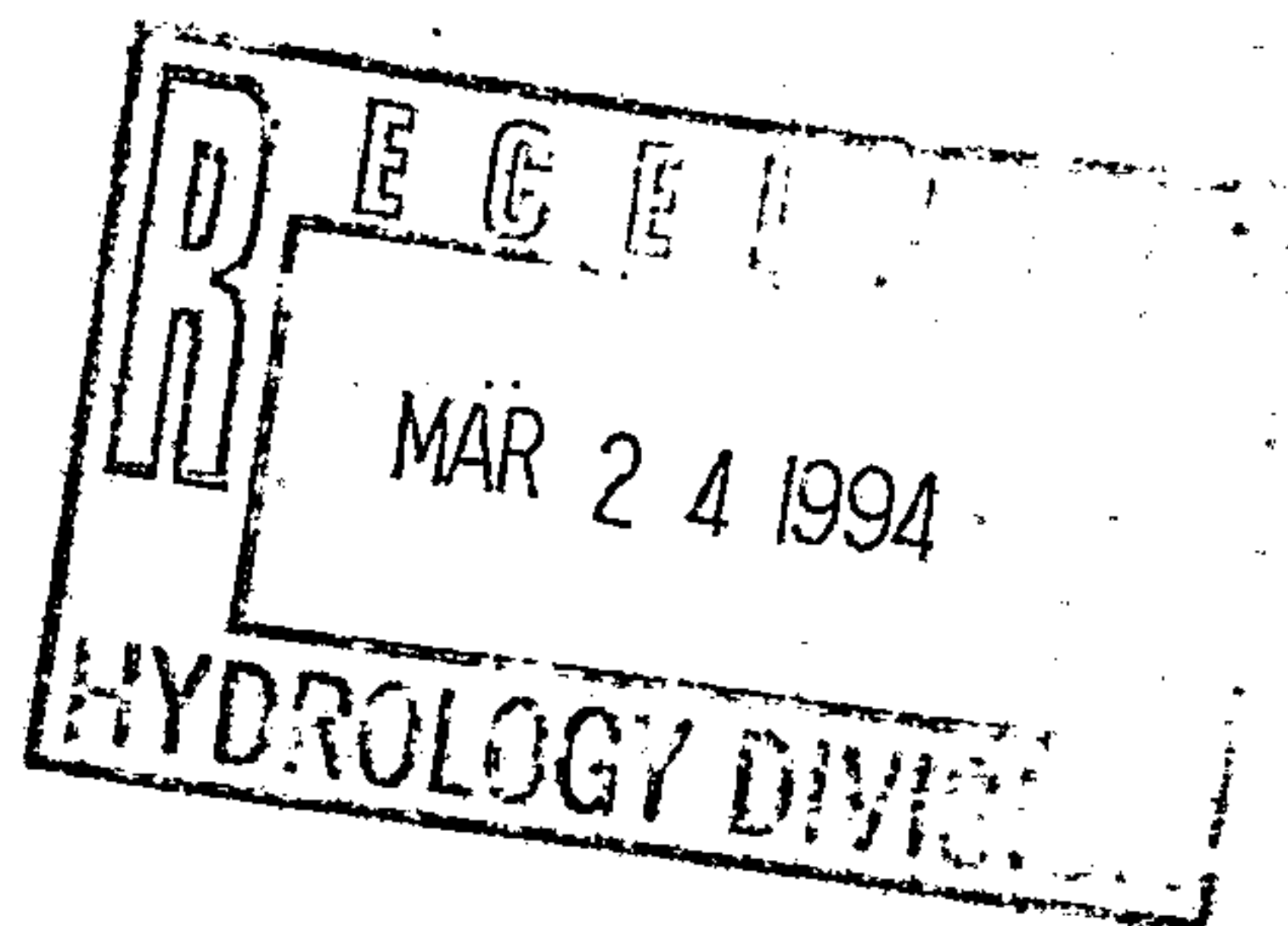
MARK GOODWIN & ASSOCIATES, P.A.

John M. MacKenzie, P.E.

JMM/smr

 3/10/94

Morteza Jafari / Date
Managing General Partner
North Four Hills Limited Partnership





D. MARK GOODWIN & ASSOC.
CONSULTING ENGINEERS

JOB Creekside East

SUBJECT Drainage

JOB NO. _____

SHEET 1 OF _____

BY JMM

DATE 3/23/94

CHECKED _____

DATE _____

REAR YARD PONDS

AHYMO was utilized to determine runoff quantities for the aggregate rear yards, exclusive of the wide drainage easement where no grading will occur on the west side. For lots 6-9, the rear yard is further divided into two separate basins.

Lot 9 - Upper Rear Yard Total upper rear yard = 0.31 Ac

Area = 0.0257 Ac

Volume generated (as a percentage of the total)
8.2% of 1.09 cfs and 1463 cu. ft. (see AHYMO)

Discharge

Q = 0.075 cfs

ponding volume req'd

V = 119 cu. ft.

Lot 9 - Lower Rear Yard Total lower rear yard = 0.32 Ac

Area = 0.0088 Ac, which is 27% of the AHYMO total for the aggregate lower rear yards of lots 6-9.

Discharge

Q = (0.12 cfs (27%)) = 0.032 cfs

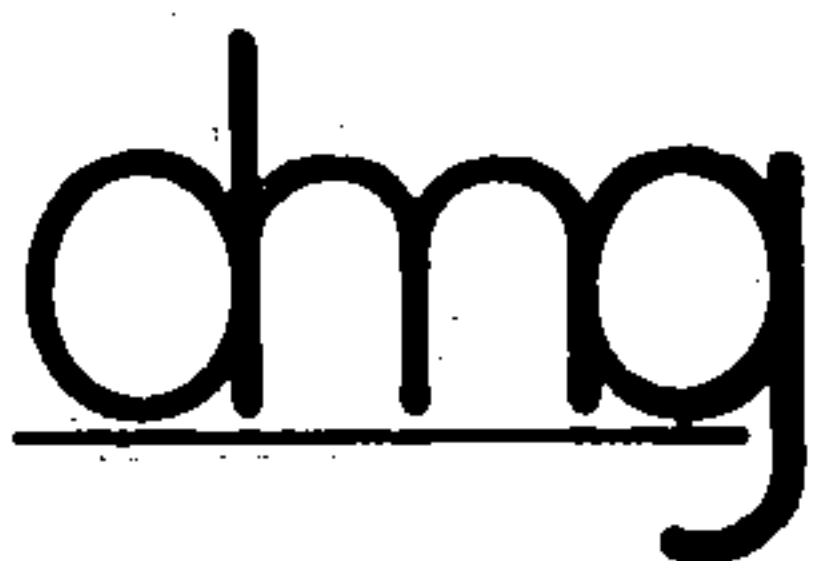
Volume

Vol. = (152 cu. ft.) (27%)

Vol. = 41.2 cu. ft.

MAR 24 1994

HYDROLOGY DIVISION



D. MARK GOODWIN & ASSOC.
CONSULTING ENGINEERS

JOB Creekside East
SUBJECT Drainage
JOB NO. _____ SHEET 2 OF _____
BY JMM DATE 3/23/94
CHECKED _____ DATE _____

Lots 6, 7 & 8 - Upper Rear Yard

Area = 0.0169 Ac. or 5.4% of aggregate total

$$Q = (1.09 \text{ cfs}) (5.4\%) = 0.06 \text{ cfs} \quad \text{Vol} = 1464 \text{ cu.ft. (5.4\%)}$$

$$\text{Vol} = 79 \text{ cu.ft.}$$

Lots 6, 7 & 8 - Lower Rear Yard

Area = 0.006 Ac. or 1.7% of aggregate total

$$Q = (0.12 \text{ cfs}) (1.7\%) \quad \text{Volume} = (152 \text{ cu.ft. (1.7\%)})$$

$$Q = 0.02 \text{ cfs} \quad \text{Volume} = 26 \text{ cu.ft.}$$

Lot 5 - Total Rear Yard

Area = 0.033 Ac. or 11.5% of total

$$Q = (1.09 \text{ cfs}) (10\%) = \quad \text{Volume} = 1464 \text{ cu.ft. (10\%)}$$

$$Q = 0.11 \text{ cfs} \quad \text{Volume} = 152 \text{ cu.ft.}$$

Lot 4 - Total Rear Yard

Area = 0.062 Ac. or 21.5% of total

$$Q = (1.09 \text{ cfs}) (20\%) \quad \text{Volume} = (1464 \text{ cu.ft. (20\%)})$$

$$Q = 0.21 \text{ cfs} \quad \text{Volume} = 288 \text{ cu.ft.}$$



D. MARK GOODWIN & ASSOC.
CONSULTING ENGINEERS

JOB Creekside East
SUBJECT Drainage
JOB NO. _____
BY JMM
CHECKED _____
SHEET 3 OF _____
DATE 3/23/94
DATE _____

Lot 3 Total Rear Yard

Area = 0.07 Ac or 23.4% of total

$Q = 1.09$ (23.4%)

Volume = 1464 ft³ (23.4%)

$Q = 0.26$ cfs

Volume = 342 cu ft

Lot 2 Total Rear Yard Pond

Area = 0.052 Ac or 18.6% of total

$Q = 1.09$ (18.6%)

Volume = 1464 (18.6%)

$Q = 0.20$ cfs

Volume = 272 cu ft



D. MARK GOODWIN & ASSOC.
CONSULTING ENGINEERS

JOB Creekside East
SUBJECT Drainage
JOB NO. _____ SHEET 4 OF _____
BY JMM DATE _____
CHECKED _____ DATE _____

REAR YARD PONDING PROVIDED

Lot 9 - Upper Rear Yard

The area of this pond is approximately 121 ft^2 .
At a depth of 2 feet, the potential volume is 121 ft^3 .
(119 ft^3 is req'd)

Lot 9 - Lower Rear Yard

The area of this pond is approximately 117.5 ft^2 .
At a depth of 12 in, the potential capacity is 59 ft^3 .
(41.2 ft^3 is req'd)

Lots 6, 7 & 8 Upper Rear Yard

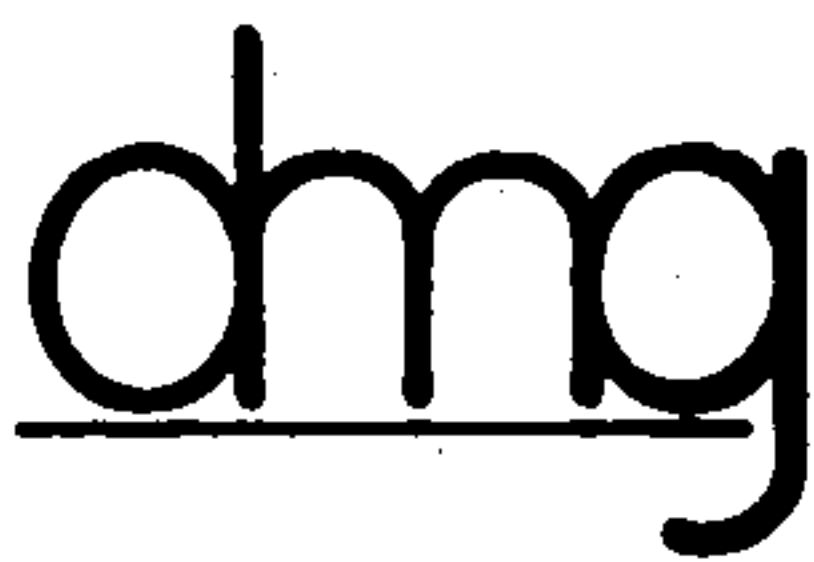
The area of these ponds is 123 ft^2 each. At a depth of 1.3 ft, these ponds can retain 80 ft^3 each.
(79 ft^3 is req'd)

Lots 6, 7 & 8 - Lower Rear Yards

At $2' \times 41'$, the surface area of this pond is 82 ft^2 , at a depth of 0.67'. The capacity of this pond is 27.5 ft^3 .
(26 ft^3 is req'd)

Lot 5 - Total Rear Yard

At $23' \times 12'$ this triangular shaped ponding area has a surface area of 138 ft^2 . At a depth of 2 ft, the capacity of this pond is 171 ft^3 .
(152 ft^3 is req'd)



D. MARK GOODWIN & ASSOC.

CONSULTING ENGINEERS

JOB Creekside East
SUBJECT Drainage
JOB NO. _____ SHEET 5 OF _____
BY JMM DATE 3/23/94
CHECKED _____ DATE _____

REAR YARD PONDING PROVIDED

Lot 4 - total Rear yard

At $34' \times 17'$, this triangular shaped pond has an area of 289 ft^2 . At a depth of $2'$, this pond has a capacity of 311 ft^3 .
(288 ft^3 is req'd)

Lot 3 - Total Rear Yard

At $36' \times 21'$, this triangular shaped pond has an area of 408 ft^2 . At a depth of $2'$, this pond has a capacity of 408 ft^3 .
(342 ft^3 is req'd)

Lot 2 - Total Rear Yard

At $30' \times 18'$, this triangular shaped pond has an area of 270 ft^2 . At a depth of $2'$, this pond has a capacity of 286 ft^3 .
(272 ft^3 is req'd)

RUN DATE (MON/DAY/YR) = 03/17/1994

START TIME (HR:MIN:SEC) = 11:00:50

USER NO. = Z_GOODWN.S92

INPUT FILE = CRKE.DAT

START TIME=0.0

***** HYDROGRAPH FOR CREEKSIDE EAST

RAINFALL

TYPE=1 RAIN QUARTER=0.0 IN

RAIN ONE=2.14 IN RAIN SIX=2.60 IN

RAIN DAY=3.10 IN DT=0.03333 HR

COMPUTED 6-HOUR RAINFALL DISTRIBUTION BASED ON NOAA ATLAS 2 - PEAK AT 1.40 H

R.

