

Letter of Map Amendment (LOMA)

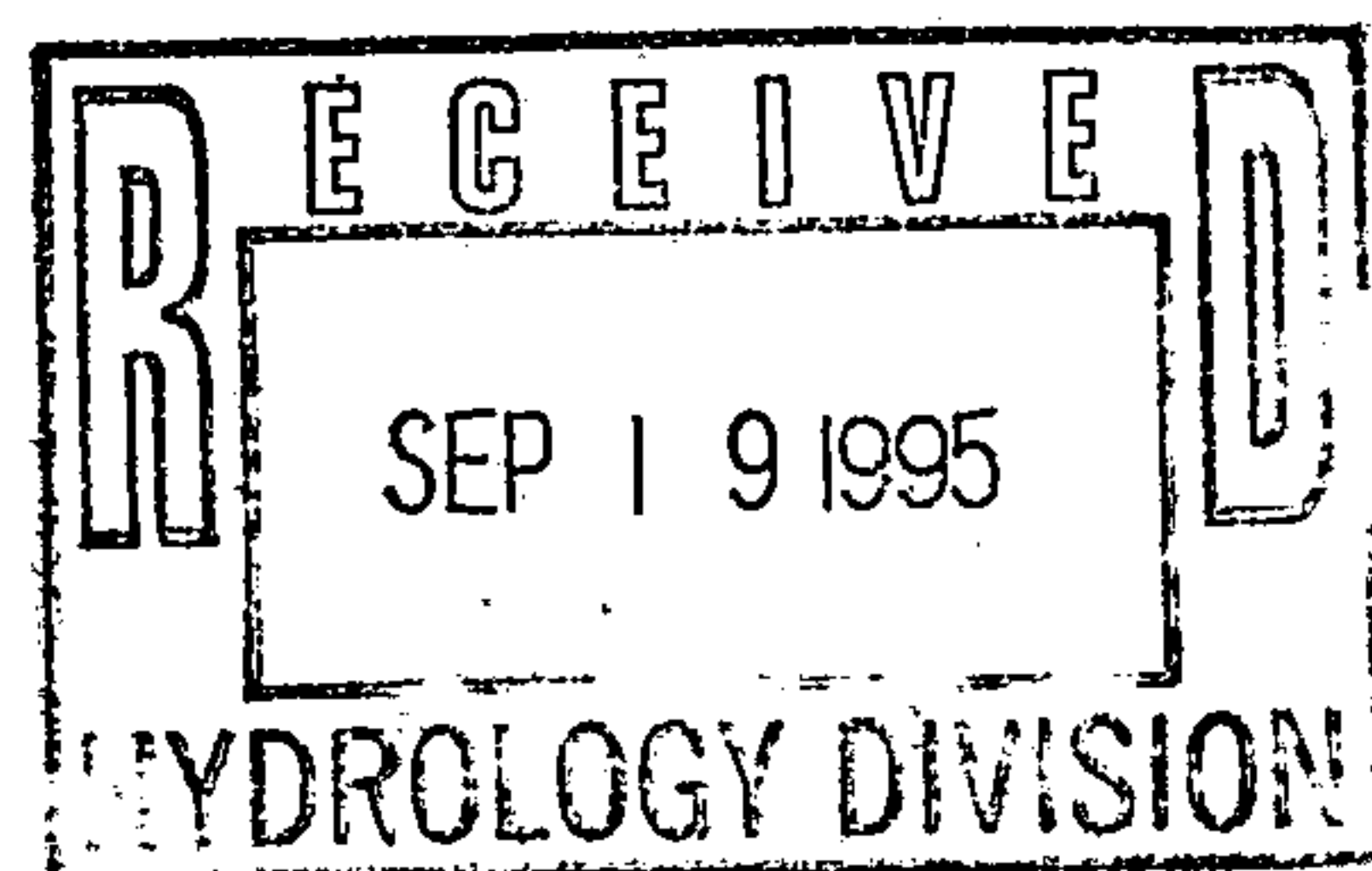
for

Single Lot

Located at

105 Lawrence N.E.

**Lot 2 Block 15 of Wells Sandia Manor Subdivision
Albuquerque , New Mexico**



881-1230

fax no.

Jeffrey Bergmann

87123

1-4-96

Spoke to Mike Gilliam @ Michael Baker

(703) 317-6230

He called about LOMA request for

(L23-D21) Lot 2, Bl 15, Sandia Manor - wanted to

know if we were still working on this

Letter from FEMA - dated Oct 23, 1995

requested more info - FEMA keeps case

open for 90 days

This case will close on Jan. 25 '96

1-4-96 - called Jeff Bergmann - his number

is no longer in service



Federal Emergency Management Agency

Washington, D.C. 20472

October 23, 1995

Ms. Susan M. Calongne, P.E.
City/County Floodplain Administrator
City of Albuquerque
P. O. Box 1293
Albuquerque, New Mexico 87103

IN REPLY REFER TO:
Case No.: 96-06-022A
Community: City of Albuquerque,
New Mexico
Community No.: 350002

216-ACK

Re: Lot 2, Block 15, Wells Scandia Manor Subdivision, being 105 Lawrence Drive N.E.

Dear Ms. Calongne:

This is in response to your request dated October 3, 1995, for a Letter of Map Revision based on fill for the property referenced above.

We have completed an inventory of the information that you submitted. Before we can begin a detailed review of the request, we must receive the following item.

- The copy of the National Flood Insurance Program (NFIP) map that you submitted with your property plotted on it indicates that the property is located in Zone A0 (Depth 1). For the structure on the property to be removed from the Special Flood Hazard Area in Zone A0, the elevation of the lowest adjacent grade to the structure (the lowest ground touching the structure) and the lowest floor must be above the highest surrounding grade by an amount equal to or greater than the depth shown on the NFIP map. In addition, adequate drainage paths are required to guide floodwaters around and away from the structure; the structure should be on an elevated pad within the Zone A0 area. To demonstrate that these criteria have been met, you must submit a map showing topographic data of your property and the immediate surrounding area, and the locations of any structures existing on the property (certified by a registered professional engineer or licensed land surveyor).

