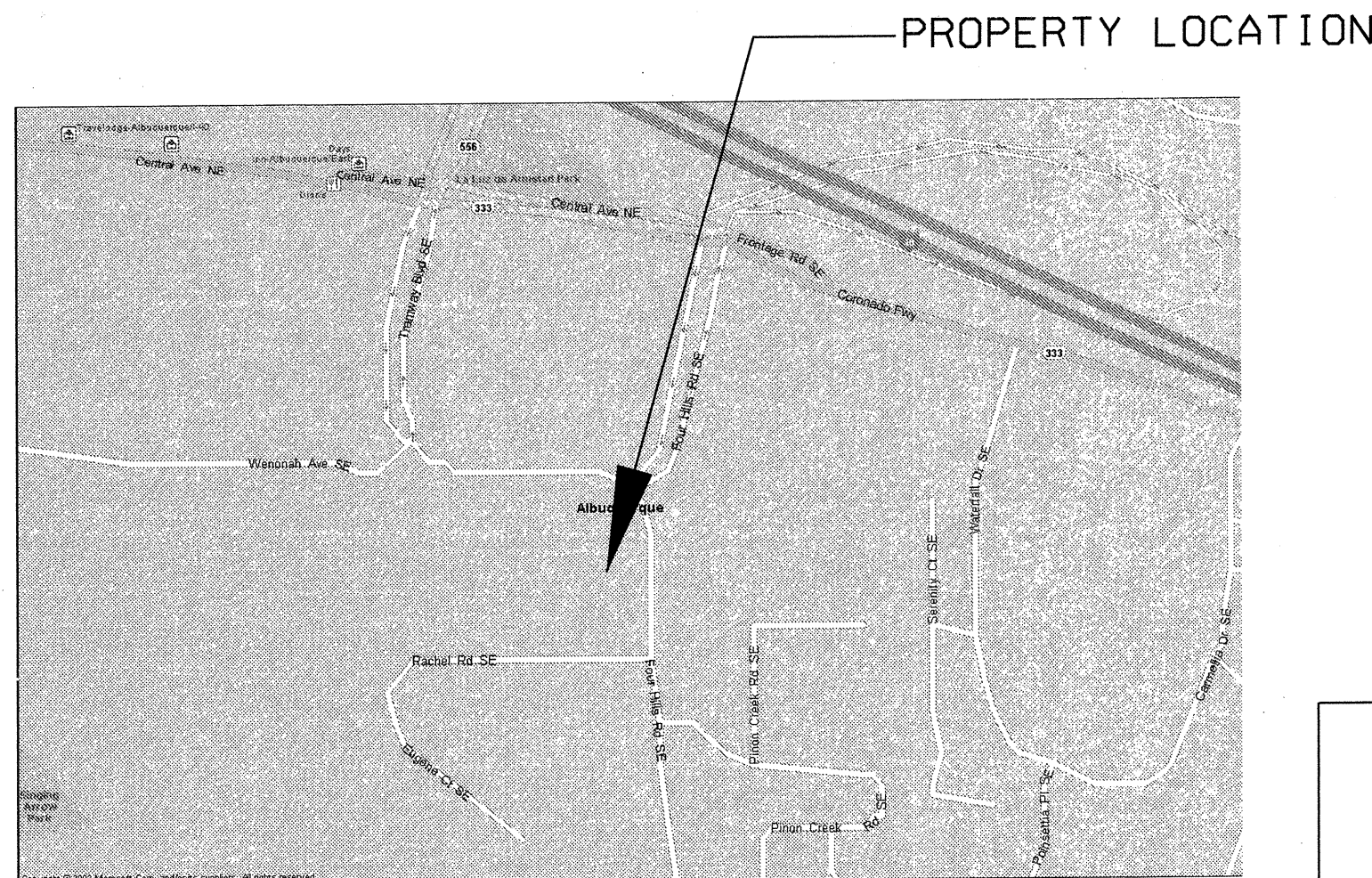




VICINITY MAP
SCALE: NONE

B

GENERAL & CONSTRUCTION NOTES

- CONTRACTOR SHALL VISIT THE SITE, FAMILIARIZE THEM SELF WITH EXISTING CONDITIONS AND REVIEW AND UNDERSTAND THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. CONTRACTOR SHALL VERIFY ALL WORK AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCY, DO NOT SCALE DRAWINGS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CORRECTIONS AND REPAIRS DUE TO HIS FAILURE TO DO SO.
- SOLEY AS A CONVENIENCE TO THE OWNER AND CONTRACTOR, THE ARCHITECT MAY INCLUDE DOCUMENTS PREPARED BY CERTAIN CONSULTANTS (OR INCORPORATE THE RECOMMENDATIONS OF SAID CONSULTANTS INTO DOCUMENTS PREPARED BY THE ARCHITECT) WITHIN THE SET OF DOCUMENTS ISSUED BY THE ARCHITECT. IT IS EXPRESSLY UNDERSTOOD THAT BY SUCH ISSUANCE, THE ARCHITECT ASSUMES NO LIABILITY FOR THE SERVICES OF SAID CONSULTANTS.
- ALL WORK AND MATERIALS SHALL CONFORM TO THE 2006 INTERNATIONAL BUILDING CODE, AS AMENDED ALL ORDINANCES AND REGULATIONS OF THE CITY OR COUNTY WITH JURISDICTION AND SPECIAL REQUIREMENTS INDICATED IN THE BUILDING SUMMARY OR THESE GENERAL NOTES.
- NOT APPLICABLE.
- CONTRACTOR IS RESPONSIBLE FOR APPROVALS AND PERMITS FROM GOVERNING AGENCIES FOR SIGNS.
- UNLESS OTHERWISE INDICATED ON THESE DRAWINGS OR IN THE PROJECT MANUAL AND SPECIFICATIONS AS BEING N.I.C. OR EXISTING ALL ITEMS MATERIAL ECT. AND INSTALLATION OF THE SAME ARE PART OF THE CONTRACT DEFINED BY THESE DRAWINGS AND SPECIFICATIONS.
- CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS AND COMPLY WITH SAFETY REGULATIONS AND RESTRICTIONS AS REQUIRED FOR WORKERS AND PEDESTRIAN PROTECTION DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT. PROVIDE PROTECTION AS REQUIRED TO PREVENT ANY DAMAGE TO EXISTING CONSTRUCTION WITHIN AND ADJACENT TO JOB SITE. WHERE DAMAGE OCCURS, THE CONTRACTOR SHALL REPAIR OR REPLACE DAMAGED AREA AND/OR MATERIAL AS REQUIRED TO THE OWNER'S APPROVAL AT NO ADDITIONAL COST. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
- IF THERE ARE TRENCHES OR EXCAVATION 5'-0" OR MORE IN DEPTH INTO WHICH A PERSON IS REQUIRED TO DESCEND CONTRACTOR SHALL OBTAIN NECESSARY PERMIT FROM THE STATE DIVISION OF INDUSTRIAL SAFETY.
- PROVIDE ALL LABOR MATERIALS EQUIPMENT TOOLS TRANSPORTATION UTILITIES OTHER SERVICES AND RELATED TASK NECESSARY FOR PROPER EXECUTION OF THE CONSTRUCTION REQUIRED BY CONTRACT DOCUMENTS.
- ANY REVISION OR ADDITIONAL WORK REQUIRED BY FIELD CONDITIONS OR LOCAL GOVERNING AUTHORITIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL LICENSES INSPECTIONS AND TESTING INDICATED ON THE PLANS AND BY SPECIFICATION OR REQUIRED BY THE SOILS REPORT AND OR REQUIRED BY ANY GOVERNMENT AGENCY. PERMITS MAY BE INCLUDED OR MAY BE PAID BY OWNER.
- CONTRACTOR SHALL VERIFY THE SIZE AND LOCATION OF ALL UTILITY LINES AND STUBS TO THE BUILDING(S) AS MAY BE INDICATED ON THE PLANS. CONTRACTOR SHALL BE REQUIRED TO BRING ALL UTILITY LINES (WATER SEWER GAS AND ELECTRICAL) INTO THE BUILDING FROM TERMINATION POINTS AS INDICATED ON THE SITE PLANS, READY FOR SERVICE.