DT = .033330 HOURS END TIME = 5.999400 HOURS

.0000	.0027	.0055	.0084	.0113	.0143	.0173
.0204	.0236	.0269	.0302	.0337	.0372	.0408
.0445	.0484	.0523	.0564	.0606	.0649	.0694
.0741	.0789	.0839	.0892	.0946	.1003	.1063
.1126	.1192	.1262	.1322	.1385	.1452	.1597
.1922	.2422	.3139	.4119	.5407	.7049	.9093
1.1588	1.3904	1.4871	1.5687	1.6414	1.7074	1.7683
1.8247	1.8775	1.9270	1.9735	2.0174	2.0589	2.0982
2.1854	2.1707	2.2041	2.2359	2.2661	2.2737	2.2807
2.2875	2.2939	2.3001	2.3060	2.3117	2.3172	2.3226
2.3277	2.3328	2.3376	2.3423	2.3470	2.3514	2.3558
2.3601	2.3643	2.3683	2.3723	2.3762	2.3801	2.3838
2.3875	2.3911	2.3947	2.3982	2.4016	2.4050	2.4083
2.4115	2.4147	2.4179	2.4210	2.4241	2.4271	2.4301
2.4330	2.4359	2.4388	2.4416	2.4444	2.4472	2.4499
2.4526	2.4553	2.4579	2.4605	2.4631	2.4656	2.4681
2.4706	2.4731	2.4755	2.4779	2.4803	2.4827	2.4850
2.4873	2.4896	2.4919	2.4942	2.4964	2.4986	2.5008
2.5030	2.5052	2.5073	2.5094	2.5115	2.5136	2.5157
2.5177	2.5198	2.5218	2.5238	2.5258	2.5277	2.5297
2.5317	2.5336	2.5355	2.5374	2.5393	2.5412	2.5430
2.5449	2.5467	2.5486	2.5504	2.5522	2.5540	2.5557
2.5575	2.5593	2.5610	2.5627	2.5645	2.5662	2.5679
2.5696	2.5713	2.5729	2.5746	2.5762	2.5779	2.5795
2.5811	2.5828	2.5844	2.5860	2.5876	2.5891	2.5907
2.5923	2.5938	2.5954	2.5969	2.5984	2.6000	

***** HYDROGRAPH FOR BASIN A - AREA BETWEEN BACK OF HOUSE AND THE STREET

COMPUTE NM HYD

ID=1 HYD NO=101.1 AREA=0.001019 SQ MI

PER A=0.0 PER B=20.0 PER C=0.0 PER D=80.0

TP=0.1333 HR MASS RAINFALL=-1

K = .072649HR TP = .133300HR K/TP RATIO = .545000 SHAPE CONSTANT, N =

7.106420

UNIT PEAK = 3.2185 CFS UNIT VOLUME = .9961 B = 526.28 P60 = 2.14

00

AREA = .000815 SQ MI IA = .10000 INCHES INF = .04000 INCHES PER HOUR

RUNOFF COMPUTED BY INITIAL ABSTRACTION/INFILTRATION NUMBER METHOD - DT = .033330

K = .133656HR TP = .133300HR K/TP RATIO = 1.002670 SHAPE CONSTANT, N =

3.520804

UNIT PEAK = .49206 CFS UNIT VOLUME = .9733 B = 321.84 P60 = 2.14

00

AREA = .000204 SQ MI IA = .50000 INCHES INF = 1.25000 INCHES PER HOUR

RUNOFF COMPUTED BY INITIAL ABSTRACTION/INFILTRATION NUMBER METHOD - DT = .033330

PRINT HYD ID=1 CODE=1

K = .133656HR TP = .133300HR K/TP RATIO = 1.002670 SHAPE CONSTANT, N =

UNIT PEAK = .49206 CFS UNIT VOLUME = .9733 B = 321.84 P60 = 2.14

AREA = .000204 SQ MI IA = .50000 INCHES INF = 1.25000 INCHES PER HOUR

RUNOFF COMPUTED BY INITIAL ABSTRACTION/INFILTRATION NUMBER METHOD - DT = .033330

PRINT HYD ID=1 CODE=1

PARTIAL HYDROGRAPH 101.10

RUNOFF VOLUME = 2.06841 INCHES = 0.1124 ACRE-Feet

PEAK DISCHARGE RATE = 2.97 CFS AT 1.500 HOURS BASIN AREA = .0010 SQ. MI.

***** HYDROGRAPH FOR BASIN B - REAR YARDS BETWEEN HOUSE AND THE 1ST WALL

COMPUTE NM HYD ID=2 HYD NO=101.2 AREA=0.000489 SQ MI

PER A=0.0 PER B=0.0 PER C=100.0 PER D=0.0

TP=0.1333 HR MASS RAINFALL=-1

K = .108912HR TP = .133300HR K/TP RATIO = .817047 SHAPE CONSTANT, N =

UNIT PEAK = 1.3917 CFS UNIT VOLUME = .9907 B = 379.38 P60 = 2.14

AREA = .000489 SQ MI IA = .35000 INCHES INF = .83000 INCHES PER HOUR

RUNOFF COMPUTED BY INITIAL ABSTRACTION/INFILTRATION NUMBER METHOD - DT = .033330

PRINT HYD ID=2 CODE=1

PARTIAL HYDROGRAPH 101.20

RUNOFF VOLUME = 1.29002 INCHES = 0.0336 ACRE-Feet

PEAK DISCHARGE RATE = 1.09 CFS AT 1.500 HOURS BASIN AREA = .0005 SQ. MI.

***** HYDROGRAPH FOR BASIN C - REAR YARD AREAS BETWEEN RETAINING WALLS

COMPUTE NM HYD ID=3 HYD NO=101.3 AREA=0.000051 SQ MI

PER A=0.0 PER B=0.0 PER C=100.0 PER D=0.0

TP=0.1333 HR MASS RAINFALL=-1

K = .108912HR TP = .133300HR K/TP RATIO = .817047 SHAPE CONSTANT, N =

UNIT PEAK = .14515 CFS UNIT VOLUME = .9089 B = 379.38 P60 = 2.14

AREA = .000051 SQ MI IA = .35000 INCHES INF = .83000 INCHES PER HOUR

RUNOFF COMPUTED BY INITIAL ABSTRACTION/INFILTRATION NUMBER METHOD - DT = .033330

PRINT HYD ID=3 CODE=1

PARTIAL HYDROGRAPH 101.30

RUNOFF VOLUME = 1.29002 INCHES = 0.0035 ACRE-Feet

PEAK DISCHARGE RATE = 1.12 CFS AT 1.500 HOURS BASIN AREA = .0001 SQ. MI.

FINISH

NORMAL PROGRAM FINISH

END TIME (HR:MIN:SEC) = 11:00:55

DRAINAGE INFORMATION SHEET

PROJECT TITLE: Crecksides East Subdivision ZONE ATLAS/DRNG, FILE #: L-23 / 1817A
DRB #: _____ EPC #: Z-94-26 WORK ORDER #: _____
LEGAL DESCRIPTION: Tract J, North Four Hills
CITY ADDRESS: Carmellia and Narcissus

ENGINEERING FIRM: <u>Mark Goodwin & Associates, PA</u>	CONTACT: <u>Mark Goodwin, PE</u>
ADDRESS: <u>P.O. Box 90606</u>	PHONE: <u>828-2200</u>
OWNER: <u>Joe Boyden</u>	CONTACT: <u>Joe Boyden</u>
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ARCHITECT: <u>N/A</u>	CONTACT: _____
ADDRESS: _____	PHONE: _____
SURVEYOR: <u>Aldrich Land Surveying</u>	CONTACT: <u>Tim Aldrich</u>
ADDRESS: <u>P.O. Box 30701</u>	PHONE: <u>884-1990</u>
CONTRACTOR: <u>N/A</u>	CONTACT: _____
ADDRESS: _____	PHONE: _____

TYPE OF SUBMITTAL:

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☒ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
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☐ ENGINEER'S CERTIFICATION
☐ OTHER

PRE-DESIGN MEETING:

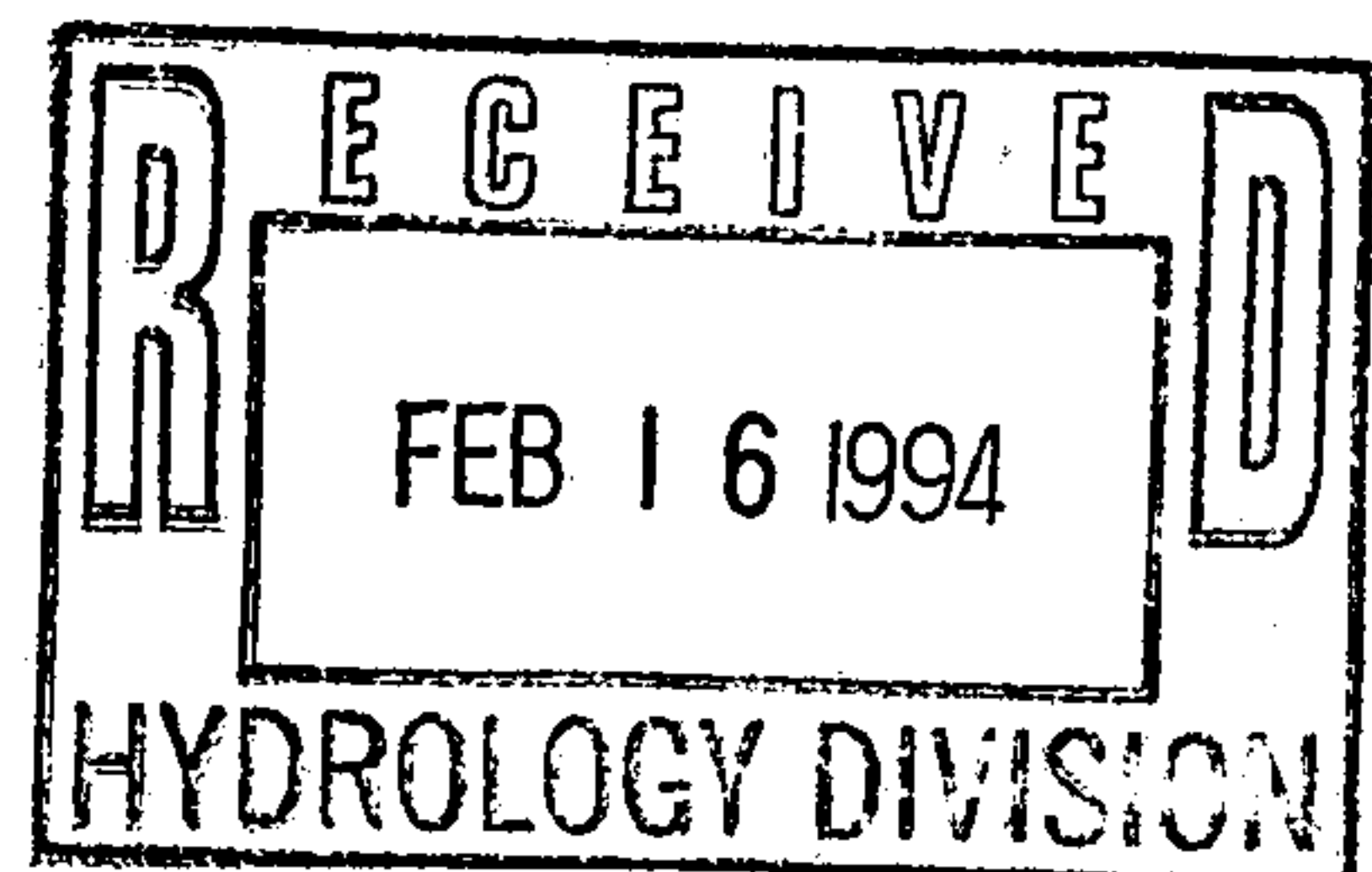
☐ YES
☒ NO
☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

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☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☐ OTHER _____ (Specify)

DATE SUBMITTED: 2/16/94

BY: Mark Goodwin
Mark Goodwin, PE





D. Mark Goodwin & Associates, P.A.
Consulting Engineers and Surveyors
P.O. BOX 90606, ALBUQUERQUE, NM 87199
(505) 345-2010

November 25, 1994

Mr. Scott Davis
City of Albuquerque PWD
Hydrology Division
PO Box 1293
Albuquerque, NM 87103

Re: ENGINEER'S CERTIFICATION FOR CREEKSIDE EAST SUBDIVISION
(L-23/17A) WITH ENGINEER'S STAMP DATED 11/25/94.