Required items and questions concerning your request are to be directed to our Technical Evaluation Contractor: Michael Baker Jr., Inc., 3601 Eisenhower Avenue, Suite 600, Alexandria, Virginia 22304; Attention: Mr. C. Edward Crawford; (703) 317-6209.

When you write to us about your request, please include the case number shown above in your letter. If you have any questions regarding the Federal Emergency Management Agency or the National Flood Insurance Program in general, please contact Ms. Agnes De Coca of our staff in Washington, DC, either by telephone at (202) 646-2746 or by facsimile at (202) 646-4596.

Sincerely,

A handwritten signature in cursive script that reads "Michael Buckley".

Michael K. Buckley, P.E., Chief
Hazard Identification Branch
Mitigation Directorate



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

October 3, 1995

Vicky Carter, Mitigation Division
Federal Emergency Management Agency
Region VI, Federal Center
800 North Loop 288
Denton, Texas 76201-3698

**RE: LETTER OF MAP AMENDMENT REQUEST LOT 2, BLOCK 15,
WELLS SANDIA MANOR SUBDIVISION (105 LAWRENCE NE)
ALBUQUERQUE, NEW MEXICO, COMMUNITY PANEL NUMBER
350002-0037.**

Dear Ms. Carter:

The owner of the above referenced property is requesting that FEMA issue a Letter of Map Amendment for his residence. Enclosed is the following information:

1. The Property Information form and Elevation Information form, FEMA Forms 81-87 and 81-87A
2. Copy of the Plat and Vicinity Map (Zone Atlas Page L-23)
3. Location of the site on Panel 37 of the Flood Insurance rate Map.
4. Elevation Certificate and Surveyor's Inspection Report.
5. Layout of the City of Albuquerque's Storm drainage facilities in the vicinity of the site.
6. Additional information to aid in the review process

This request is for an existing single family residence located within a special flood hazard Zone AO, Depth 1. The BFE was determined using the highest grade of the flowline adjacent to the lot and adding one foot per the FEMA designation. The finished floor elevation for the existing residence is greater than the estimated BFE. The FEMA forms regarding the placement and certification of fill material were not used since this is an existing structure and the placement of fill material does not apply.

Vicky Carter
October 3, 1995
page 2

When the residence was constructed, the City of Albuquerque installed a storm drain system consisting of inlets, pipes and an outlet structure, which should have effectively removed the floodplain from this area. However, the City did not request a Letter of Map Revision for these improvements.

I have reviewed these forms and believe that this submittal is complete. If you should have any questions, or if you need additional information, please call me at (505) 768-2666.

Sincerely,



Susan M. Calongne, P.E.
City/County Floodplain Administrator

c: Jeffrey Bergmann, P. E.
Mr. Woods, Owner
File

DRAINAGE INFORMATION SHEET

PROJECT TITLE 105 LAWRENCE ZONE ATLAS/DRWG. FILE # L-23-2/1021
DRB#: N/A EPC # N/A WORK ORDER # N/A
LEGAL DESCRIPTION: Lot 2 Block 5 Wells Sandra Manor
CITY ADDRESS: 105 LAWRENCE NE
ENGINEERING FIRM: 13108 Lomas Verdes CONTACT: JEFFREY BERGMAN
ADDRESS: Albuquerque NM 87123 PHONE: 294-2835
OWNER: MR Woods CONTACT: _____
ADDRESS: 105 LAWRENCE NE PHONE: _____
ADDRESS: Albuquerque NM 87123 PHONE: _____
ARCHITECT: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION
- ☐ OTHER LOMA

PRE-DESIGN MEETING:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY APPROVAL
- ☐ GRADING PERMIT APPROVALS
- ☐ PAVING PERMIT APPROVAL
- ☐ S.A.B. DRAINAGE REPORT
- ☐ DRAINAGE REQUIREMENTS
- ☐ OTHER LOMA (SPECIFY)

DATE SUBMITTED: SEPT 18 1995

BY: [Signature]

