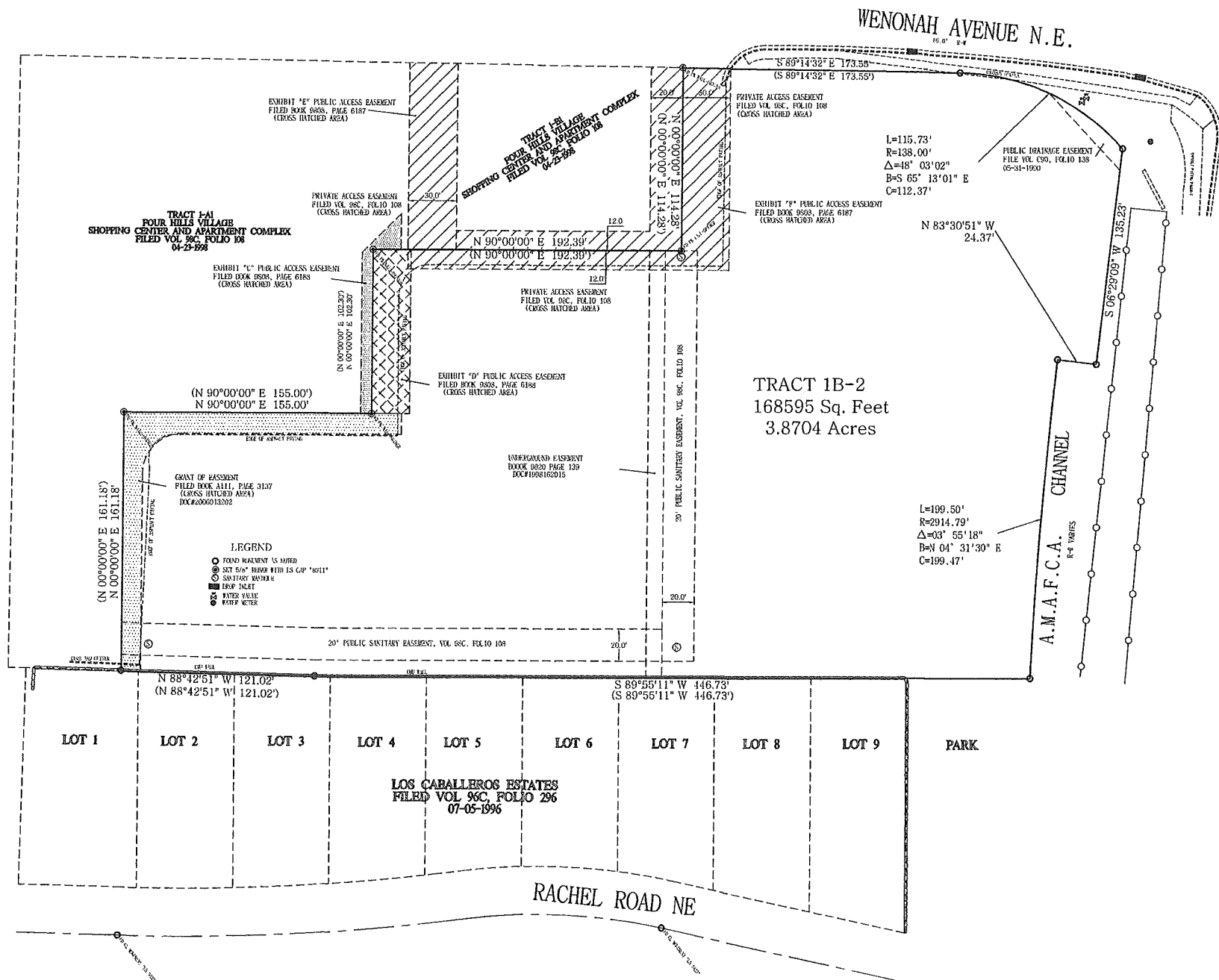


DESCRIPTION:

TRACT "1-B2", PLAT OF TRACTS 1-A1, 1-B1 AND 1-B2, FOUR HILLS VILLAGE SHOPPING CENTER & APARTMENT COMPLEX, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON APRIL 23, 1998, IN PLAT BOOK 98C, FOLIO 108.