Dear Mr. Davis:

My apologies for not making this previous submittal's detail more clear as indicated in your letter to me dated 11/21/94.

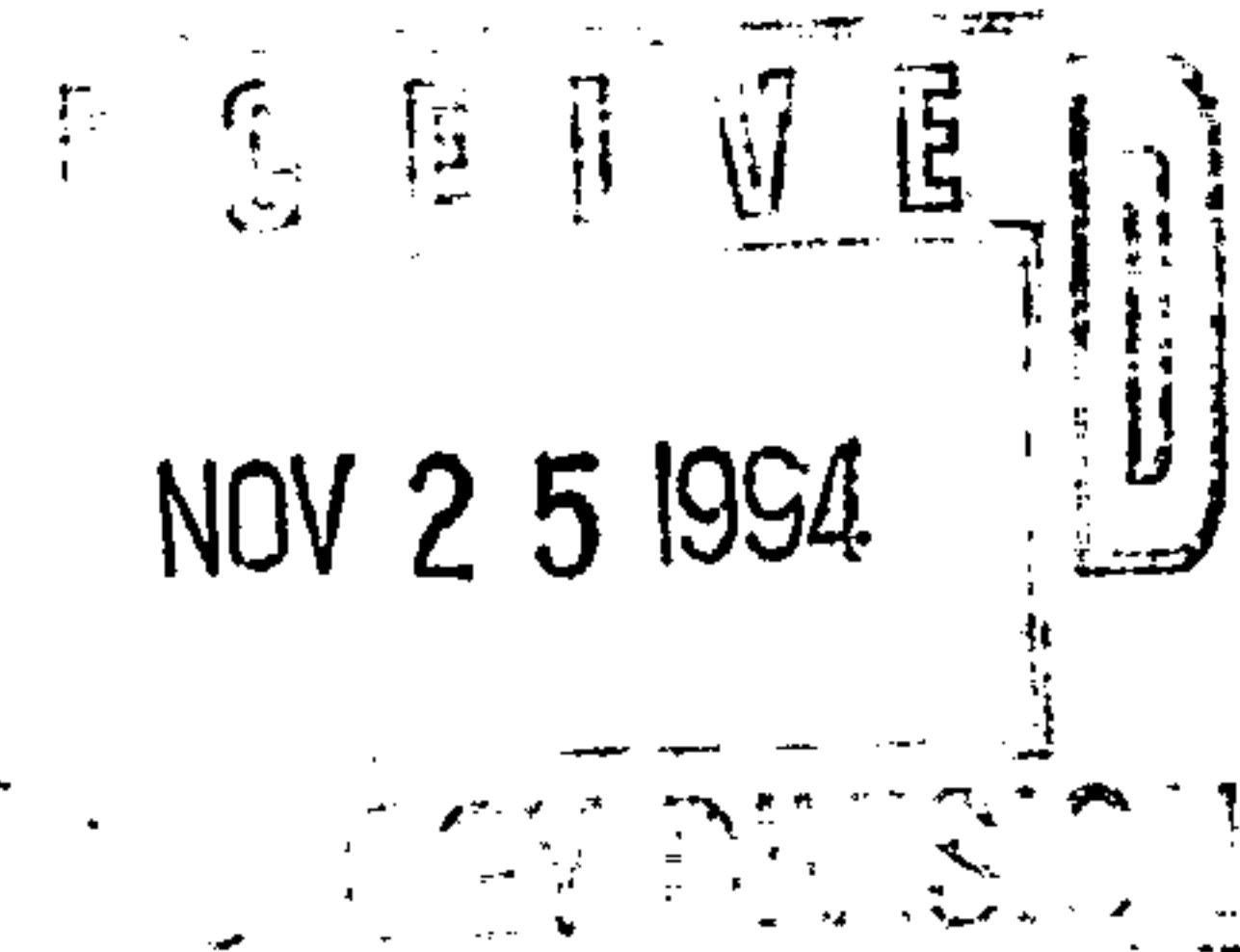
1. Fill has since been placed in the side yard between lots 5 & 6 so that roof discharge will follow a more positive flow path toward the street.
2. Previously I insufficiently identified only single as-built retaining wall elevations to demonstrate individual ponding sections and capacities. Remeasurement of ponding depths on-site has enabled me to add a second elevation to each of the previous as-built spots to confirm that adequate ponding capacities exist below the tops of each retaining wall.

Please contact me if you would like to receive further information on this resubmittal.

Sincerely,

MARK GOODWIN AND ASSOCIATES, P.A.

John M. MacKenzie, P.E.





City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

February 8, 1994

Mark Goodwin
Mark Goodwin & Associates, PA
P.O. Box 90606
Albuquerque, NM 87199

RE: RESUBMITTAL FOR SITE DEVELOPMENT PLAN APPROVAL, CREEKSIDE EAST
SUBDIVISION (L-23/D17A) ENGINEER'S STAMP DATED 2/4/94

Dear Mr. Goodwin:

Having reviewed your resubmittal made on 2/4/94, several outstanding issues remain unresolved which will need to be addressed prior to obtaining Hydrology Division approval. My concerns include:

1. Your plan shows considerable grading being done on the adjacent parcel. Written permission will have to be obtained from that property owner.
2. The maximum allowable slope on your site is 3:1. This includes the area between the retaining walls shown.
3. Unless the site is graded such that the entire lot can drain to the front, backyard ponds will be required for storm waters falling in the backyards. These flows will not be allowed to cascade over the retaining walls as shown. The backyard ponds must be a minimum of 15' from the dwelling units.
4. Although your plan now includes a note indicating that no work is to be performed in the drainage easement behind several lots, it should be clear to the contractor that this applies to the entire site.
5. For safety reasons, I recommend that a garden wall be called for on top of the uppermost retaining wall.
6. Although not a City requirement, please keep in mind that HUD does require that you provide for a "usable" backyard. Specifically, for a distance of 10', the maximum fall is 6".

If you have any questions concerning my comments feel free to call me at 768-3622.

Sincerely,

Scott Davis
PWD, Hydrology Division

(wp+8265)
c: File

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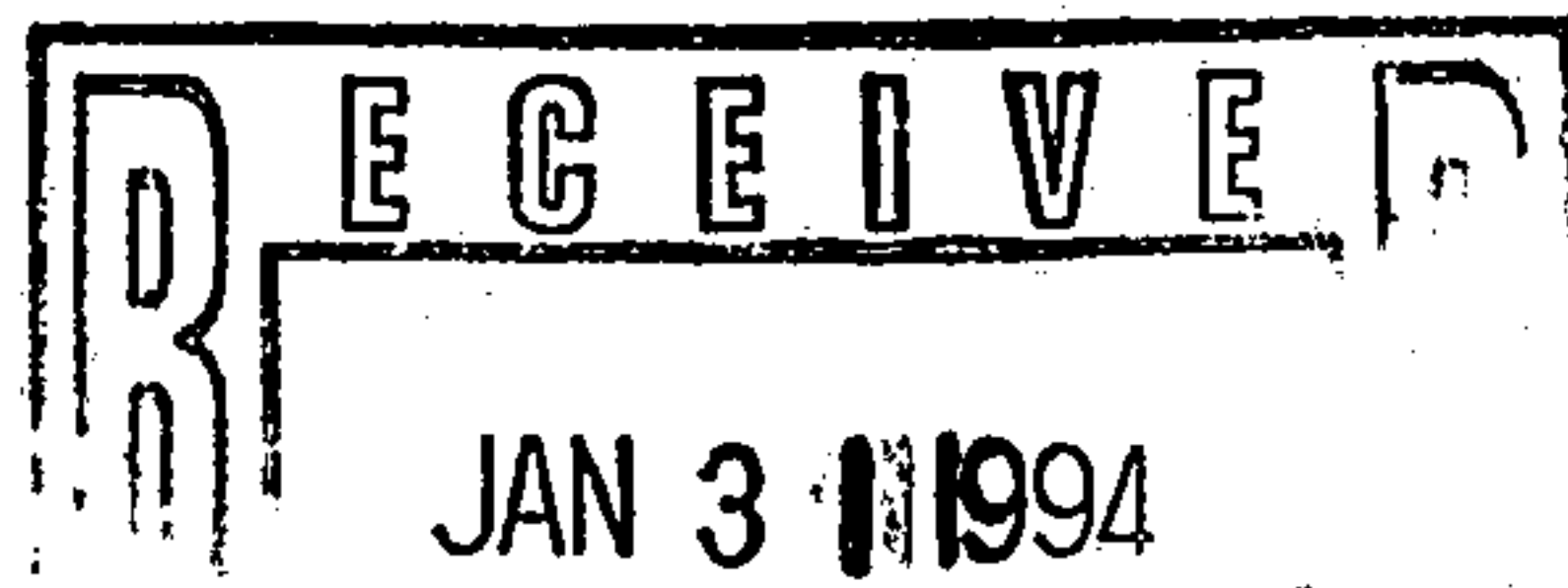
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DATE SUBMITTED: 1/31/94

BY: Mark Goodwin
Mark Goodwin, PE



3Y



D. Mark Goodwin & Associates, P.A.
Consulting Engineers and Surveyors
P.O. BOX 90606, ALBUQUERQUE, NM 87199
(505) 828-2200

February 16, 1994

Mr. Scott Davis
PWD, Hydrology Division
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87199

Re: Site Development Plan for Creekside East (L-23/D17A)

Dear Mr. Davis:

I offer the following replies to your comments received February 10, 1994:

1. The applicant owns the adjacent lot to the south. A written agreement can be obtained.
2. The maximum slope has been changed to 3:1 throughout.
3. Rear yard ponds are shown on all lots where the rear yards cannot drain to the street. ~~A later soils report will provide guidelines for placement of these ponds relative to structures.~~
4. The "no grading permitted" has been added to the plan on all easement areas.
5. Note No. 6 calls out for garden walls on top of the retaining walls.
6. The developer understands that HUD will not be able to provide financing on these homes.

Whatever comments or conditions are imposed upon this proposed development, we intend to work with you in an effort to resolve any of these issues to your complete satisfaction. Please contact me if you have any further questions.

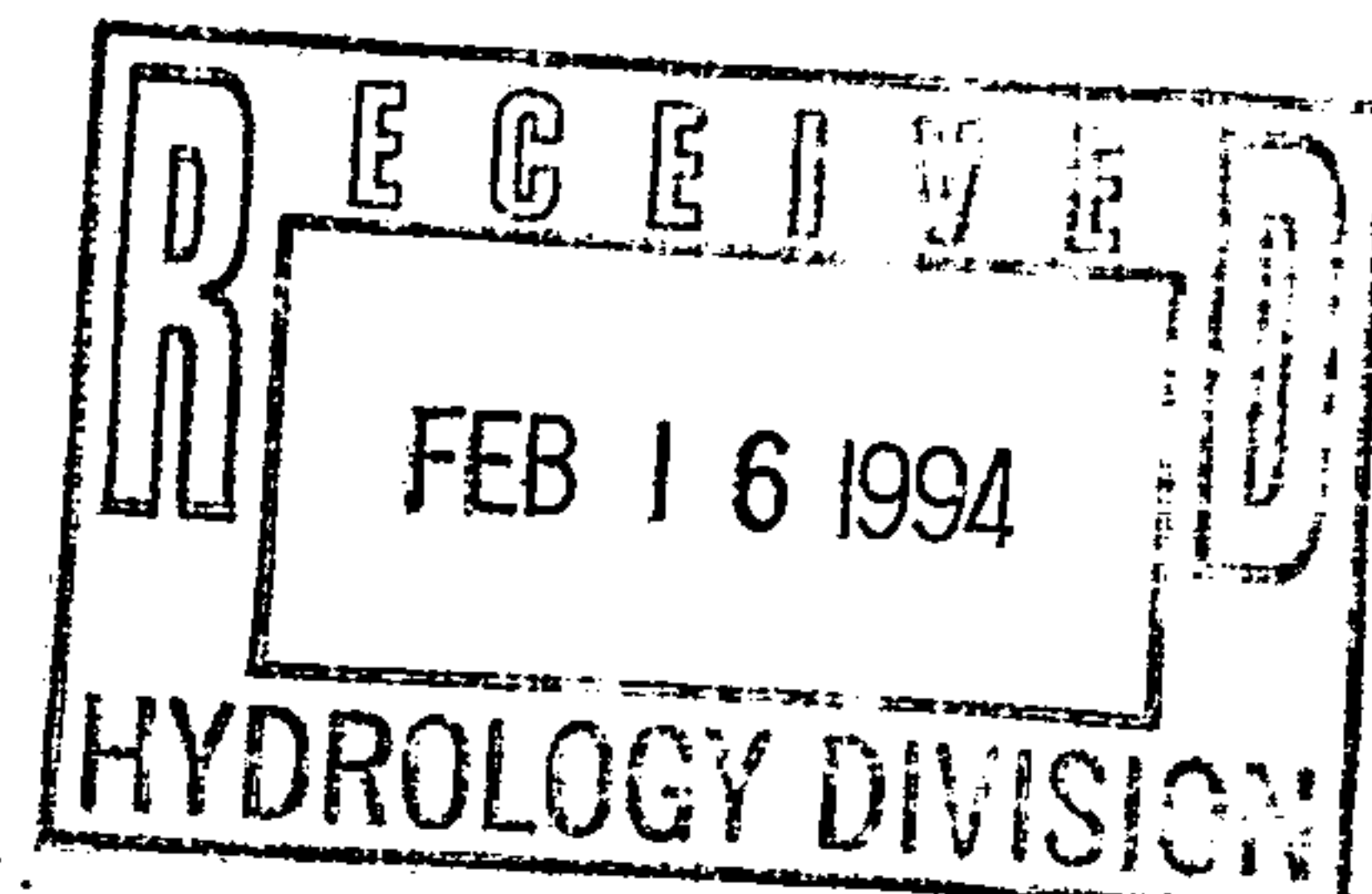
Sincerely,

MARK GOODWIN & ASSOCIATES, P.A.