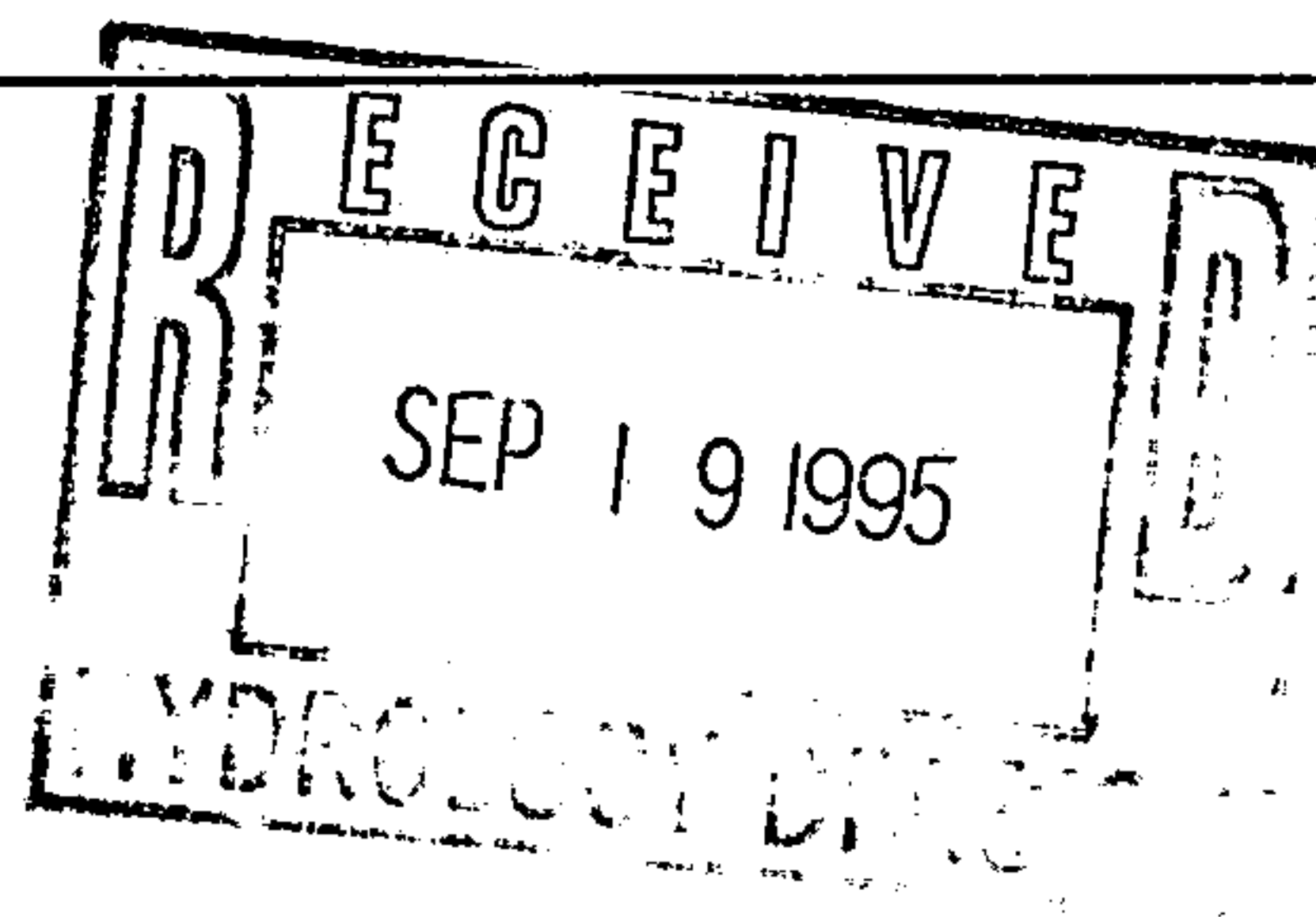


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ATTACHMENTS

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COA Storm Drainage System	Attachment "B"
NFIP Notice of Cancellation	Attachment "C"

ENCLOSURES

FIRM MAP 350002 0037 C
Wells Sandia Manor Amended Supplemental Plat

PUBLIC BURDEN DISCLOSURE NOTICE

Public reporting burden for this form is estimated to average 1.63 hours per response. The burden estimate includes the time for reviewing instructions, searching existing data sources, gathering and maintaining the needed data, and completing and reviewing the form. Send comments regarding the accuracy of the burden estimate and any suggestions for reducing this burden, to: Information Collections Management, Federal Emergency Management Agency, 500 C Street, S.W., Washington, DC 20472; and to the Office of Management and Budget, Paperwork Reduction Project (3067-0147), Washington, DC 20503.

This form may be completed by the property owner, registered land surveyor, or registered professional engineer

1. Community Name: ALBUQUERQUE County: BERNALILLO State: NEW MEXICO
Community Number: 350002 Panel or Map Number: 0037. C
Effective Date: OCTOBER 14 1983
2. Street Address of Property: 105 LAWRENCE NE - ALBUQUERQUE NEW MEXICO
3. Description of Property Lot and Block (if a street address cannot be provided): LOT 2 - BLOCK 15 OF WELLS SANDIA MANOR SUBDIVISION - ALBUQUERQUE NEW MEXICO
4. Are you requesting that the SFHA designation be removed from (a) all of the land within the bounds of the property, (b) a portion of land within the bounds of the property (*metes and bounds description is required*), or (c) the structure(s) on the property? (Answer "a," "b," or "c") C
5. Is this request for (a) a single residential structure or lot, (b) a single commercial structure or lot, (c) multiple structures or lots? (Answer "a," "b" or "c") A If existing structure, what was the date of construction? 1980
6. Is this request prior to the transfer of ownership of the property in question from a developer to an individual property owner? ☐ Yes ☒ No
7. Is this request for (a) existing conditions or (b) proposed project? (Answer "a" or "b") A
8. Has fill been placed in an identified SFHA or to elevate a structure? YES If yes, when? 1980
9. For proposed projects, will fill be placed to elevate this land or structure(s)? N/A
10. Do you know of previous requests that have been submitted to FEMA for this property or adjacent properties?
SEE ATTACHMENT "A" ENGINEERS STATEMENT. NO KNOWN REQUESTS
If yes, what was the date of FEMA's response letter? N/A

11. I have enclosed the following documents in support of this request:

☒ a. Copy of the Plat Map (with recordation data) with recorder's seal

OR

☐ b. Copy of the Deed (with recordation data), accompanied by a tax assessor's map, plat map or other suitable map showing the surveyed location of the property with recorder's seal (For these maps a map scale must be provided and they should not be reduced or enlarged)

☒ c. Copy of the effective FIRM panel on which the property location has been accurately plotted (If the request is for more than one lot/structure, this location must be certified by a licensed land surveyor or registered professional engineer)

☒ d. A map showing the locations of any structures existing on or proposed for the property (certified by a licensed land surveyor or registered professional engineer)

☐ e. Metes and bounds description and accompanying map (only if the request is for a portion of land within the bounds of the property, not structure(s) only)

☒ f. Elevation Information form

☐ g. Community Acknowledgment form (only if fill has been/will be placed)

☐ h. Certification of Fill Compaction form (only if fill has been/will be placed and the request is not for a single residential structure)

Initial fee (see page 7 of instructions for initial fees and exemptions)

☒ i. SINGLE LOT LOMA
(Type of request)

\$ 0
(amount enclosed)

☐ PAYMENT
ENCLOSED

Check or money order only. Make check or money order payable to: National Flood Insurance Program. If paying by Visa or Mastercard please refer to the credit card information form which follows this form.

ATTACHMENT "A" ENGINEERS STATEMENT
ATTACHMENT "B" ~~ENGINEERS STATEMENT~~ STORM DRAINAGE IMPROVEMENTS

☒ j. Additional information: ATTACHMENT "C" NFIP CANCELLATION NOTICE
(please specify)

12. All documents submitted in support of this request are correct to the best of my knowledge. I understand that any false statement may be punishable by fine or imprisonment under Title 18 of the United States Code, Section 1001.