ALTA/ACSM LAND TITLE SURVEY OF TRACT 1-B2 FOUR HILLS VILLAGE & APARTMENT COMPLEX SECTIONS 26 AND 27, T 10N, R 4E, N.M.P.M. ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO JUNE 2012



PLAT NOTES

1. PLAT WAS COMPILED USING EXISTING RECORD DATA & ACTUAL FIELD SURVEYS.
2. BEARINGS ARE PLAT BASED AND SHOWN HEREON
3. DISTANCES ARE GROUND DISTANCES.
4. PLAT SHOWS ALL EASEMENTS OF RECORD.
5. BEARINGS AND DISTANCES IN PARENTHESES () ARE RECORD
6. RECORDS USED:
PLAT BOOK 98C, FOLIO 108
PLAT BOOK 98C, FOLIO 109
PLAT BOOK 98C, FOLIO 296
TITLE COMMITMENT BY STEWART TITLE#12660126 EFFECTIVE DATE 06-08-2012
7. FIELD SURVEY PERFORMED IN MONTH OF JANUARY AND JUNE 2012

ALL TITLE INFORMATION IS TAKEN FROM TITLE INSURANCE COMMITMENT NUMBER 12660126, AN EFFECTIVE DATE OF JUNE 08, 2012 ISSUED BY STEWART TITLE GUARANTY COMPANY. ALL ITEM LISTED BELOW IN SCHEDULE B OF THE TITLE COMMITMENT HEREON, AND IF PLOTTABLE, ARE DEPICTED HEREON. EACH PLOTTED ITEM LISTED BELOW IS IDENTIFIED BY REFERENCE EXCEPTION NO LISTED HEREON

| EXCEPTION NO(S) | RECORDING INFORMATION | EFFECT ON PROPERTY |
|-----------------|---|--------------------|
| 1-12 | NOT APPLICABLE | NOT APPLICABLE |
| 13 | PUBLIC DRAINAGE, PUBLIC SANITARY, ACCESS EASMENTS | AS SHOWN |
| 14-15 | EASEMENT AGREEMENTS | AS SHOWN |
| 16 | UNDERGROUND EASEMENT | AS SHOWN |
| 17 | AGREEMENT | NOT APPLICABLE |
| 18 | GRANTS OF EASEMENT | AS SHOWN |
| 19-20 | NOT APPLICABLE | NOT APPLICABLE |

TO:
TITLE COMPANY: FIRST AMERICAN TITLE COMPANY
LENDER:

THE UNDERSIGNED HEREBY CERTIFIES THAT (I) THIS PLAT (THE SURVEY) MADE BY THE UNDERSIGNED, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF NEW MEXICO, WAS ACTUALLY MADE UNDER MY DIRECT SUPERVISION. AN INSTRUMENT SURVEY UPON THE GROUND ON OCTOBER 2011; (II) THE INFORMATION, COURSES AND DISTANCES THEREIN, INCLUDING WITHOUT LIMITATIONS, ALL SETBACK YARD LINES, ARE CORRECT; (III) THE SIZE, LOCATION, TYPE OF BUILDING, STRUCTURES AND IMPROVEMENTS ARE SHOWN AND SETBACK FROM THE PROPERTY LINES AND DISTANCES ARE INDICATED; (IV) THE BUILDINGS, STRUCTURES AND IMPROVEMENTS SHOWN CONSTITUTE ALL OF THE IMPROVEMENTS ON SAID PROPERTY AND ARE WITHIN THE BOUNDARY LINES OF THE PROPERTY; (V) BASED UPON AN CAREFUL INSPECTION OF THE PREMISES, THERE ARE NO EASEMENTS OR RIGHTS OF WAY, ENCROACHMENTS BY IMPROVEMENTS LOCATED ON ADJACENT PROPERTY ONTO, OR USES AFFECTING THE PROPERTY OR APPURTENANT EASEMENTS WHICH ARE FOR THE BENEFIT OF LAND APPURTENANT ON THE PROPERTY; (VI) THERE ARE NO ENCROACHMENTS BY ANY OF THE IMPROVEMENTS LOCATED ON SAID PREMISES ONTO ADJACENT PROPERTY OR ONTO EASEMENT AREAS OF OTHERS; (VII) THE POINT OF ENTRY OR ANY EXIT OF ALL UTILITIES AND SANITARY AND STORM SEWERS IS SHOWN, UNLESS THERE POINT OF ENTRY IS THROUGH ADJOINING PUBLIC STREET; (VIII) THE PREMISES ARE ADJACENT TO AND HAVE ACCESS TO PUBLIC ROADS AS INDICATED ON THIS PLAT OF SURVEY; (IX) THE LOCATION AND DIRECTION OF ALL STORM DRAIN SYSTEMS FOR THE COLLECTION AND DISPOSAL OF ALL ROOF AND SURFACE DRAINAGE SHOWN; (X) AND DISCHARGE INTO STREAMS, ROVERS, RETENTION BASIN AND OR OTHER CONVEYANCE SYSTEM IS SHOWN; AND (XI) THERE PARCEL HEREIN DESCRIBED DOES NOT LIE WITHIN ANY FLOOD HAZARD AREAS IN ACCORDANCE WITH DOCUMENTS ENTITLED "DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT, FEDERAL INSURANCE ADMINISTRATION SPECIAL FLOOD HAZARD AREA MAP FLOOD INSURANCE RATE MAP FOR ZONE "X" AS DESIGNATED ON THE FLOOD INSURANCE RATE MAP 35001C0114E AND 35001C0118E, NOVEMBER 18, 2003.

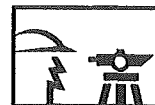
THE UNDERSIGNED FURTHER CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT WERE BASED WERE MADE IN ACCORDANCE WITH THE "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS" JOINTLY ESTABLISHED AND ADOPTED BY ALTA/NSPS AND ACSM IN 1999, AND INCLUDED ITEMS 1.2, 3, 4, 6, 7(A), (B)(1) & (C), 8, 9, 10, 11, 12, 13, 14, 15 AND 16 OF TABLE A THEREOF, PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA, NSPS AND ACSM AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, THE UNDERSIGNED HEREBY FURTHER CERTIFIES THAT POSITION UNCERTAINTIES RESULTING FROM THE SURVEY MEASUREMENTS ON THE SURVEY DO NOT EXCEED THE ALLOWABLE TOLERANCES.

SURVEYORS CERTIFICATION

I, DAVID R VIGIL, A NEW MEXICO PROFESSIONAL SURVEYOR (#9911) CERTIFY THAT I CONDUCTED AND AM RESPONSIBLE FOR THIS SURVEY, THAT THIS SURVEY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND THAT THIS SURVEY AND PLAT MEET THE MINIMUM STANDARDS FOR SURVEYING IN THE STATE OF NEW MEXICO.

I FURTHER CERTIFY THAT THIS SURVEY IS NOT A LAND DIVISION OR SUBDIVISION AS DEFINED IN THE NEW MEXICO SUBDIVISION ACT AND THAT THIS IS A BOUNDARY SURVEY PLAT OF AN EXISTING TRACT OR TRACTS.