John M. MacKenzie, P.E.

JMM/smr

Attachment





City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

March 29, 1994

Mr. Mark Goodwin
Mark Goodwin & Associates, PA
P.O. Box 90606
Albuquerque, NM 87199

RE: DRAINAGE & GRADING PLAN FOR CREEKSIDE EAST SUBDIVISION (L-23/D17A)
ENGINEER'S STAMP DATED 3/24/94

Dear Mr. Goodwin:

Based upon your resubmittal received by this office on 3/24/94, the referenced project is approved for Preliminary Plat, Final Plat and Grading Permit. Please keep in mind that prior to commencing with the actual grading of the site a Topsoil Disturbance Permit is required from Environmental Health.

If I can be of further assistance, feel free to contact me at 768-3622.

Sincerely,

Scott Davis
PWD, Hydrology Division

(WP+8265)

c: Larry Caudill
File



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

February 23, 1994

Mark Goodwin
Mark Goodwin & Associates, PA
P.O. Box 90606
Albuquerque, NM 87199

RE: RESUBMITTAL FOR SITE DEVELOPMENT PLAN APPROVAL, CREEKSIDE EAST
SUBDIVISION (L-23/D17A) ENGINEER'S STAMP DATED 2/16/94

Dear Mr. Goodwin:

Having reviewed the materials contained within your 2/16/94 resubmittal, I am able to authorize at this time Site Development Plan approval.

Sincerely

Scott Davis
PWD, Hydrology Division

(WP+8265)

c: **File**

DRAINAGE INFORMATION SHEET

PROJECT TITLE: Creekside East Subdivision ZONE ATLAS/DRNG, FILE #: L-23/017A
 DRB #: 94-121 EPC #: 2-94-26 WORK ORDER #: _____
 LEGAL DESCRIPTION: Tract J, North Four Hills
 CITY ADDRESS: Carmellia and Narcissus

ENGINEERING FIRM: <u>Mark Goodwin & Associates, PA</u>	CONTACT: <u>Mark Goodwin, PE</u>
ADDRESS: <u>P.O. Box 90606</u>	PHONE: <u>828-2200</u>
OWNER: <u>Joe Boyden</u>	CONTACT: <u>Joe Boyden</u>
ADDRESS: <u>P.O. Box 199, Cedar Crest 87008</u>	PHONE: <u>281-4368</u>
ARCHITECT: <u>N/A</u>	CONTACT: _____
ADDRESS: _____	PHONE: _____
SURVEYOR: <u>Aldrich Land Surveying</u>	CONTACT: <u>Tim Aldrich</u>
ADDRESS: <u>P.O. Box 30701</u>	PHONE: <u>884-1990</u>
CONTRACTOR: <u>N/A</u>	CONTACT: _____
ADDRESS: _____	PHONE: _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☐ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERTIFICATION
☐ OTHER

PRE-DESIGN MEETING:

☐ YES
☒ NO
☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. PLAN FOR BLDG PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☒ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATION OF OCCUPANCY APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☐ OTHER _____ (Specify)

DATE SUBMITTED: 11/4/94

BY: John M. MacKenzie
John M. MacKenzie

RECEIVED
 NOV 7 1994

DRAINAGE INFORMATION SHEET

PROJECT TITLE: Creekside East Subdivision ZONE ATLAS/DRNG, FILE #: L-23 / 017A
DRB #: 94-121 EPC #: 2-94-26 WORK ORDER #: _____
LEGAL DESCRIPTION: Tract J, North Four Hills
CITY ADDRESS: Carmellia and Narcissus

ENGINEERING FIRM: <u>Mark Goodwin & Associates, PA</u>	CONTACT: <u>Mark Goodwin, PE</u>
ADDRESS: <u>P.O. Box 90606</u>	PHONE: <u>828-2200</u>
OWNER: <u>Joe Boyden</u>	CONTACT: <u>Joe Boyden</u>
ADDRESS: <u>P.O. Box 199, Cedar Crest 87008</u>	PHONE: <u>281-4368</u>
ARCHITECT: <u>N/A</u>	CONTACT: _____
ADDRESS: _____	PHONE: _____
SURVEYOR: <u>Aldrich Land Surveying</u>	CONTACT: <u>Tim Aldrich</u>
ADDRESS: <u>P.O. Box 30701</u>	PHONE: <u>884-1990</u>
CONTRACTOR: <u>N/A</u>	CONTACT: _____
ADDRESS: _____	PHONE: _____

TYPE OF SUBMITTAL:

CHECK TYPE OF APPROVAL SOUGHT:

☐ DRAINAGE REPORT
☐ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERTIFICATION
☐ OTHER

☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. PLAN FOR BLDG PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☒ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATION OF OCCUPANCY APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☐ OTHER _____ (Specify)

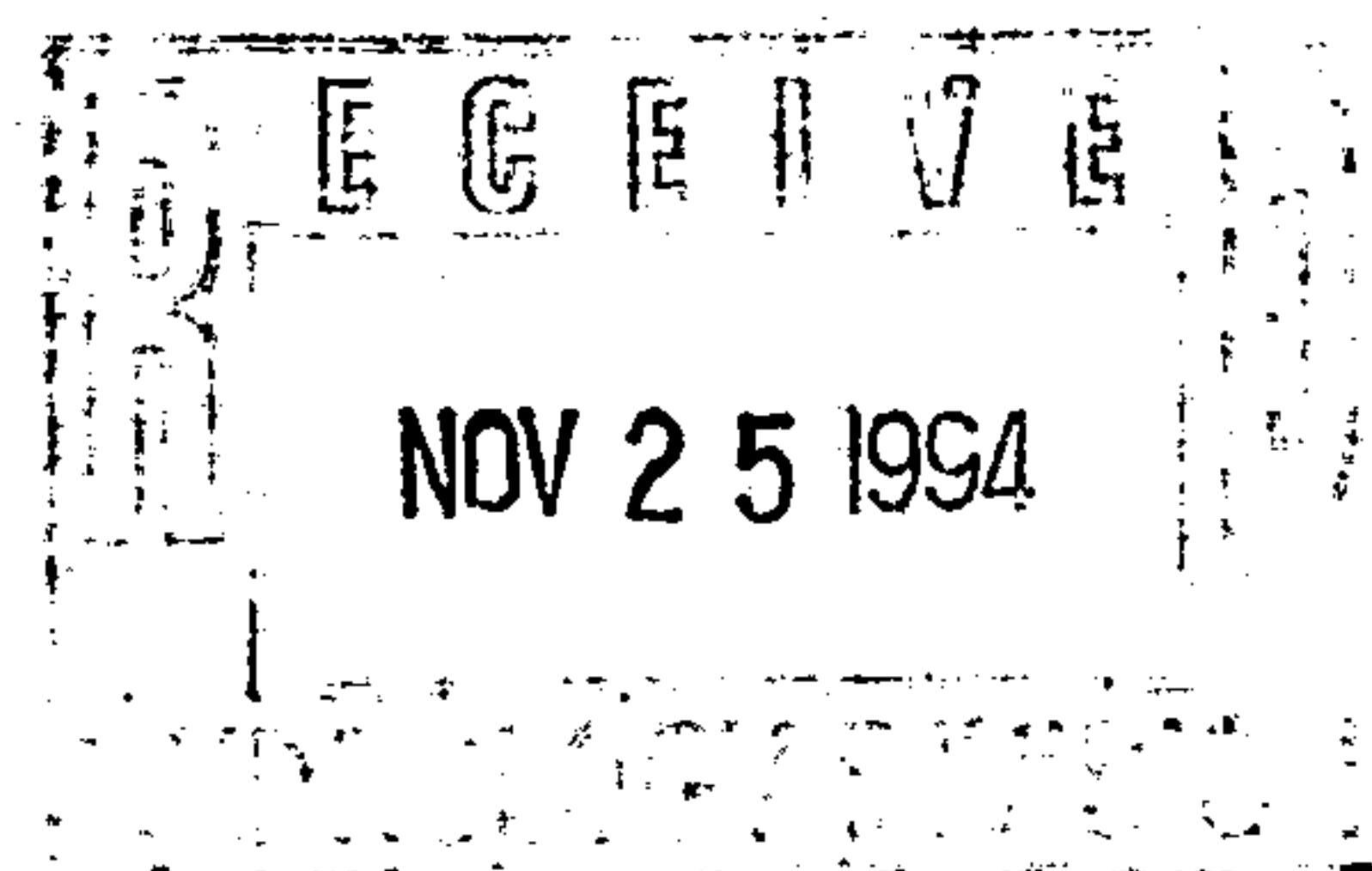
PRE-DESIGN MEETING:

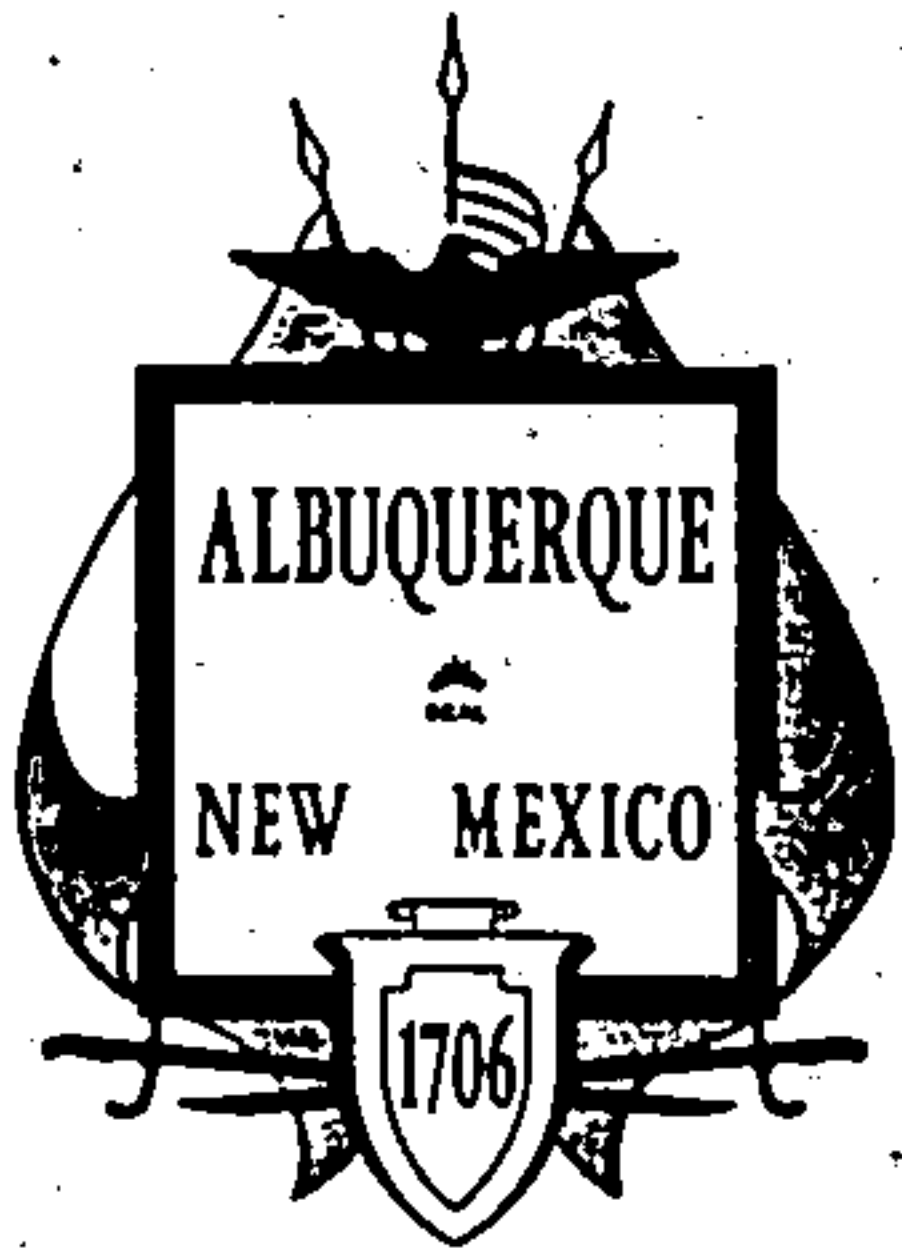
☐ YES
☒ NO
☐ COPY PROVIDED

DATE SUBMITTED: 11/25/94

BY: _____

John M. MacKenzie
John M. MacKenzie





City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

November 21, 1994

John M. MacKenzie PE
Mark Goodwin & Assoc. PA
PO Box 90606
Albuquerque, NM 87199

RE: ENGINEER'S CERTIFICATION FOR CREEKSIDE EAST SUBDIVISION (L-23/D17A)
ENGINEER'S STAMP DATED 11/4/94

Dear Mr. MacKenzie:

Based upon your 11/7/94 submittal, several concerns will need to be addressed prior to approving the Engineer's Certification for the referenced project.