- WHERE EXIT DOORS SWING OUT OVER A LANDING THE LANDING SHALL BE NO MORE THAN 1/2" BELOW THE THRESHOLD
- NO ADDITIONAL ROOF OPENINGS OR ROOF MOUNTED EQUIPMENT IS ALLOWED BEYOND THAT WHICH IS SHOWN ON THESE PLANS WITHOUT WRITTEN CONSENT OF THE ARCHITECT AND ENGINEER.
- NO STRUCTURAL MEMBER SHALL BE CUT FOR PIPES A.C. DUCTS ETC. UNLESS SPECIFICALLY DETAILED AND OR APPROVED BY THE STRUCTURAL ENGINEER.
- ALL SHOP WELDING TO BE DONE IN A CERTIFIED LICENSED SHOP. ALL FIELD WELDING SHALL BE DONE ONLY BY LICENSED WELDERS UNDER CONTINUOUS SPECIAL INSPECTION WITH CERTIFICATE ISSUED AS REQUIRED BY BUILDING OFFICIAL.
- WHERE LARGER STUDS OR FURRING IS REQUIRED TO COVER DUCTS, PIPING, CONDUIT ETC. THE LARGER SIZE STUD OR FURRING SHALL EXTEND THE FULL LENGTH OF THE SURFACE WHERE THE FURRING OCCURS.
- PROVIDE FIRE STOPPING TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AT 10'-0" O.C. EACH WAY.
- WHEN GYPSUM WALL BOARD IS USED AS A BASE FOR TILE OR OTHER NONABSORBENT SURFACES, THE WALL BOARD SHALL BE OF THE WATER RESISTANT TYPE. WATER RESISTANT GYPSUM SHALL NOT BE USED IN GANG SHOWER AREAS OR AREAS WHERE HIGH MOISTURE CONTENT IS PRESENT. WATER RESISTANT TYPE GYPSUM WALL BOARD CANNOT BE USED ON CEILINGS WHEN THE FRAMING MEMBERS ARE SPACED FURTHER APART THAN 12" O.C.. SECTION 2512.
- THE CONTRACTOR SHALL OBTAIN AND SCHEDULE INSPECTION WITH THE APPROPRIATE CITY BUILDING DEPARTMENT. THE CONTRACTOR IS REQUIRED TO CALL AND SCHEDULE A FINAL INSPECTION BY THE LOCAL CITY PUBLIC WORKS INSPECTION DEPARTMENT AFTER ALL WORK HAS BEEN COMPLETED.