Applicant's Name: JEFFREY R BERGMANN
(please print or type)

Mailing Address: 13108 LOMAS VERDES NE
ALBUQUERQUE NEW MEXICO 87123
(please print or type)

Daytime Telephone Number: 505-294-2835

9/17/95
Date

[Signature]
Signature of Applicant

PUBLIC BURDEN DISCLOSURE NOTICE

Public reporting burden for this form is estimated to average .63 hour per response. The burden estimate includes the time for reviewing instructions, searching existing data sources, gathering and maintaining the needed data, and completing and reviewing the form. Send comments regarding the accuracy of the burden estimate and any suggestions for reducing this burden, to: Information Collections Management, Federal Emergency Management Agency, 500 C Street, S.W., Washington, DC 20472; and to the Office of Management and Budget, Paperwork Reduction Project (3067- 0147), Washington, DC 20503.

This form must be completed by a licensed land surveyor or registered professional engineer. These forms should not be used for requests involving Channelization, Bridges/Culverts, or Fill in the FEMA-Designated Floodway. Forms entitled Revisions to National Flood Insurance Program Maps (MT-2) should be used. The Elevation Information Form must be included for all request, unless the request is for a determination in which the FIRM already shows the property to be CLEARLY outside the SFHA. Cases in which the determination for the property or structure is uncertain will require the submittal of elevation data to provide a definitive determination. If an elevation certificate has been completed for the subject property it may be submitted in lieu of this form.

(See page 7 of instructions for details)

1. Community Name: ALBUQUERQUE NEW MEXICO
2. Legal Description of Property: LOT 2 - BLOCK 15 OF WELLS SARDIA SUBDIVISION
ALBUQUERQUE NEW MEXICO
3. Flooding Source: SHALLOW FLOODING
4. Based on the FIRM, this property is located in Zone(s) A ϕ
5. Is any portion of this property located in the regulatory floodway? ☐ Yes ☒ No
Are any structures (existing or proposed) located in the regulatory floodway? ☐ Yes ☒ No
6. Is this area subject to land subsidence or uplift? ☐ Yes ☒ No, If yes, what is the date of the current releveled? _____
7. What is the BFE for this property? (Provide elevation to nearest tenth of a foot and datum)*
5728.49 Elevation MSL Datum
8. How was the BFE determined? (attach a copy of the Flood Profile or table from the FIS report, if appropriate, or other necessary supporting information including Forms 3 and 4 from forms entitled, "Revisions to National Flood Insurance Program Maps" (MT-2)).
USED HIGHEST ADJACENT STREET FLOWLINE ELEVATION AS BASE
THEN ADDED THE A ϕ DEPTH OF ONE FOOT
9. If a flood profile for the 500-year flood was provided in the FIS Report, what is the 500-year flood elevation for this property? N/A Elevation N/A Datum
10. If this request is to remove the SFHA designation from a parcel of land or lot(s), what is the existing or proposed elevation of the lowest grade; that is, the lowest ground on the property? (Provide elevation to nearest tenth of a foot and datum)* N/A Elevation N/A Datum

11. If this request is to remove the SFHA designation from a structure(s), what is the elevation of the existing or proposed lowest adjacent grade; that is, the lowest ground touching the structure? (Provide elevation to nearest tenth of a foot and datum)* 572.68 Elevation Datum

12. If fill has been/will be placed to elevate the structure(s) on this property, what is the existing or proposed elevation of the lowest floor, including basement and/or attached garage? (Provide elevation to nearest tenth of a foot and datum)* 572.6 Elevation Datum

13. If any of the above elevations were computed based on a datum different than the effective FIS, what is the conversion factor? FIS Datum = Local Datum +/- _____ Feet

*For multiple lots/structures, complete the appropriate column(s) of the Summary of Elevations-Individual Lot Breakdown form, identifying the elevation for each lot/structure. To support items 9, 10, and 11, please note a map (certified by a licensed surveyor or registered professional engineer) may be required to relate the ground elevations and locations of structures or lots. The map should indicate whether it reflects "as-built" or "proposed" conditions.

14. All information submitted in support of this request is correct to the best of my knowledge. I understand that any false statement may be punishable by fine or imprisonment under Title 18 of the United States Code, Section 1001.

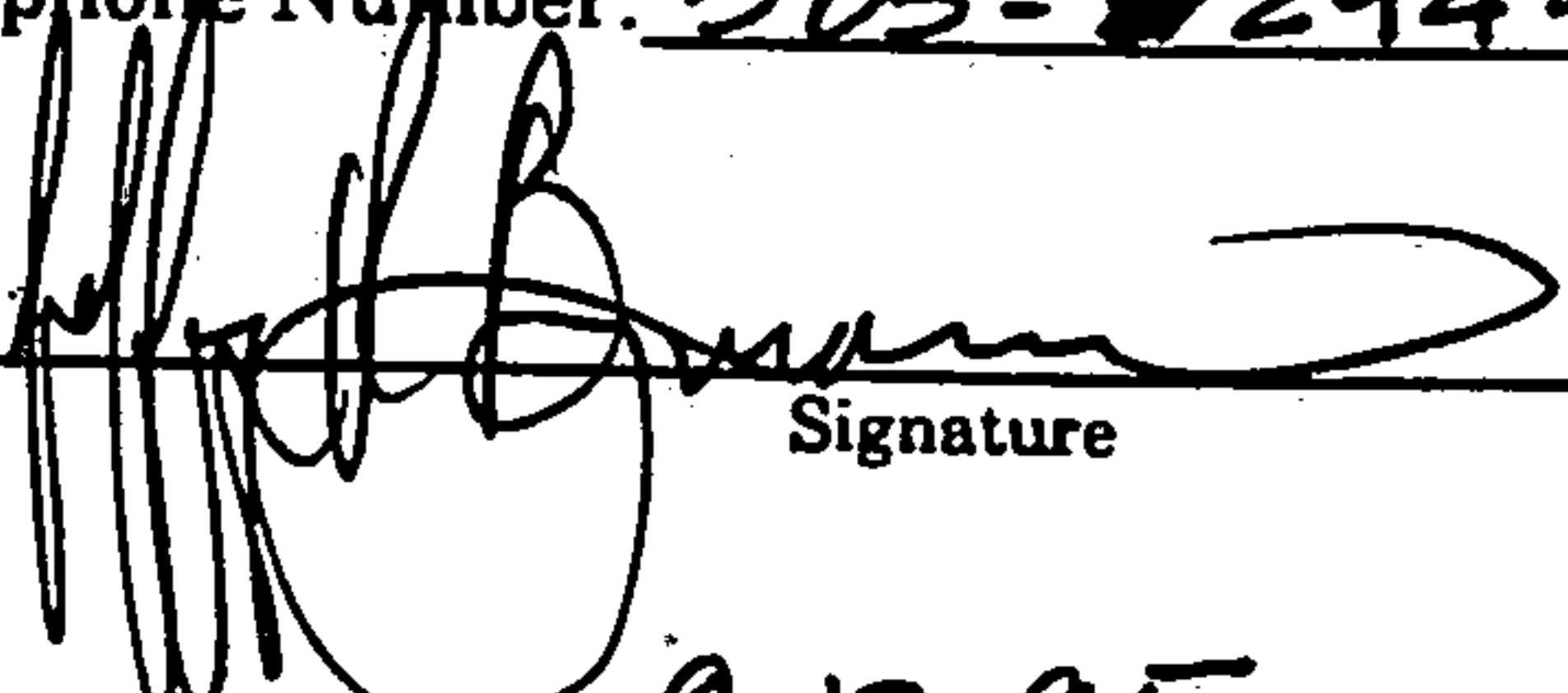
Name: JEFFREY R BERGMANN
(please print or type)