1. The side yard between Lots 5 & 6 is essentially flat from back to front. If left as is, water flowing from the roof areas has no place to discharge to. Please address this situation regarding how the situation can be remedied.
2. The as-built cross-sections of the retaining walls shows that it has not been constructed per plan. On the uphill side of each wall, your detail shows a 1' lip to allow for ponding behind each wall. It appears that as constructed, the dirt is higher than the top of wall and thus no ponding can occur behind the walls. As you are aware, the ponding areas behind the walls was essential in approving your plan. Please see to it that this situation is corrected.

After these corrections are made, I would be happy to review your resubmittal.

If I can be of further assistance, feel free to contact me at 768-3622.

Cordially,

Scott Davis
PWD, Hydrology Division

c: Andrew Garcia
File



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

January 28, 1994

Mark Goodwin
Mark Goodwin & Associates, PA
P.O. Box 90606
Albuquerque, NM 871--

RE: SITE DEVELOPMENT PLAN FOR SUBDIVISION APPROVAL FOR CREEKSIDE EAST
SUBDIVISION (L-23/D17A) ENGINEER'S STAMP DATED 12/23/93

Dear Mr. Goodwin:

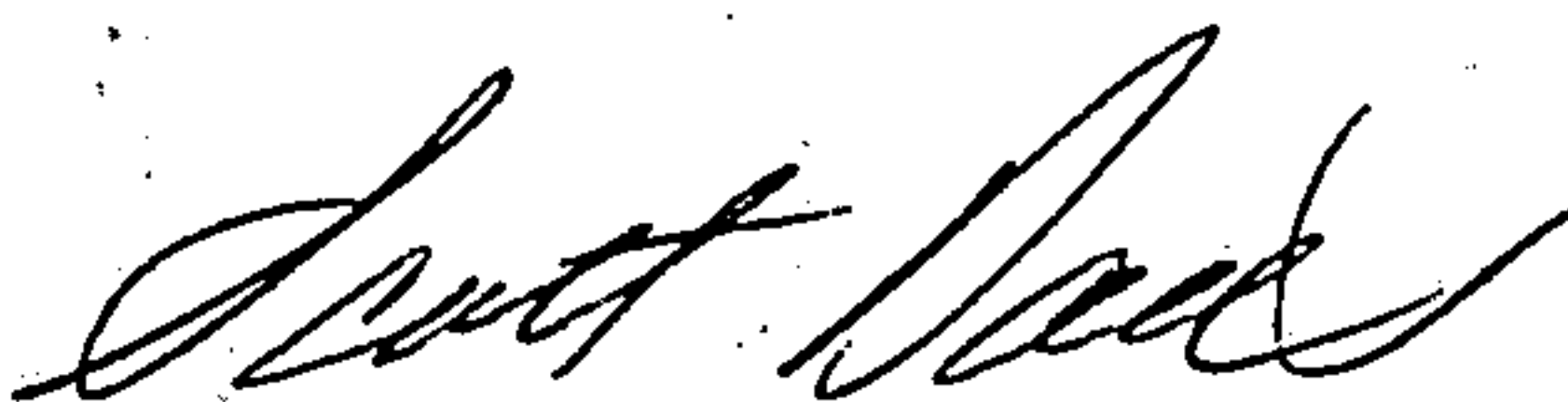
Having reviewed your submittal dated 12/28/94, I have the following concerns which must be addressed prior to approving your Site Development Plan for the referenced project:

1. The City must be assured that the roof drains will all drain to the front of the lots.
2. Your plan indicates that you are proposing placing a considerable amount of fill within an existing drainage right-of-way. Prior to allowing this, an updated drainage analysis will be required, utilizing currently accepted hydrology standards. The study should include all upstream watersheds which contribute flows to the drainage course just east of the site. Besides rate of flow, included in the study should be water surface elevations, velocities, 100-year floodplain limits (both existing and developed). Once the revised drainage information is obtained, erosion setbacks (6'/100cfs), or prudent analysis, or the use of cutoff walls will need to be considered. Again, please keep in mind that the above information will be a requirement for Hydrology Division approval if encroachment in the drainage easement is proposed.
3. Although your drawing indicates the use of 2:1 slopes within the drainage easement, it appears that several lots far exceed this within the drainage easement. Please keep in mind the following Ordinance when preparing your grading plan, "Slopes (cut or fill) with height of less than 3', not steeper than 2:1. Slopes with height greater than 3', not steeper than 3:1.
4. Although not shown on the submitted drawing, if retaining walls are proposed, cross-sections will be needed for establishing Planning/Height Variance requirements.

PUBLIC WORKS DEPARTMENT

I apologize for the additional time it took to receive comments on this project. This project was erroneously filed with your Creekside West submittal and was thus not reviewed until now. If I can be of further assistance, or if you have any questions regarding my comments, feel free to call me at 768-3622.

Sincerely,



Scott Davis

PWD, Hydrology Division

(WP+8265)
C: File

Z-94-25

Sheet 4 of 7

C.A. Coonce and Associates, agent for Jennifer Power, requests site development plan approval for Lot 4A, Albuquerque West, Unit Two, zoned SU-1 for C-3 uses with exceptions, located on All Saints Road NW between Eagle Ranch Road NW and Coors Boulevard NW, containing approximately 0.92 acre. (C-13)

It appears that this lot will discharge to AMAFCA's North Coors La Orilla Outlet (at the Corrales Main Canal). There are special sediment ponding requirements and maximum discharge limitations associated with drainage to this facility. The proposed site plan does not reflect these requirements, and appears to require revision before final approval should be granted.

Z-94-26

Mark Goodwin and Associates, agent for Mori Jafari, requests site development plan approval for Tract J, North Four Hills, zoned SU-1 for a Planned Residential Development, located on the southeast corner of Carmellia Drive SE and Narcissus Place NE, containing approximately 1.4 acres. (L-23) DAVE CARLSON, CASE PLANNER

It appears that the existing grading for this lot is substantially different than the grading shown on the approved Drainage and Drainage Plan for North Four Hills Subdivision (1986). A 100-year flood plain area has apparently been filled in and an existing drainage easement has been compromised. The proposed new grading will aggravate this condition. A revised drainage plan will be needed to show how drainage can be safely accommodated and protect this site. The proposed site plan may require substantial revision.

Z-94-27

Mark Goodwin and Associates, agent for Mori Jafari requests site development plan approval for Tract H, North Four Hills, zoned SU-1 for a Planned Residential Development, located on the southeast corner of Carmellia Drive SE and Poinsettia Place SE, containing approximately 1.3 acres. (L-23) DAVE CARLSON, CASE PLANNER

We anticipate that the City of Albuquerque, Public Works, Hydrology Division will take the lead in review of on-site drainage at this tract. It appears that ~~an~~ a constructed drainage runoff to the "natural" arroyo will be required to serve this development.

*Submitted by:
C. Anderson,
AMAFCA, 1/21/94*

DRAINAGE INFORMATION SHEET

PROJECT TITLE: Crecksides East Subdivision ZONE ATLAS/DRNG, FILE #: L-23 / 1817A
DRB #: _____ EPC #: 2-94-26 WORK ORDER #: _____
LEGAL DESCRIPTION: Tract J, North Four Hills
CITY ADDRESS: Carmellia and Narcissus

ENGINEERING FIRM: <u>Mark Goodwin & Associates, PA</u>	CONTACT: <u>Mark Goodwin, PE</u>
ADDRESS: <u>P.O. Box 90606</u>	PHONE: <u>828-2200</u>
OWNER: <u>Joe Boyden</u>	CONTACT: <u>Joe Boyden</u>
ADDRESS: <u>P.O. Box 199, Cedar Crest 87008</u>	PHONE: <u>281-4368</u>
ARCHITECT: <u>N/A</u>	CONTACT: _____
ADDRESS: _____	PHONE: _____
SURVEYOR: <u>Aldrich Land Surveying</u>	CONTACT: <u>Tim Aldrich</u>
ADDRESS: <u>P.O. Box 30701</u>	PHONE: <u>884-1990</u>
CONTRACTOR: <u>N/A</u>	CONTACT: _____
ADDRESS: _____	PHONE: _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☒ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION
☐ OTHER

PRE-DESIGN MEETING:

☐ YES
☒ NO
☐ COPY PROVIDED

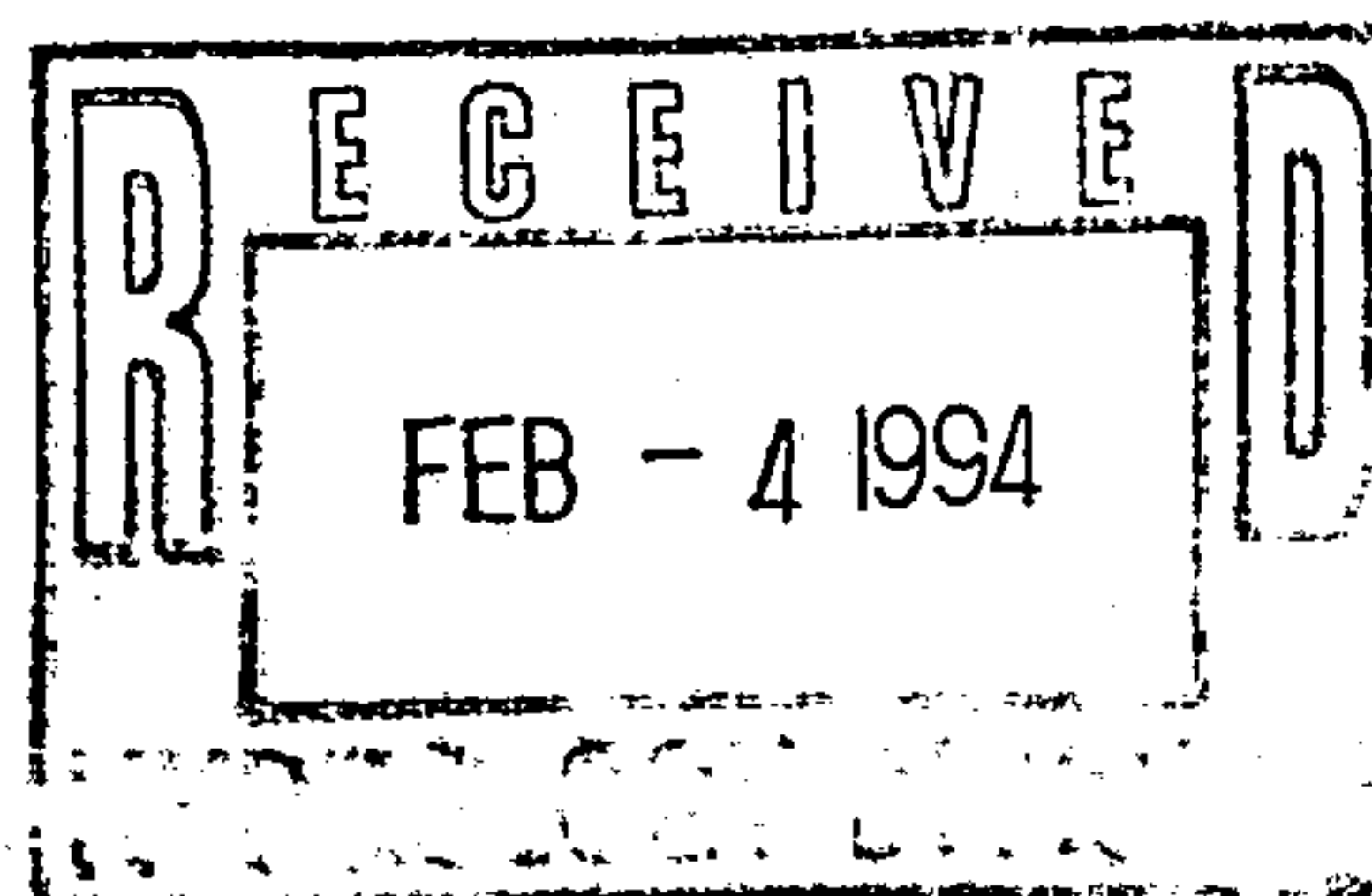
CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☒ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. PLAN FOR BLDG PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATION OF OCCUPANCY APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☐ OTHER _____ (Specify)