PROJECT NARRATIVE

PROJECT CONSISTS OF NEW CONSTRUCTION OF A SENIOR LIVING CENTER. PROJECT IS BUILT WITH WOOD STUD FRAMING AND PRE-ENGINEERED WOOD TRUSSES. EXTERIOR FINISHES CONSISTS OF STUCCO AND VENEER STONE, WITH CERAMIC TILE ROOFING. INTERIOR FINISHES ARE GYPSUM WALL BOARD, SOME WALLS ARE FIRE RATED, AS NOTED IN THE PLAN SET. KITCHEN IS USED BY ALL OCCUPANTS, BUT IS A TYPICAL RESIDENTIAL LEVEL CONSTRUCTION WITH A COMMERCIAL GRADE RANGE/OVEN BELOW, SIDE BY SIDE REFRIGERATOR/FREEZER, PRODUCE WASH AREA, HAND WASH AREA AND DISH WASH AREA, AND RESIDENTIAL GRADE DISHWASHER.

SEE SITE PLAN FOR CURRENT AND FUTURE PLANNED DEVELOPMENT.

THIS PROJECT IS GOING TO BE FIRE SPRINKLED PER NFPA 13R (DEFERRED SUBMITTAL).

ZONING:

AREAS & OCCUPANT LOAD FACTORS:

TABLE 1004.1.1

LIVING AREAS: 200 GROSS
STORAGE AREAS: 300 GROSS

AREAS & OCCUPANT ANALYSIS:

LIVING AREAS: OVERALL = 7,777sf / 200 = 39 OCCUPANTS
STORAGE AREAS: OVERALL = 4,000sf / 300 = 13 OCCUPANTS
TOTAL AREAS: OVERALL = 11,777sf / 41 = 287 OCCUPANTS

APPLICABLE CODES:

2009 New Mexico Commercial Building Code
2009 New Mexico Electrical Code
2009 State of New Mexico Energy Conservation Code
2009 New Mexico Mechanical Code
2009 New Mexico Plumbing Code
2009 New Mexico Residential Building Code
2009 International Building Code (IBC) with local amendments
2009 International Residential Code (IRC) with local amendments
2009 International Fire Code (IFC) with local amendments
2011 National Electrical Code with local amendments
2009 International Energy Conservation Code (IECC) with local amendments
2009 International Mechanical Code with local amendments
2009 International Plumbing Code with local amendments
2009 International Property Maintenance Code with local amendments
2009 International Fuel Gas Code with local amendments
City Uniform Administrative Code, UAC Ordinance 0-11-65

BASIC DESIGN

PER STRUCTURAL DRAWINGS

OCCUPANCY GROUPS:

LIVING AREAS: R-4 OCCUPANCY (ASSISTED LIVING RESIDENTIAL)
GARAGE AREAS: S-1 OCCUPANCY (STORAGE)

R-4 IS MORE RESTRICTIVE, THIS IS THE BASIS FOR THE CODE ANALYSIS FOR THE OVERALL AREAS

NUMBER OF STORIES / BUILDING HEIGHT:

1 STORY, 11'-0" IN HEIGHT
12 STORY ALLOWED, TABLE 503 w/ INCREASES PER SECTION 504.2 IF APPLICABLE

SQUARE FOOTAGE OF AREAS OF EXISTING CONSTRUCTION:

N/A

SQUARE FOOTAGE OF NEW CONSTRUCTION:

PER ABOVE, OVERALL NEW CONSTRUCTION SQUARE FOOTAGE = 8,169sf
ALLOWABLE AREAS w/ INCREASES PER TABLE 503 - SEE NEXT ITEM

ALLOWABLE AREAS BY OCCUPANCY:

7,000sf ALLOWED PER TABLE 503
FRONTAGE AREA INCREASE PER 506.2: ALLOWED PER INCREASE 1: (F / P) - .25 1: (W / 30)
Increase 1: (1288 / 419) - .25 1: 30 / 30 = 42% INCREASE
FIRE SPRINKLER INCREASE PER 903.3.1.1 PER NFPA 13 SPRINKLER, NOT ALLOWED
NFPA 13R PER 903.3.1.2 SYSTEM AS SPECIFIED DOES NOT MEET THIS CODE ACCEPTANCE
7,000sf + (7,000sf * 42%) of FRONTAGE = 9,940sf ALLOWED
THIS BUILDING IS IN CODE COMPLIANCE OF ALLOWABLE AREAS WITH AREA INCREASES AS NOTED ABOVE

UNLIMITED AREAS:

N/A

TYPE OF CONSTRUCTION:

TYPE V-B COMBUSTIBLE CONSTRUCTION (WOOD FRAMED) w/ 0" FIRE RATINGS ON ALL ASSEMBLIES

SPECIAL DETAILED REQUIREMENTS BASED ON USE AND OCCUPANCY:

SECTION 420 REQUIRED: SEE NOTES BELOW
FRONTAGE AREA INCREASE PER 506.2: ALLOWED PER INCREASE 1: (F / P) - .25 1: (W / 30)
Increase 1: (1288 / 419) - .25 1: 30 / 30 = 42% INCREASE
VEHICLE RELATED: 407 GROUP 1-3: 408 GROUP 1-3: 409 MOTION PICTURE PROJECTION ROOMS: 410 STAGES: 411
AMUSEMENT BUILDINGS: 412 AIRCRAFT RELATED: 413 HIGH-PILE & COMBUSTIBLE STORAGE: 414 HAZARDOUS
MATERIALS: 415 GROUP 1-4: 416 FLAMMABLE FINISHES: 417 DRYING ROOM: 418 ORGANIC CONTAINERS: 419 GROUPS 1-1, R-1, R-2, R-3
420 HYDROGEN CUTOFF ROOMS

FIRE RESISTIVE REQUIREMENTS:

PER SECTION 419 SEPARATION WALLS REQUIRED w/ 1-HR FIRE PARTITIONS PER SECTION 706.4 HORIZONTAL
FRONTAGE AREA INCREASE PER 506.2: ALLOWED PER INCREASE 1: (F / P) - .25 1: (W / 30)
Increase 1: (1288 / 419) - .25 1: 30 / 30 = 42% INCREASE
VEHICLE RELATED: 407 GROUP 1-3: 408 GROUP 1-3: 409 MOTION PICTURE PROJECTION ROOMS: 410 STAGES: 411
AMUSEMENT BUILDINGS: 412 AIRCRAFT RELATED: 413 HIGH-PILE & COMBUSTIBLE STORAGE: 414 HAZARDOUS
MATERIALS: 415 GROUP 1-4: 416 FLAMMABLE FINISHES: 417 DRYING ROOM: 418 ORGANIC CONTAINERS: 419 GROUPS 1-1, R-1, R-2, R-3
420 HYDROGEN CUTOFF ROOMS

OCCUPANT LOADS:

41 OCCUPANTS - PER NOTES ABOVE
TABLE 1004.1.1

EXITS REQUIRED:

36" MINIMUM CLEAR WIDTH & 7'-6" CLEAR HEIGHT (PROTRUDING OBJECTS ALLOWED PER 1003.3)

COMMON PATH OF EGRESS:

8.2' FOR STAIRWAYS, 2' FOR OTHER MEANS OF EGRESS - 2' x 41 = 8.2', THUS 36" MINIMUM

EXIT ACCESS TRAVEL DISTANCE:

QUANTITY OF EXITS (2) REQUIRED, (2) PROVIDED (PER SECTION 1015, 1020 & 1021)

EXIT ACCESS TRAVEL DISTANCE:

75' MAX. - AS SHOWN, SEE ADJACENT ANALYSIS (SECTION 1014.3)

EXIT ACCESS TRAVEL DISTANCE:

SPRINKLED BUILDING PER NFPA 13R

EXIT ACCESS TRAVEL DISTANCE:

2009 (SECTION 1015.1) FOR TWO OR MORE EXITS (SEE ADJACENT ANALYSIS)

EXIT ACCESS TRAVEL DISTANCE:

NFPA 13R TO BE PROVIDED AS DEFERRED SUBMITTAL (ATTIC TO BE SPRINKLED AS WELL) (SECTION 903.3.1.2)

EXIT ACCESS TRAVEL DISTANCE:

MEANS OF EGRESS - TO MEET IBC & IECC (SECTION 1006)

EXIT ACCESS TRAVEL DISTANCE:

EXIT SIGNS - TO MEET IBC & IECC (SECTION 1011)

EXIT ACCESS TRAVEL DISTANCE:

MISC.

EXIT ACCESS TRAVEL DISTANCE:

MISC.