Title: PROFESSIONAL ENGINEER
(please print or type)

Registration No. 10853 Expiration Date 12.31.95

State NEW MEXICO

Telephone Number: 505-8294-2835


Signature

9.17.95
Date

Seal (Optional)

ELEVATION CERTIFICATE

FEDERAL EMERGENCY MANAGEMENT AGENCY

NATIONAL FLOOD INSURANCE PROGRAM

ATTENTION: Use of this certificate does not provide a waiver of the flood insurance purchase requirement. This form is used only to provide elevation information necessary to ensure compliance with applicable community floodplain management ordinances, to determine the proper insurance premium rate, and/or to support a request for a Letter of Map Amendment or Revision (LOMA or LOMR). Instructions for completing this form can be found on the following pages.

SECTION A PROPERTY INFORMATION		FOR INSURANCE COMPANY USE
BUILDING OWNER'S NAME		POLICY NUMBER
STREET ADDRESS (Including Apt., Unit, Suite and/or Bldg. Number) OR P.O. ROUTE AND BOX NUMBER		COMPANY NAIC NUMBER
105 Lawrence Drive, N.E.		
OTHER DESCRIPTION (Lot and Block Numbers, etc.)		
Lot 2 Blk 15 WELLS SANDIA MANOR		
CITY	STATE	ZIP CODE
Albuquerque	New Mexico	87123

SECTION B FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

Provide the following from the proper FIRM (See Instructions):

1. COMMUNITY NUMBER	2. PANEL NUMBER	3. SUFFIX	4. DATE OF FIRM INDEX	5. FIRM ZONE	6. BASE FLOOD ELEVATION (in AO Zone)
350002	0037	C	10/14/83	AO	depth 1

7. Indicate the elevation datum system used on the FIRM for Base Flood Elevations (BFE): ☐ NGVD '29 ☒ Other (describe on back)
8. For Zones A or V, where no BFE is provided on the FIRM, and the community has established a BFE for this building, indicate the community's BFE: feet NGVD (or other FIRM datum—see Section B, Item 7).

SECTION C BUILDING ELEVATION INFORMATION

- Using the Elevation Certificate Instructions, indicate the diagram number from the diagrams found on Pages 5 and 6 that best describes the subject building's reference level 1.
- (a). FIRM Zones A1-A30, AE, AH, and A (with BFE). The top of the reference level floor from the selected diagram is at an elevation of feet NGVD (or other FIRM datum—see Section B, Item 7).
- (b). FIRM Zones V1-V30, VE, and V (with BFE). The bottom of the lowest horizontal structural member of the reference level from the selected diagram, is at an elevation of feet NGVD (or other FIRM datum—see Section B, Item 7).
- (c). FIRM Zone A (without BFE). The floor used as the reference level from the selected diagram is feet above ☐ or below ☐ (check one) the highest grade adjacent to the building.
- (d). FIRM Zone AO. The floor used as the reference level from the selected diagram is feet above ☒ or below ☐ (check one) the highest grade adjacent to the building. If no flood depth number is available, is the building's lowest floor (reference level) elevated in accordance with the community's floodplain management ordinance? ☐ Yes ☐ No ☐ Unknown
- Indicate the elevation datum system used in determining the above reference level elevations: ☐ NGVD '29 ☒ Other (describe under Comments on Page 2). (NOTE: If the elevation datum used in measuring the elevations is different than that used on the FIRM (see Section B, Item 7), then convert the elevations to the datum system used on the FIRM and show the conversion equation under Comments on Page 2.)
- Elevation reference mark used appears on FIRM: ☐ Yes ☒ No (See Instructions on Page 4)
- The reference level elevation is based on: ☒ actual construction ☐ construction drawings
(NOTE: Use of construction drawings is only valid if the building does not yet have the reference level floor in place, in which case this certificate will only be valid for the building during the course of construction. A post-construction Elevation Certificate will be required once construction is complete.)
- The elevation of the lowest grade immediately adjacent to the building is: feet NGVD (or other FIRM datum—see Section B, Item 7).

SECTION D COMMUNITY INFORMATION

- If the community official responsible for verifying building elevations specifies that the reference level indicated in Section C, Item 1 is not the "lowest floor" as defined in the community's floodplain management ordinance, the elevation of the building's "lowest floor" as defined by the ordinance is: feet NGVD (or other FIRM datum—see Section B, Item 7).
- Date of the start of construction or substantial improvement

This certification is to be signed by a land surveyor, engineer, or architect who is authorized by state or local law to certify elevation information when the elevation information for Zones A1-A30, AE, AH, A (with BFE), V1-V30, VE, and V (with BFE) is required. Community officials who are authorized by local law or ordinance to provide floodplain management information, may also sign the certification. In the case of Zones AO and A (without a FEMA or community issued BFE), a building official, a property owner, or an owner's representative may also sign the certification.