DATE SUBMITTED: 2/4/94

BY: Mark Goodwin

Mark Goodwin, PE



8245
DRAINAGE INFORMATION SHEET

PROJECT TITLE: Creekside East Subdivision ZONE ATLAS/DRNG, FILE #: L-23 D 179
 DRB #: _____ EPC #: _____ WORK ORDER #: _____
 LEGAL DESCRIPTION: Tract J, North Four Hills
 CITY ADDRESS: Carmellia and Narcissus

ENGINEERING FIRM: Mark Goodwin & Associates, PA CONTACT: Mark Goodwin, PE
 ADDRESS: P.O. Box 90606 PHONE: 828-2200
 OWNER: Joe Boyden CONTACT: Joe Boyden
 ADDRESS: P.O. Box 199, Cedar Crest 87008 PHONE: 281-4368
 ARCHITECT: N/A CONTACT: _____
 ADDRESS: _____ PHONE: _____
 SURVEYOR: Aldrich Land Surveying CONTACT: Tim Aldrich
 ADDRESS: P.O. Box 30701 PHONE: 884-1990
 CONTRACTOR: N/A CONTACT: _____
 ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

____ DRAINAGE REPORT
☒ DRAINAGE PLAN
 ____ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
 ____ EROSION CONTROL PLAN
 ____ ENGINEER'S CERTIFICATION
 ____ OTHER

PRE-DESIGN MEETING:

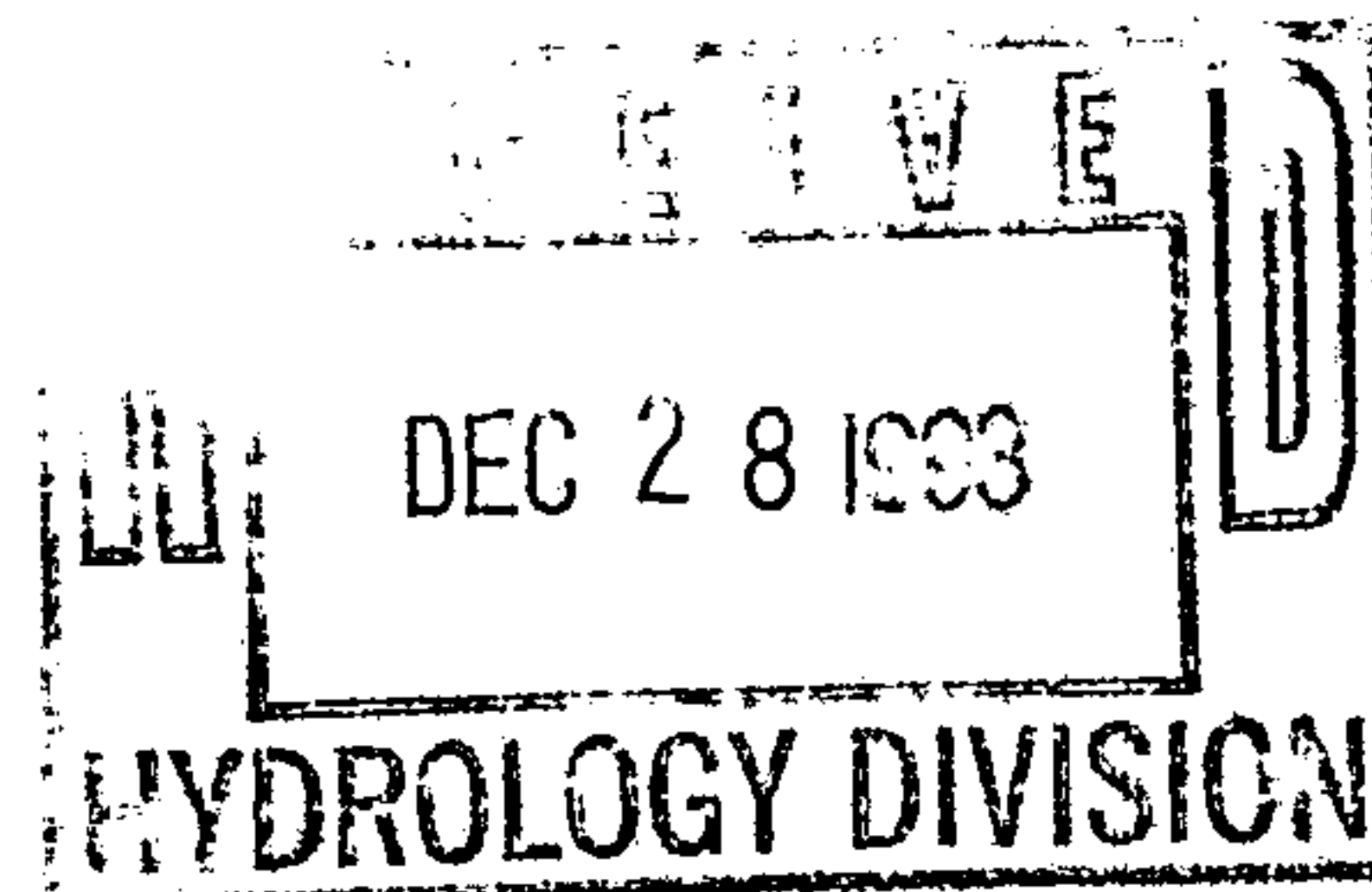
____ YES
☒ NO
 ____ COPY PROVIDED

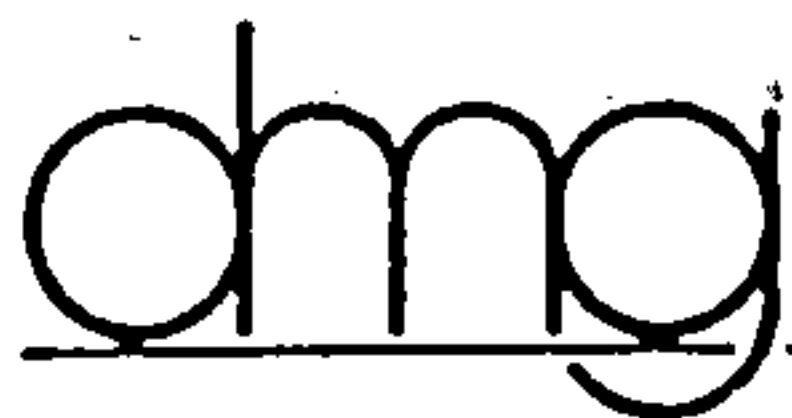
CHECK TYPE OF APPROVAL SOUGHT:

____ SKETCH PLAT APPROVAL
 ____ PRELIMINARY PLAT APPROVAL
☒ S. DEV. PLAN FOR SUB'D APPROVAL
 ____ S. DEV. PLAN FOR BLDG PERMIT APPROVAL
 ____ SECTOR PLAN APPROVAL
 ____ FINAL PLAT APPROVAL
 ____ FOUNDATION PERMIT APPROVAL
 ____ BUILDING PERMIT APPROVAL
 ____ CERTIFICATION OF OCCUPANCY APPROVAL
 ____ GRADING PERMIT APPROVAL
 ____ PAVING PERMIT APPROVAL
 ____ S.A.D. DRAINAGE REPORT
 ____ DRAINAGE REQUIREMENTS
 ____ OTHER _____ (Specify)

DATE SUBMITTED: 12/30/93

BY: Mark Goodwin
 Mark Goodwin, PE





D. Mark Goodwin & Associates, P.A.
Consulting Engineers and Surveyors

PROJECT Creekside East
SUBJECT Drainage
BY MG DATE 12/25/95
CHECKED _____ DATE _____
SHEET 1 OF 1

Creekside East is a 9 lot re-plot of Tract J. The front of the lots will drain to the street & the backs to the arroyo/park. Minimal drainage reaches the 40' street in front but we will calc. Q just to show it.