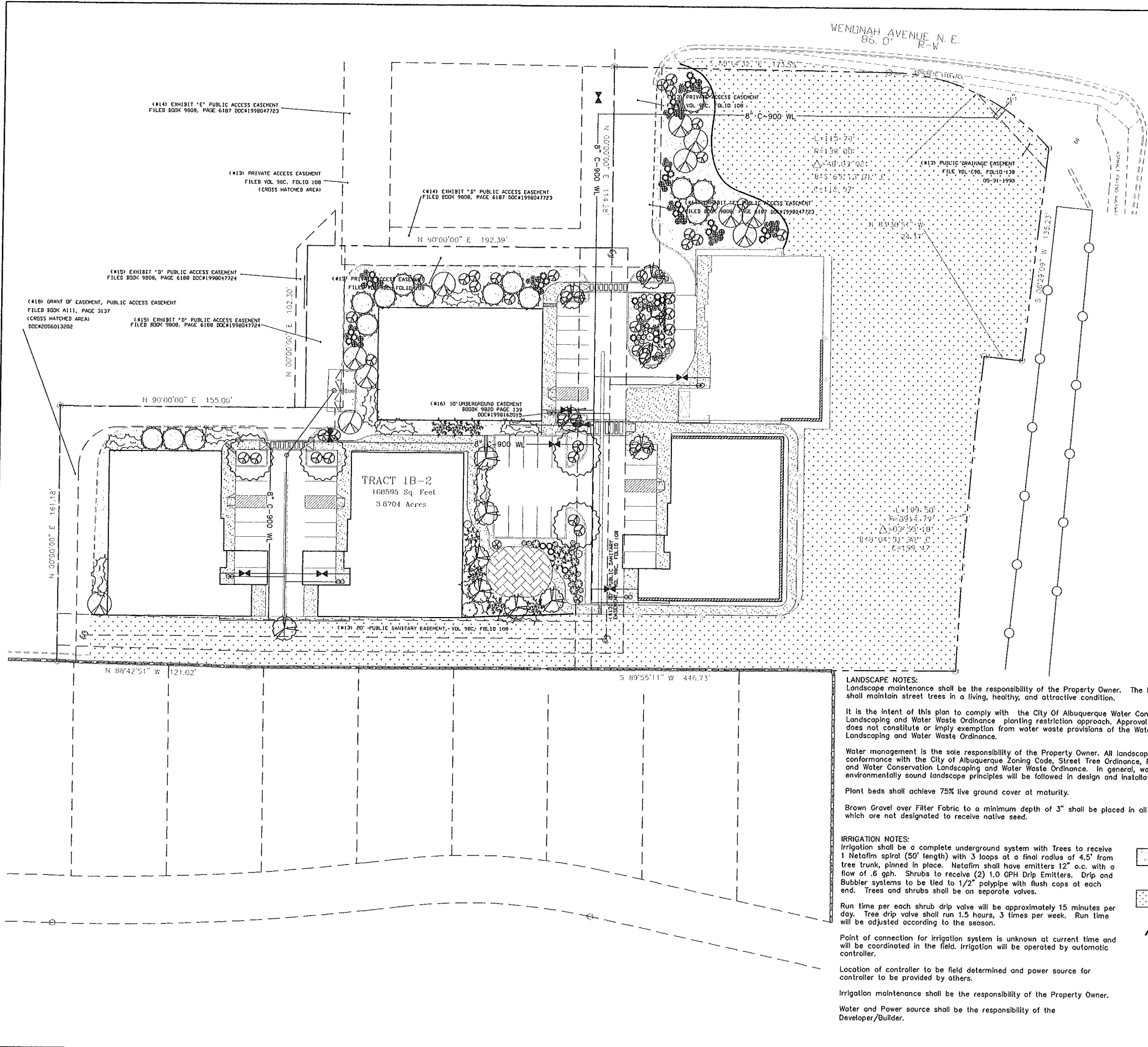
DAVID R VIGIL PLS NO 8911/DATE



CONSTRUCTION SURVEY TECHNOLOGIES, INC.

5030 FAIRFAX DRIVE NW, ALBUQUERQUE, NM 87114

505-917-8921



PLANT LEGEND
All plants shall be sized per American Standard for Nursery Stock. Installation size shall indicate the greater of height or spread. In cases where Type O plants have been pruned for rejuvenation, measurement should be by spread of roots rather than by the height of the plant.

SHADE AND ACCENT TREES

- JAPANESE PAGODA TREE**
Sophora japonica
2" Cal., 12'-14" Inst./35' x 35' maturity
Water (M) Allergy (L) 0sf
- PURPLE-LEAF PLUM**
Prunus cerasifera
1 1/2" Cal., 10'-12" Inst./20' x 20' maturity
Water (M) Allergy (L) 0sf