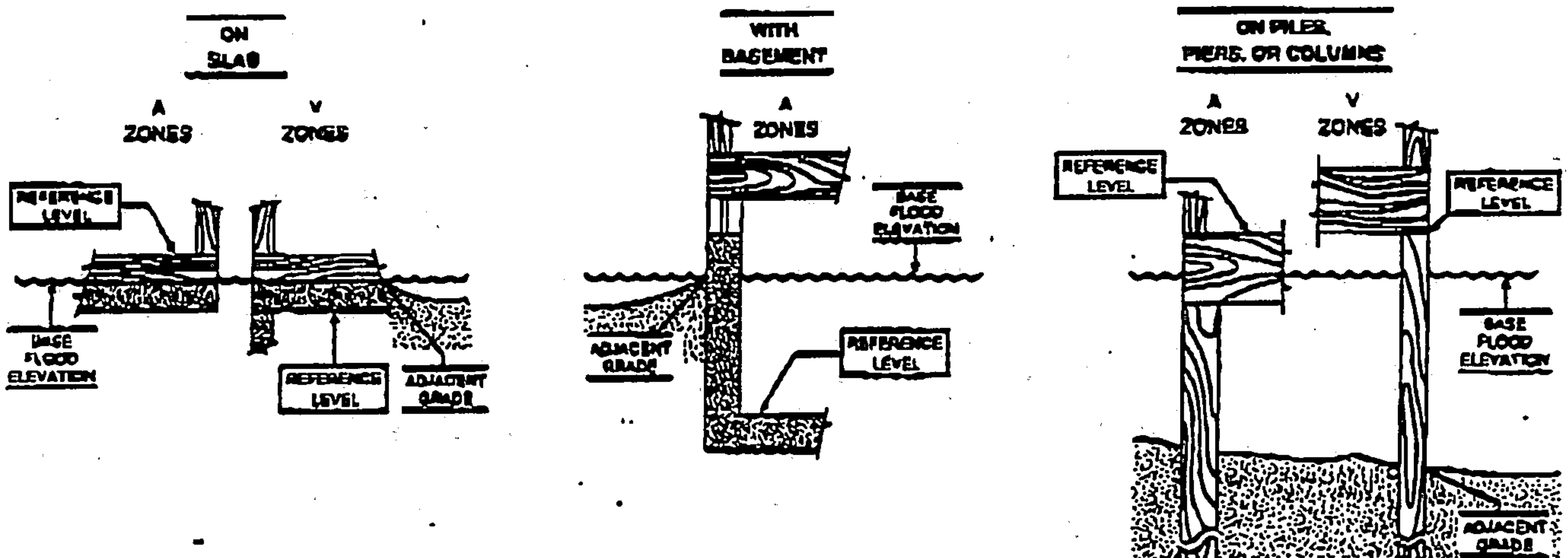
Reference level diagrams 6, 7 and 8 - Distinguishing Features-If the certifier is unable to certify to breakaway/non-breakaway wall, enclosure size, location of servicing equipment, area use, wall openings, or unfinished area Feature(s), then list the Feature(s) not included in the certification under Comments below. The diagram number, Section C, Item 1, must still be entered.

I certify that the information in Sections B and C on this certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

CERTIFIER'S NAME		LICENSE NUMBER (or Affix Seal)	
Douglas H. Smith		1002	
TITLE		COMPANY NAME	
owner Doug Smith, Land Surveying, Inc.			
ADDRESS		CITY	STATE ZIP
2121 San Mateo NE		Albuquerque	New Mexico 87110
SIGNATURE	DATE	PHONE	
	Aug. 15, 1995	(505) 255-5577	

Copies should be made of this Certificate for: 1) community official, 2) insurance agent/company, and 3) building owner.

COMMENTS: "ACS Monument 8-L23 Elev. 5730.88 basis of elevations"



The diagrams above illustrate the points at which the elevations should be measured in A Zones and V Zones. Elevations for all A Zones should be measured at the top of the reference level floor. Elevations for all V Zones should be measured at the bottom of the lowest horizontal structural member.

Aug. 16, 1995 2:06PM
Dear

RIO GRANDE TITLE

No. 1541 P. 2/3

SURVEYOR'S INSPECTION REPORT

THIS IS TO CERTIFY,

TO TITLE CO.: Rio Grande Title

TO UNDERWRITER: _____

TO LENDER: BNM Mortgage

that on August 9th, 1995, I made an inspection of the premises situated at Albuquerque

Bernalillo County, New Mexico, briefly described as 105 Lawrence Drive, N.E.

FLAT REFERENCE: Bearings, distances and/or curve data are taken from the following plat: Lot numbered Two (2)
in Block numbered Fifteen (15) of WELLS SANDIA MANOR, a Subdivision in Albuquerque, Bernalillo
County, New Mexico, as the same is shown and designated on the amended supplemental plat of
Block 11 to 15, inclusive, of said subdivision filed in the Office of the County Clerk of
Bernalillo County, New Mexico, on September 22, 1950, in Map Book C1, Folio 96.

NOTE: The error of closure is one foot of error for every none feet along the perimeter of legal description provided.

Easements shown hereon are as listed in Title Commitment No. 09-34023 provided by Title Company.

I FURTHER CERTIFY as to the existence of the following at the time of my inspection:

1). Evidence of rights of way, old highways or abandoned roads, lanes, trails, or driveways, sewer, drains, water, gas, or oil pipe
lines on or crossing said premises: none

2). Springs, streams, rivers, ponds or lakes located, bordering on or through said premises: none

3). Evidence of cemeteries or family burial grounds located on said premises: none

4). Overhead utility poles, anchors, pedestals, wires or lines overhanging or crossing said premises and serving other properties:
within easements

5). Joint driveways or walkways, joint garages, party walls or rights of support, steps, or roofs in common or joint garages:
see sketch

6). Apparent encroachments. If the building, projections or cornices thereof, or signs affixed thereto, fences or other indications of
occupancy appear to encroach upon or overhang adjoining property, or the like appear to encroach upon or overhang inspected
premises, specify all such: a wall encroaches upon the R/W of Lawrence Dr., see sketch.