Zone 3

$P_1 = 2.14$ in $P_0 = 2.60$ in $P_{24} = 3.10$ in

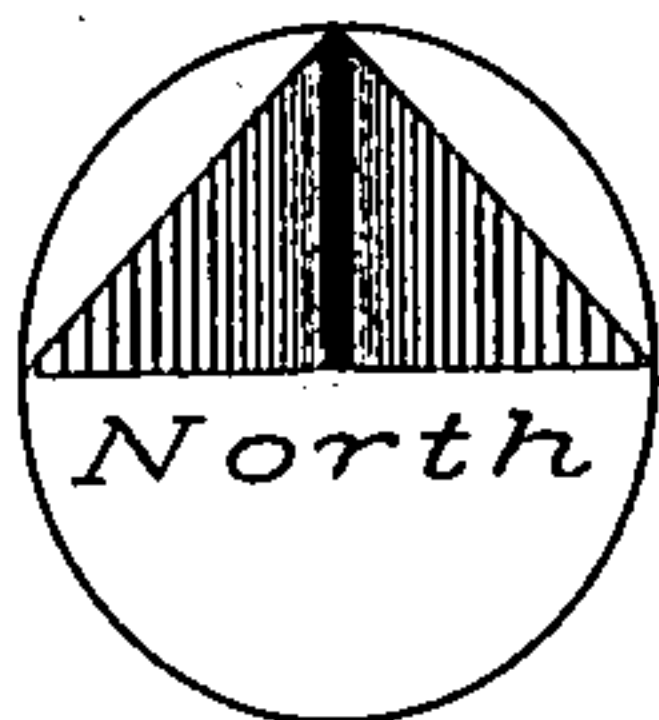
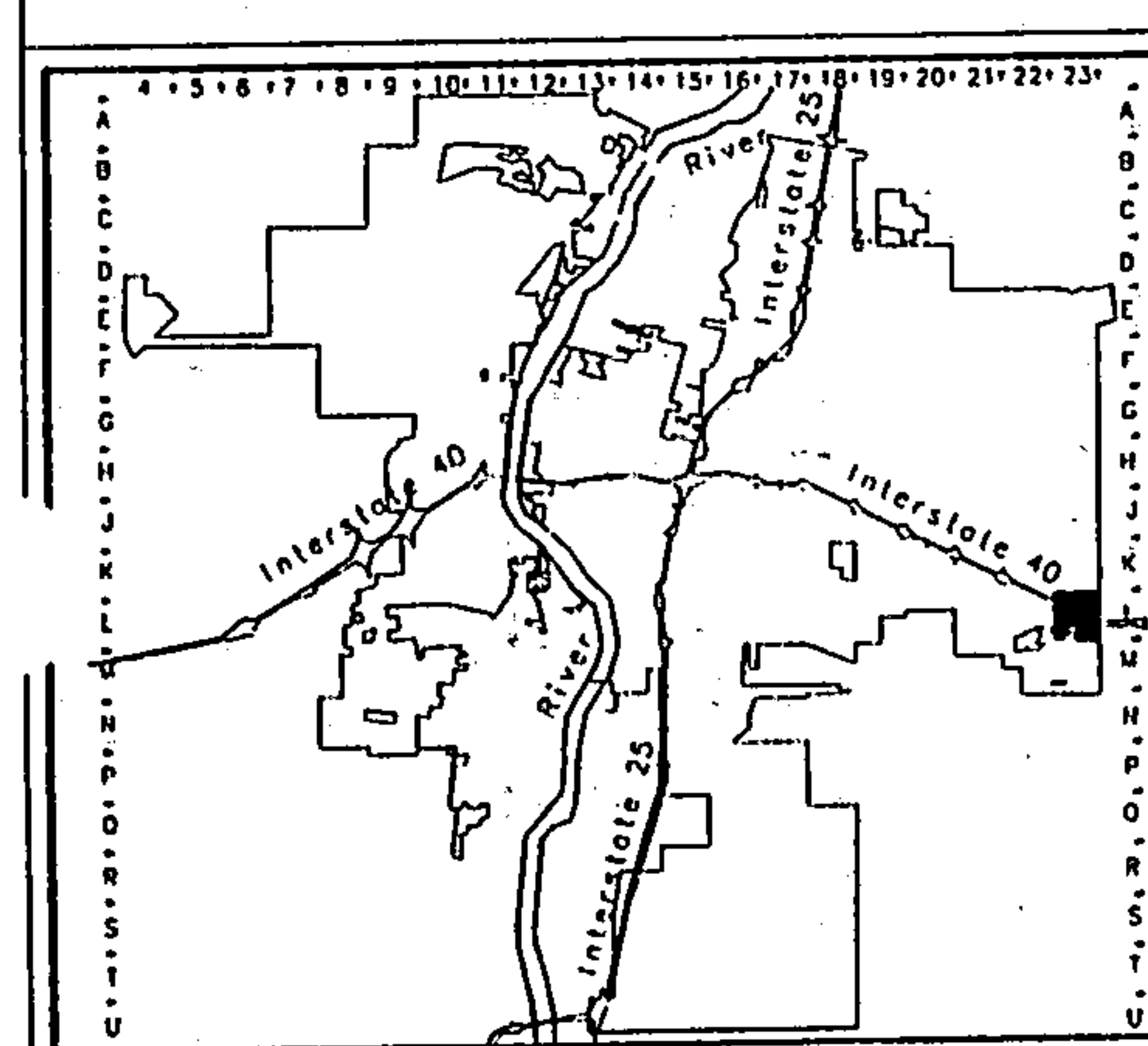
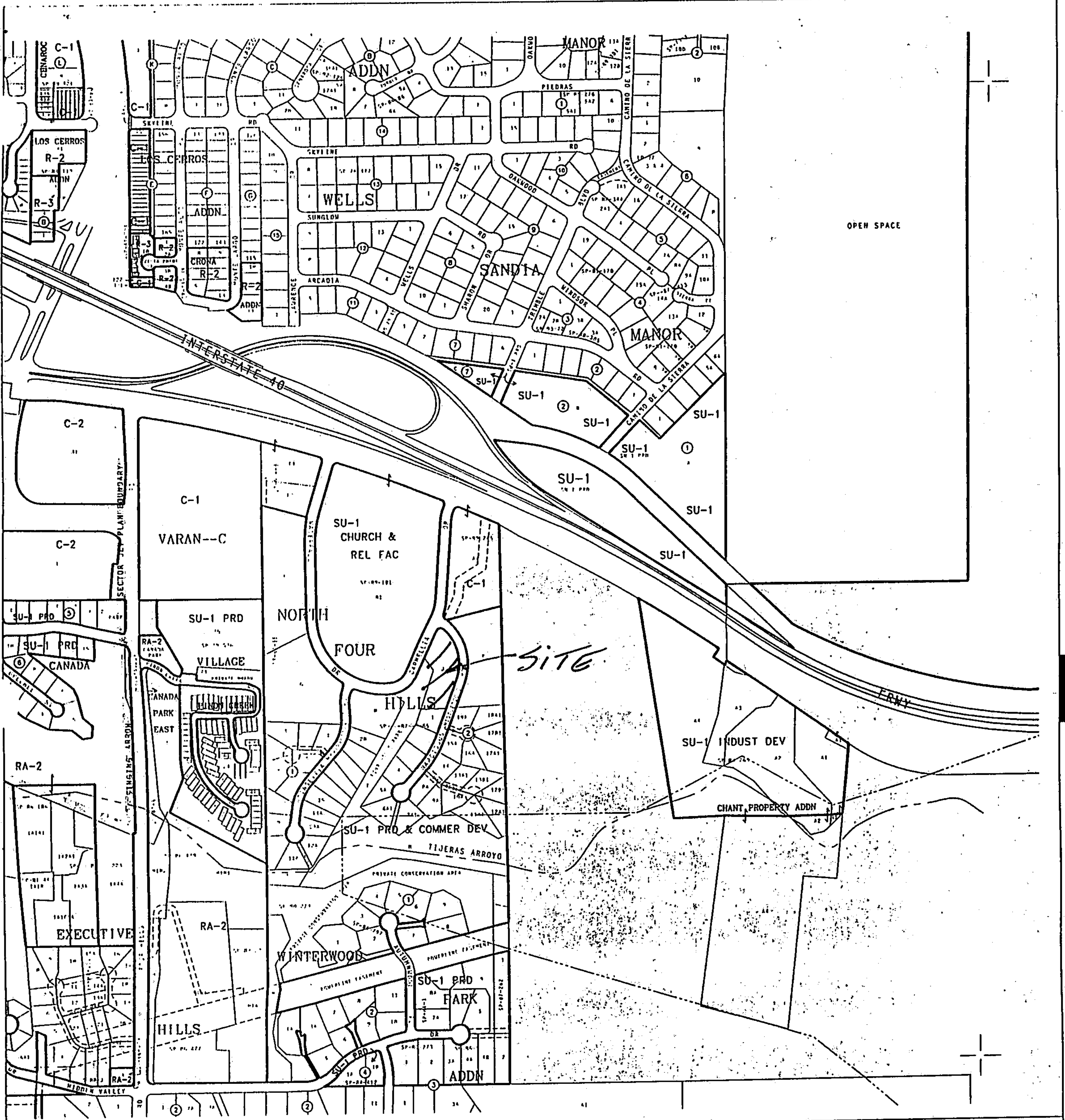
Land Treatment: $A = .0012$ SQ. MI.

$R = 50\%$

$D = 50\%$

From Attached Arroyo

$Q = 3$ cfs



750 375 0 750
Scale: 1" = 750'

Albuquerque **G**eographic **I**nformation **S**ystem
City of Albuquerque

© Planning Department July 04, 1993

LEGAL DESCRIPTION

T10N
R4E
SEC 26

UNIFORM PROPERTY CODE

1-023-056

L-23-Z

START TIME=0.0
***** HYDROGRAPH FOR CREEKSIDE EAST
RAINFALL TYPE=1 RAIN QUARTER=0.0 IN
RAIN ONE=2.14 IN RAIN SIX=2.60 IN
RAIN DAY=3.10 IN DT=0.03333 HR
COMPUTE NN HYD ID=1 HYD NO=101.1 AREA=0.001200 SQ MI
PER A=0 PER B=50 PER C=000 PER D=50
TR=0.1333 HR MASS RAINFALL=-1
PRINT HYD ID=1 CODE=1
FINISH

AHYMU PROGRAM (AHYMU392) - AMAFCA VERSION OF HYMO - MARCH, 1992
 RUN DATE (MON/DAY/YR) = 12/23/1993
 START TIME (HR:MIN:SEC) = 11:09:47 USER NO. = Z_GOODWN.992
 INPUT FILE = WM1.DAT

START TIME=0.0

***** HYDROGRAPH FOR CREEKSIDE EAST

RAINFALL TYPE=1 RAIN QUARTER=0.0 IN

RAIN ONE=2.14 IN RAIN SIX=2.60 IN

RAIN DAY=3.10 IN DT=0.03333 HR

COMPUTED 6-HOUR RAINFALL DISTRIBUTION BASED ON NOAA ATLAS 2
 - PEAK AT 1.40 IN

DT = .033330 HOURS			END TIME = 5.999400 HOURS			
.0000	.0027	.0055	.0084	.0113	.0143	.0173
.0204	.0236	.0269	.0302	.0337	.0372	.0408
.0445	.0484	.0523	.0564	.0606	.0649	.0694
.0741	.0789	.0839	.0892	.0946	.1003	.1063
.1126	.1192	.1262	.1322	.1385	.1452	.1597
.1922	.2422	.3139	.4119	.5407	.7049	.9093
1.1588	1.3904	1.4871	1.5687	1.6414	1.7074	1.7683
1.8247	1.9775	1.9270	1.9735	2.0174	2.0589	2.0982
2.1354	2.1707	2.2041	2.2359	2.2661	2.2737	2.2807
2.2875	2.2939	2.3001	2.3060	2.3117	2.3172	2.3226
2.3277	2.3328	2.3376	2.3423	2.3470	2.3514	2.3558
2.3601	2.3643	2.3683	2.3723	2.3762	2.3801	2.3838
2.3875	2.3911	2.3947	2.3982	2.4016	2.4050	2.4083
2.4115	2.4147	2.4179	2.4210	2.4241	2.4271	2.4301
2.4330	2.4359	2.4388	2.4416	2.4444	2.4472	2.4499
2.4526	2.4553	2.4579	2.4605	2.4631	2.4656	2.4681
2.4706	2.4731	2.4755	2.4779	2.4803	2.4827	2.4850
2.4873	2.4896	2.4919	2.4942	2.4964	2.4986	2.5008
2.5030	2.5052	2.5073	2.5094	2.5115	2.5136	2.5157
2.5177	2.5198	2.5218	2.5238	2.5258	2.5277	2.5297
2.5317	2.5336	2.5355	2.5374	2.5393	2.5412	2.5430
2.5449	2.5467	2.5486	2.5504	2.5522	2.5540	2.5557
2.5575	2.5593	2.5610	2.5627	2.5645	2.5662	2.5679
2.5696	2.5713	2.5729	2.5746	2.5762	2.5779	2.5795
2.5811	2.5828	2.5844	2.5860	2.5876	2.5891	2.5907
2.5923	2.5938	2.5954	2.5969	2.5984	2.6000	

COMPUTE NM HYD ID=1 HYD NO=101.1 AREA=0.001200 SQ MI

PER A=0 PER B=50 PER C=000 PER D=50

TP=0.1333 HR MASS RAINFALL=-1

K = .072649HR TF = .133300HR K/TP RATIO = .545000 SHAPE
 CONSTANT, N = 7.106420
 UNIT PEAK = 2.3688 CFS UNIT VOLUME = .9949 B = 526.28
 P60 = 2.1400
 AREA = .000600 SQ MI IA = .10000 INCHES INF = .04000 I
 INCHES PER HOUR

K = .133300HR TP = .133300HR K/TP RATIO = 1.002670 SHAPE
CONSTANT, N = 1.50000
UNIT PEAK = 1.4417 CFS UNIT VOLUME = .9911 B = 321.84
P60 = 2.1400
AREA = .000000 SQ MI LA = .50000 INCHES INF = 1.25000 I
NCHES PER HOUR
RUNOFF COMPUTED BY INITIAL ABSTRACTION/INFILTRATION NUMBER METHOD - DT
= .033330

PRINT HYD ID=1 CODE=1

PARTIAL HYDROGRAPH 101.10

RUNOFF VOLUME = 1.63812 INCHES = .1048 ACRE- FEET
PEAK DISCHARGE RATE = 2.34 CFS AT 1.500 HOURS BASIN AREA =
.0012 SQ. MI.

FINISH

NORMAL PROGRAM FINISH END TIME (HR:MIN:SEC) = 11:09:48

2/4/94

D. MARK GOODWIN & ASSOC., P.A.

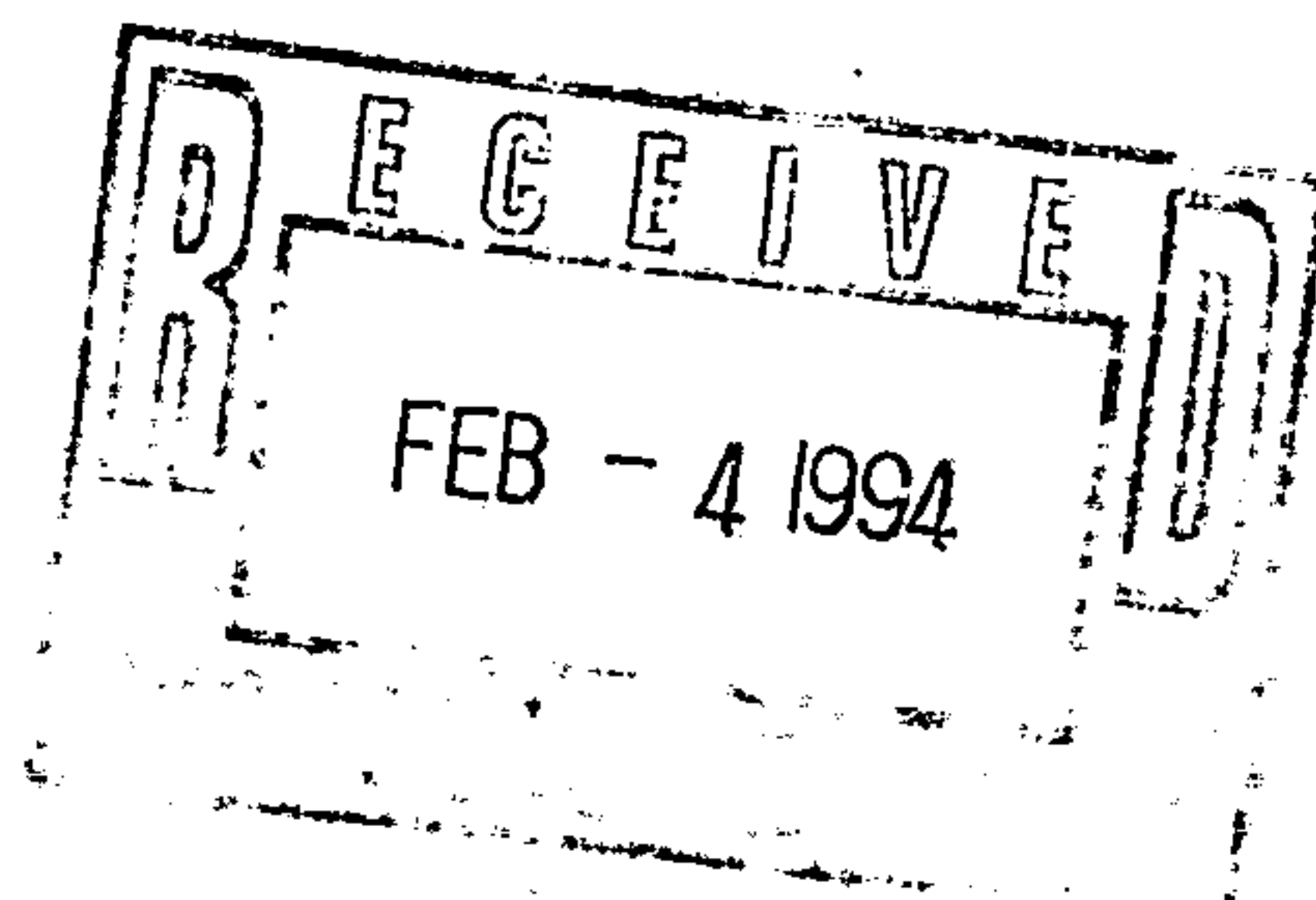
Dear Scott:

Please copy Mr. Dave Carlson, Case Planner,
at the Planning Department, if your review of
this plan results in approval.