SHRUBS/ORNAMENTAL GRASSES

- DESERT WILLOW**
Chilopsis linearis
1 1/2" Cal., 10'-12" Inst./20' x 25' maturity
Water (L+) Allergy (L) 225sf
- WESTERN RED CEDAR**
Thuja plicata 'Green Giant'
15 Cal., 4'-10" Inst./40' x 15' maturity
Water (M) Allergy (L) 225sf
- PARNEY COTONEASTER**
Cotoneaster lucidus
5 Cal., 2'-4" Inst./8' x 12' maturity
Water (M) Allergy (L) 144sf
- BUTTERFLY BUSH**
Buddleia davidii
5 Cal., 1'-3" Inst./10' x 10' maturity
Water (M) Allergy (L) 100sf
- ROSE OF SHARON**
Hibiscus syriacus
5 Cal., 2'-4" Inst./10' x 10' maturity
Water (M) Allergy (L) 100sf
- INDIAN HAWTHORN**
Raphiolepis indica
5 Cal., 18'-3" Inst./6' x 6' maturity
Water (M) Allergy (L) 36sf
- NANDINA**
Nandina domestica
5 Cal., 2'-4" Inst./8' x 5' maturity
Water (M+) Allergy (L) 25sf
- ROSE**
Rosa spp.
5 Cal., 6'-15" Inst./5' x 5' maturity
Water (L) Allergy (L) 25sf
- SCOTCH BROOM**
Cytisus scoparius
5 Cal., 18'-3" Inst./4' x 4' maturity
Water (M) Allergy (L) 16sf
- MUGO PINE**
Pinus mugo
5 Cal., 12'-3" Inst./3' x 3' maturity
Water (M) Allergy (L) 9sf
- REGAL MIST**
Muhlenbergia capillaris
5 Cal., 12'-3" Inst./3' x 3' maturity
Water (M) Allergy (L) 9sf
- POTENTILLA**
Potentilla fruticosa
1 Cal., 3'-15" Inst./3' x 3' maturity
Water (M+) Allergy (L) 9sf
- BLUE MIST SPIREA**
Corydalis glandonensis
5 Cal., 12'-3" Inst./3' x 3' maturity
Water (M) Allergy (L) 9sf
- OREGON GRAPE**
Mahonia aquifolium
5 Cal., 12'-3" Inst./2' x 3' maturity
Water (M) Allergy (L) 9sf
- CATMINT**
Nepeta mussini
1 Cal., 3'-15" Inst./1' x 2' maturity
Water (M) Allergy (L) 4sf

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.
It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.
Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.
Plant beds shall achieve 75% live ground cover at maturity.
Brown Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.
Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.
Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.
Location of controller to be field determined and power source for controller to be provided by others.
Irrigation maintenance shall be the responsibility of the Property Owner.
Water and Power source shall be the responsibility of the Developer/Builder.

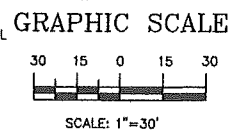
HARDSCAPES

- SANTA FE BROWN GRAVEL WITH FILTER FABRIC TO A MINIMUM 3" DEPTH**
- CRIMP STRAW/NATIVE SEED WITH LARGE AREA HEADS**
- COMMERCIAL GRADE STEEL EDGING**
- OVERSIZED GRAVEL & BOULDERS**

GROUNDCOVERS

- BUFFALO JUNIPER**
Juniperus sabin 'Buffalo'
5 Cal., 24'-4" Inst./2' x 8' maturity
Water (L+) Allergy (L) 64sf
Symbol indicates 3 plants
- HONEYSUCKLE**
Lonicera japonica 'Halliana'
1 Cal., 6'-15" Inst./3' x 12' maturity
Water (M) Allergy (L) 144sf
Unstaked-Groundcover
- BANK'S ROSE**
Rosa banksia
1 Cal., 6'-15" Inst./climbing to 20'
Water (M) Allergy (L)

* DENOTES EVERGREEN PLANT MATERIAL



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enr@hilltoplandscaping.com

LANDSCAPE ARCHITECT'S SEAL

BEEHIVE HOMES
FOUR HILLS LOCATION

LANDSCAPE PLAN

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The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS

| | | |
|-----------------|---------------|------------------|
| DRAWN BY CMJ | REVISION 1 | DATE 10-31-12 |
| SHEET # | | 1 OF 1 |