It is hereby certified that the above described property is located within a 100 year flood hazard boundary in accordance with
current HUD Federal Administration flood hazard boundary maps dated October 14, 1983. Zone AO Depth 1

Community Panel No. 350002 00 37

DOUG SMITH SURVEYING, INC.
2121 San Mateo Blvd., N.E.
Albuquerque, New Mexico 87110
(505) 255-5577

SURVEYOR'S INSPECTION REPORT CONT.

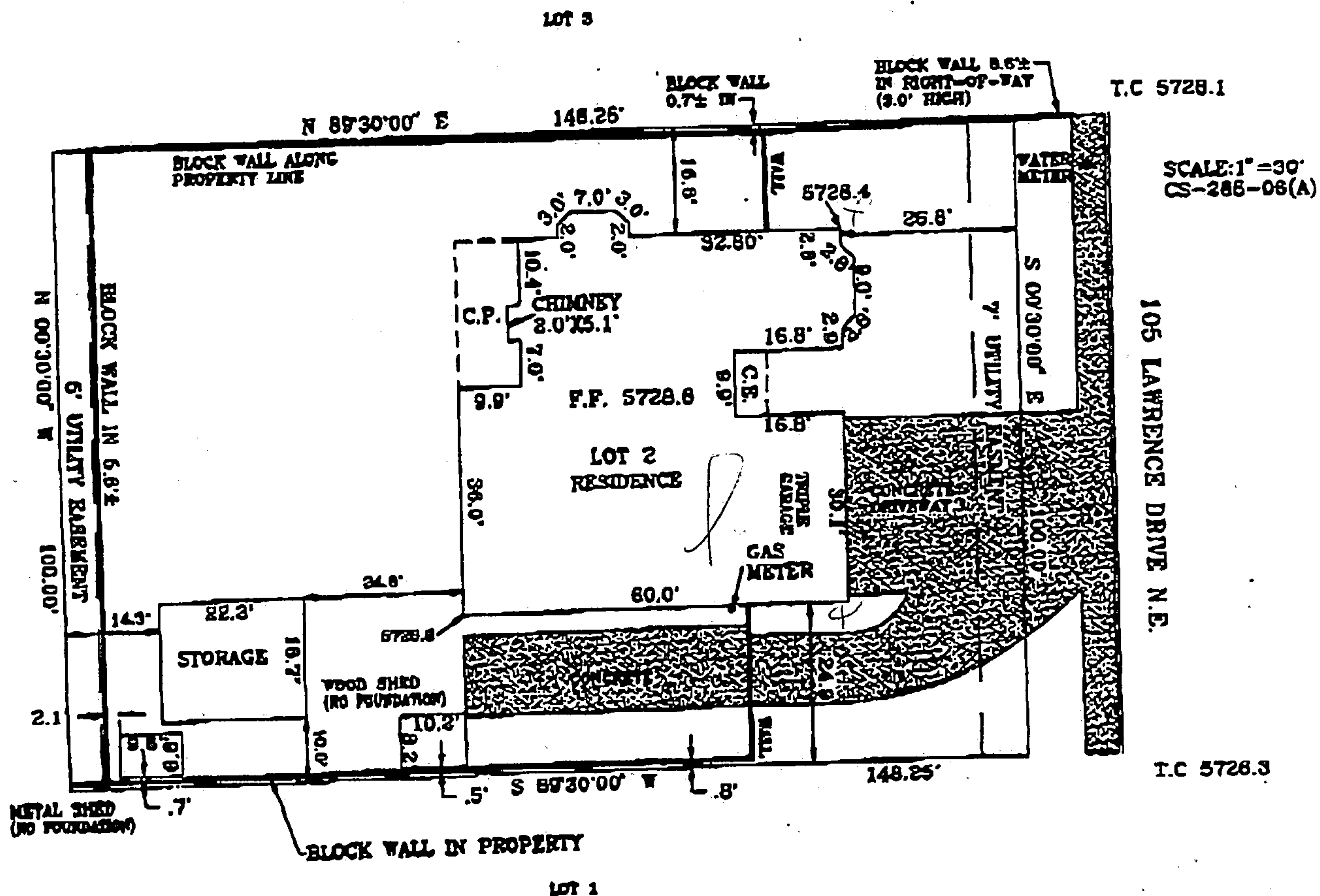
- 7). Specific physical evidence of boundary lines on all sides: curb slash and street curbing basis of inspection report
- 8). Is the property improved? (If structure appears to encroach or appears to violate set back lines, show approximate distance):
property is improved, see sketch
- 9). Indications of recent building construction, alterations or repairs: none apparent
- 10). Approximate distance of structure from at least two lines must be shown: see sketch

NOTE: Improvement locations are based on previous property surveys. No monuments were set. This tract is subject to all easements, restrictions and reservations of record which pertain. This report is not to be relied on for the establishment of fences, buildings or other future improvements.

[Signature] N.M.P.S. NO. 7002
SURVEYOR

The above information is based on boundary information taken from a previous survey and may not reflect that which may be disclosed by a boundary survey.

SKETCH:
(THIS IS NOT A BOUNDARY SURVEY)
(THIS IS NOT A SURVEY FOR USE BY A PROPERTY OWNER FOR ANY PURPOSE)