Thanks,

John McKenzie

John McKenzie, P.E.





City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

November 28, 1994

Mark Goowin, P.E.
Mark Godowin & Associates
P.O. Box 90606
Albuquerque, NM 87199

RE: CREEKSIDE EAST SUBDIVISION (L23-D17A) ENGINEER'S STAMP
DATED 11/25/94.

Dear Mr. Goodwin:

Based upon your 11/25/94 resubmittal, Engineer's Certification for the referenced project is acceptable and thus Final Plat approval can be authorized at this time.

If I can be of further assistance, feel free to contact me at 768-3622.

Sincerely,

Scott Davis, P.E.
PWD/Hydrology

SD/d1/WPHYD/8265

c: Lynda Michelle DeVanti
Andrew Garcia
File

ENVIRONMENTAL PLANNING COMMISSION

A G E N D A

Thursday, February 17, 1994, 9:00 a.m.

*City Council Chambers
Basement Floor
City/County Government Center
One Civic Plaza, N.W.*

MEMBERS

William Fanning, Chairman

*Jane Brown
Joe Chavez
Ted Hobbs
Adele Hundley*

*Kim Murphy
Marcia Swezy*

NOTE: A LUNCH BREAK WILL BE ANNOUNCED. IF NECESSARY, A DINNER BREAK WILL BE ANNOUNCED.

A. Announcement of Changes and/or Additions to the Agenda.

B. All Requests for Deferral by the Applicant/Agent will be heard at the beginning of the Agenda.

1. Call to Order.

2. Approval of the Agenda.

3. Z-94-24 Southwest Land Research Inc., agent for the City of Albuquerque Public Works Department, requests site development plan approval for Lot 23, Block 17, North Albuquerque Acres, zoned SU-2/IP, located on the north side of Holly Avenue NE between Interstate 25 and San Pedro NE, containing approximately 0.9 acre. (C-18) WALTER GELB, CASE PLANNER

4. Z-94-33 Brasher Engineers Inc., agent for Bronstein Ltd., requests site development plan approval for Lot 1, Santa Rita West No. 2, zoned SU-1 for C-1 Permissive and Conditional Uses located on the east side of Coors Boulevard NW, between Iliff Road NW, and Hanover Road NW, containing approximately 1.3 acres. (H-11) DAVE CARLSON, CASE PLANNER

5. Z-94-32 Jack Dettweiler, agent for Patti Bearpaw, requests a zone map amendment from R-1 to RLT for Lots 24-28, Block 1, Knapp Heights Addition, located on the east side of Louisiana Boulevard NE between Prairie Road NE, and Carriage Road NE, containing approximately 0.91 acre. SUSAN CONNORS, CASE PLANNER

6. Z-94-20 Richard Hanna, agent for the Rehabilitation Center, requests a zone map amendment from C-2 to C-3 for Lots 6, 7, and A, Stronghurst Addition, located at the northeast corner of Broadway Boulevard NE and Claremont Avenue NE, containing approximately 0.69 acre. (H-15) MARK DAVID, CASE PLANNER

7. Z-94-17 Tierra West Development Management Services, agent for Albuquerque Meadows Limited, requests an amendment to an approved site development plan for Tract B, Meadows Mobile Home Facility (LD-72-192), zoned SU-1 for a Mobile Home Park, located on the northwest corner of San Pedro NE and San Antonio NE, containing approximately 49 acres. (D-18) WALTER GELB, CASE PLANNER

8. Z-94-31 Garcia/Kraemer and Associates, agent for Dr. Don Hedges, requests approval of a site development plan for subdivision purposes and a site development plan for building purposes for Lot 7-A-1, Block C, Albuquerque West (SP-87-399), zoned SU-1 for a Planned Development Area to include C-3 uses, located on the southwest corner of Paradise Boulevard NW and Eagle Ranch Road NW, containing approximately 4.2 acres. (C-12) DAVE CARLSON, CASE PLANNER
9. Z-94-29 Garcia/Kraemer and Associates, agent for William E. Black Trustee, requests a zone map amendment from O-1 to C-1 for Lot 14, Tramway Ridge Addition, located at the southwest corner of Tramway Boulevard NE and Manitoba Street NE, containing approximately 1.7 acres. (F-22) SUSAN CONNORS, CASE PLANNER
10. Z-94-22 Chavez-Grieves Consulting Engineers, agent for MCO Properties L.P., requests a zone map amendment from SU-1 for a Planned Residential to R-1 for Tract A2C (SP-89-214), located at the terminus of Buglo Avenue NW, containing approximately 34 acres. (B-11) RANDY REED, CASE PLANNER
11. AX-94-6 Chavez-Grieves Consulting Engineers, agent for MCO Properties L.P., requests annexation and establishment of RT zoning for Tract B (SP-74-191), zoned R-2, Paradise Hills Special Zoning District, located on the north side of Buglo Avenue NW, just east of Justin Drive NW, containing approximately 4.9 acres. (B-11) RANDY REED, CASE PLANNER
Z-94-23
12. Z-93-121 Chavez-Grieves Consulting Engineering, agent for McDonalds Corporation, requests site development plan approval for Tract C-1-A-1, Cherry Hills Unit 1, zoned SU-1 for C-1 Permissive Uses, Two Drive-Up Facilities, and Package Liquor Sales as an Ancillary Use limited to one Retail Establishment not to exceed 25% of the gross floor area but in no case shall be larger than 5,000 sq. ft., located on the north side of Harper Road NE between Wyoming Boulevard NE and Barstow Street NE, containing approximately 1.08 acres. (E-19) DAVE CARLSON, CASE PLANNER
INDEFINITELY DEFERRED ON DECEMBER 2, 1993
13. SD-78-1-10 Tierra West Development Management Services, agent for Victor Pongetti, requests an amendment to the Academy/Tramway/Eubank Sector Development Plan to allow a change in an RD land use designation and site development plan approval for Tract T, Peppertree Subdivision, zoned RD, located at the southwest corner of Tramway Boulevard NE and Academy Boulevard NE, containing approximately 12.4 acres. (E-22) DAVE CARLSON, CASE PLANNER
Z-94-28
14. Z-93-133 SG/LC, Inc./Donald A. Mitchell, agents for St. Michael's Church/David Gonzales/Joe Finley requests a zone map amendment from R-1 and SU-1 for a Church and Related Facilities and Hospice and Day School to SU-1 for a Planned Residential Development and site development plan approval for Lots 12A, 13A-1 and 15A-1, North Fourth Street Homesites Addition, located on the south side of Montano Road NW between Guadalupe Trail NW and 9th Street NW, containing approximately 5.5 acres. (F-14) JACK CLOUD, CASE PLANNER
15. AX-94-5 Elmer C. Sproul, agent for The Albert J. Black and Mary J. Black Revocable Trust and Roberson Construction Company, Inc., and Paul Lee request annexation and establishment of R-2 zoning for Tracts 1 and 2, Block 15, Alban Hills Subdivision, Parcel 1 of SP-74-261A, and Lot 1 and the southerly portion of Lot 3, MRGCD Map #26, located on the east side of Coors Boulevard between La Orilla Road, NW and the Piedras Marcadas Dam, containing approximately 33 acres. (D-12) SUSAN CONNORS, CASE PLANNER
Z-94-21
16. Z-94-25 C.A. Coonce and Associates, agent for Jennifer Power, requests site development plan approval for a portion of Lot 4A, Albuquerque West, Unit Two, zoned SU-1 for C-3 uses with exceptions, located on All Saints Road NW between Eagle Ranch Road NW and Coors Boulevard NW, containing approximately 0.92 acre. (C-13) MARK DAVID, CASE PLANNER

17. Z-94-30 Isaacson and Arfman, P.A., agent for Chana Development Company, requests a zone map amendment from SU-1 for Offices to RT for Lot 1-A, Royal Heights Addition, located on the northeast side of Indian School Road NE, between Chelwood Park Boulevard NE and Indian Trail NE, containing approximately 7.7 acres. (J-22) MARK DAVID, CASE PLANNER
18. Z-94-26 Mark Goodwin and Associates, agent for Mori Jafari, requests site development plan approval for Tract J, North Four Hills, zoned SU-1 for a Planned Residential Development, located on the southeast corner of Carmellia Drive SE and Narcissus Place NE, containing approximately 1.4 acres. (L-23) DAVE CARLSON, CASE PLANNER
19. Z-94-27 Mark Goodwin and Associates, agent for Mori Jafari, requests site development plan approval for Tract H, North Four Hills, zoned SU-1 for a Planned Residential Development, located on the southeast corner of Carmellia Drive SE and Poinsettia Place SE, containing approximately 1.3 acres. (L-23) DAVE CARLSON, CASE PLANNER
20. SPR-81-21-17 T.M. Sundaram requests an amendment to the Coors Corridor Sector Development Plan, and a zone map amendment from SU-1 for a Truck Terminal to C-2 for the northerly 480 feet of Tracts 262 and 263, Airport Unit, Town of Atrisco Grant, located on the south side of Iliff Road, NW between Coors Road, NW and 64th Street, NW, containing approximately 4.6 acres. (H-11) WALTER GELB, CASE PLANNER
Z-93-89
REMAND FROM CITY COUNCIL NOVEMBER 15, 1993
21. SPR-87-1-3 Virgil Gil requests an amendment to the Northwest Mesa Escarpment Plan to allow a variance to the height of a building over 19 feet for a lot in the Impact Area and a variance to the height of a structure over 15 feet within the required 40 foot setback for Lot 18, Block 2, Rincon Subdivision Phase 4, located on the east side of Rockcress Drive NW at its intersection with Lamar Avenue NW, containing approximately 0.2 acre. (F-10) RANDY REED, CASE PLANNER
Z-93-138
CONTINUED FROM DECEMBER 16, 1993
22. Z-93-46 Herbert M. Denish and Associates, agent for the Sandia Foundation, requests approval of a site development plan for subdivision purposes for the westerly portions of Tracts P and Q, Lands of Southwestern Construction Company, zoned SU-2/C-3 (SC), located at the northwest corner of Lomas Boulevard, NE and the I-25/Lomas off-ramp, containing approximately 25 acres. (J-25) SUSAN CONNORS, CASE PLANNER
DEFERRED FROM JANUARY 20, 1994
23. Z-94-16 Richard H. Rhodes requests a zone map amendment from RA-2 to SU-1 for a Bed and Breakfast for Lot 6, Boulevard View Addition, located on the east side of Rio Grande Boulevard NW between Candelaria Road NW and Headingly Avenue NW, containing approximately 0.92 acre. (G-13) WALTER GELB, CASE PLANNER
24. Z-94-34 FMSH Architects, agent for Grace Church, requests site development plan approval for Lot CDS-1 (SP-85-6), located on the northwest corner of Louisiana Boulevard NE and San Antonio Drive NE, containing approximately 8.5 acres. (D-18) WALTER GELB, CASE PLANNER
25. Other Matters.
26. Adjournment.

Details of the application(s) may be examined at the Planning Division of the Planning Department, Fourth Floor, Albuquerque/Bernalillo County Government Center, One Civic Plaza NW, between 8:00 a.m. and 5:00 p.m., Monday through Friday except holidays - INDIVIDUALS WITH DISABILITIES who need special assistance to participate at this hearing should contact Linda Quintero, Planning Department, at 768-3893 (VOICE) or 768-2478 (TTY) - TTY users may also access the Voice number via the New Mexico Relay Network by calling toll-free: 1-800-659-8331.