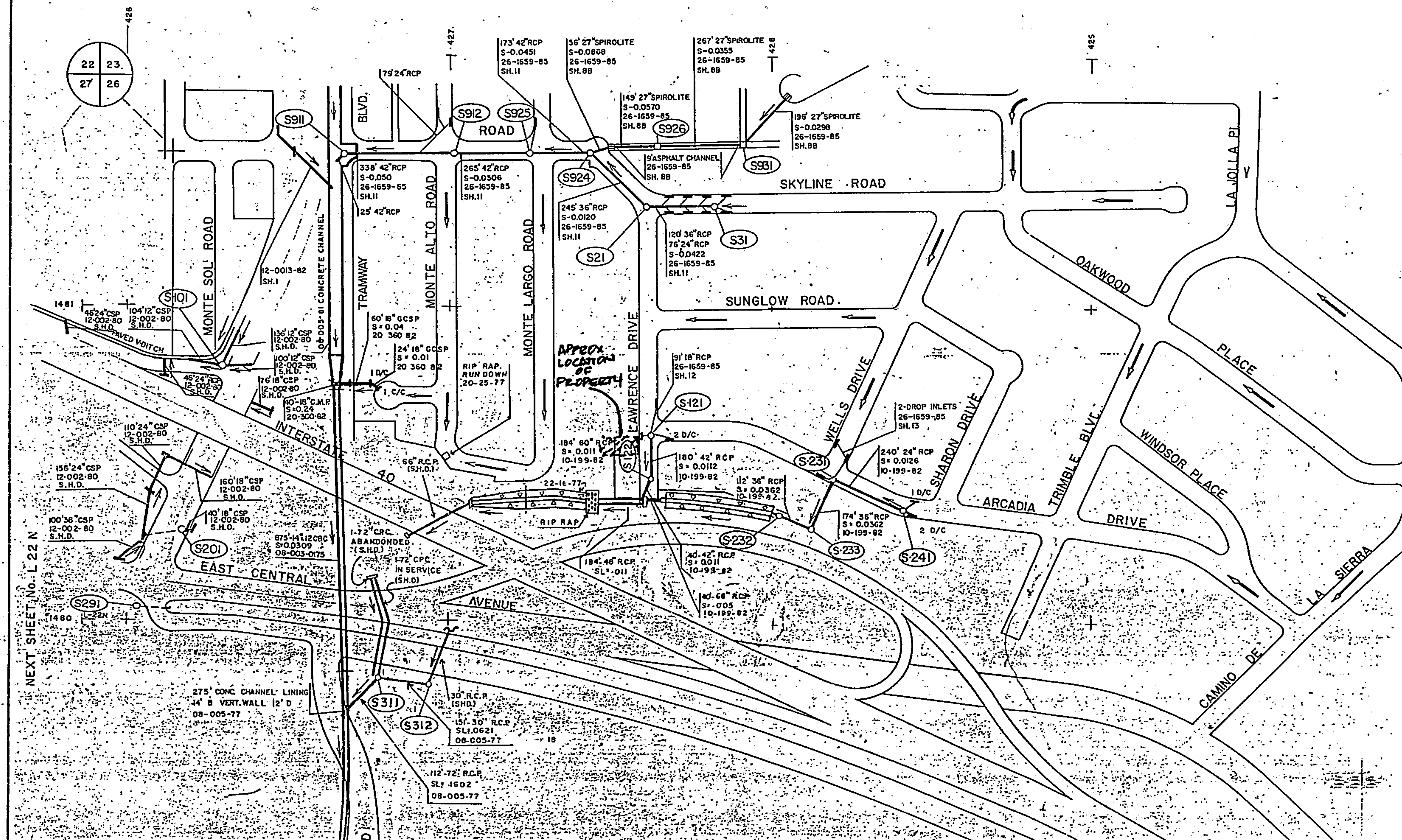
ATTACHMENTS

Attachment "A"
Engineers Statement
105 Lawrence NE
Albuquerque NM
FIRM Community No. 350002
Panel No. 0037-C

The property and structure located at 105 Lawrence NE Albuquerque New Mexico is identified as being subject to A0 depth - one foot shallow flooding per the FIRM Map 350002-0037-Effective date October 14, 1983. The residence in question was constructed in 1986 and is not shown on the referenced FIRM map. The Wells Sandia Addition contained a special assessment district (S.A.D.) for the construction of paved roadways, curb and gutters and storm sewers. The majority of public infrastructure projects funded by the S.A.D. were constructed between 1982 and 1985. These projects, storm sewers, paving and curb/ gutter were constructed to alleviate a portion of the shallow flooding area as identified on the FIRM map. The FIRM map (1983) indicates a channel which cuts through the property. This channel no longer exists, the property has been filled and a single story residence constructed. Storm water from surface flows are currently directed down the curb/ gutter flowlines to a drop inlet located at the south end of Lawrence. In 1988 the National Flood Insurance Program chose to cancel insurance to the subject property. However the basis of the cancellation is unknown to the current owners.

In lieu of a detailed analysis a logical methodology was used to establish the Base Flood Elevation (BFE). The residence finish floor elevation were taken from the surveyors inspection report (5728.6) and used as the basis of a vertical survey of the street adjacent to the property. The curb/gutter flowline elevation (5727.49) adjacent to the north east property line (most upstream point adjacent to the property) was used as the ground elevation to which the Zone A0 depth of one (1) foot was added to obtain the BFE (5728.49). The result of the survey indicates the finish floor of the existing structure is 0.11 feet above the Base Flood Elevation.

NEXT SHEET No. K 23 S CITY OF ALBUQUERQUE
STORM DRAINAGE SYSTEM



NATIONAL FLOOD INSURANCE PROGRAM

0421 P.O. BOX 619
LANHAM, MD. 20708
1-800-638-6620



NOTICE OF CANCELLATION

AS OF 11/13/88

POLICY NUMBER 2-0274-8017-3

INSURED

PROPERTY LOCATION

MICHAEL E & LINDA MILLER
105 LAWRENCE NE
ALBUQUERQUE NM 87123 2304

105 LAWRENCE NE
ALBUQUERQUE NM 87123 2304

IMPORTANT-

THIS IS TO INFORM YOU THAT YOUR FLOOD INSURANCE
POLICY HAS BEEN CANCELLED EFFECTIVE 11/10/87 BY THE NATIONAL
FLOOD INSURANCE PROGRAM FOR THE REASON STATED BELOW.

IT HAS COME TO THE NFIP'S ATTENTION THAT YOUR PROPERTY
IS NOT IN AN AREA OF SPECIAL FLOOD HAZARD. THEREFORE, THIS
POLICY IS NOT REQUIRED BY YOUR MORTGAGEE.

THE PREMIUM REMITTANCE OF \$181.00 WILL BE REFUNDED AND
FORWARDED UNDER SEPARATE COVER.

IF YOU HAVE ANY FURTHER QUESTIONS, PLEASE CONTACT YOUR
AGENT. THANK YOU.

AGENT

MORTGAGEE

LOAN # : 32309

TOM GREGORY AGENCY
11910 CENTRAL AVE S E
ALBUQUERQUE NM 87123

SOUTHWEST MORT CO
PO BOX 11519
ALBUQUERQUE NM 87192 0519

ATTACHMENT C

ENCLOSURES