PLUMBING FIXTURE COUNT FOR OCCUPANCY (per TABLE 2902.1):

REQUIRED AMOUNT (for WOMEN & MEN)
SECTION 2902.2 ALLOWS FOR EXCEPTIONS FROM HAVING SEPARATE SEX FACILITIES DUE TO OCCUPANCY RATE OF 15 OR LESS IN A TENANT SPACE (SECTION 2902.2, EXCEPTION 2)

ITEM	M (or UNISEX) REQUIRED	M (or UNISEX) PROVIDED	F REQUIRED	F PROVIDED
WATER CLOSETS	15 DWELLING UNITS: 1 WC, 1 LAV, 1 SHOWER PROVIDED IN EACH	UNISEX PROVIDED	-	-
LAVATORIES	-	UNISEX PROVIDED	-	-
SHOWERS (NOT PROVIDED)	-	UNISEX PROVIDED	-	-
DRINKING FOUNTAIN	-	PROVIDED (H-LAV PAIR)	-	-
SERVICE SINK (MOP/JAN)	-	PROVIDED	-	-

NOTES:

1. FIXTURE COUNTS TO BE PER IBC & IPC.
2. FOR OCCUPANT COUNTS OF 15 OR FEWER, A DRINKING FOUNTAIN WILL NOT BE REQUIRED PER 2009 IPC TABLE 403.1, FOOTNOTE "F".

OWNER - HOST CARE, LLC

BUILDER
C.W. CONSTRUCTION
1500 W. BARRETT
MERIDIAN, IDAHO 83642

ARCHITECT



1014 S. LA POINTE STREET
BOISE, IDAHO 83706
208.343.5511

www.desresarch.com
thomasjm@desresarch.com

MECHANICAL ENGINEER



1500 W. BARRETT DR.
MERIDIAN, IDAHO 83642

OFFICE: (208) 888-7145
FAX: (208) 888-7165
(EMAIL) richard@karchnerengineering.com

ELECTRICAL ENGINEER

JULES F. APPLEMAN
8524 INDIAN SCHOOL ROAD NE
ALBUQUERQUE, NEW MEXICO 87112
PHONE: (505) 292-3416 * FAX: (505) 293-5152

STRUCTURAL ENGINEER

HARRISON ENGINEERS
1300 No. Ten Mile Road
Meridian, Idaho 83642
(208) 888-7107

CIVIL ENGINEER

RIO GRANDE ENGINEERING
DAVID SOULE
(505) 321-9099

CITY OF FARMINGTON BUILDING CODES
2009 INTERNATIONAL BUILDING CODE (IBC)
2011 NATIONAL ELECTRICAL CODE (NEC)
2006 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
2009 UNIFORM PLUMBING CODE (UPC)
2009 UNIFORM MECHANICAL CODE (UMC)
2003 INTERNATIONAL FIRE CODE (IFC)

SHEET INDEX

- A0.1 COVER SHEET
A0.2 SPECIFICATIONS I
A0.3 SPECIFICATIONS II

CIVIL ENGINEERING PLANS

- 1 MASTER SITE DEVELOPMENT PLAN
2 GRADING PLAN
3 MASTER UTILITY PLAN
4 MASTER LANDSCAPE PLAN
5 PHASE 1 SITE DEVELOPMENT PLAN (DETAILS)
6 PHASE 1 UTILITY PLAN
7 PHASE 1 LANDSCAPE PLAN

ARCHITECTURAL

- A2.1 DIMENSION PLAN
A2.2 FLOOR PLAN
A2.3 ROOF PLAN
A3.1 WALL SECTIONS & INT. ELEVATIONS
A3.2 INTERIOR ELEVATIONS
A4.1 EXTERIOR BUILDING ELEVATIONS
A4.2 EXTERIOR BUILDING ELEVATIONS
A5.0 ACCESSIBILITY REQUIREMENTS
A5.1 DOOR, WINDOW & ROOM FINISH SCHEDULES
A5.2 ENERGY COMPLIANCE CERTIFICATES

STRUCTURAL

- S1.1 FOUNDATION PLAN
S1.2 FRAMING PLAN
S2.1 FOUNDATION DETAILS
S2.2 FRAMING DETAILS

MECHANICAL AND PLUMBING

- HVAC 1.1 HVAC FLOOR PLAN
HVAC 2.1 MECHANICAL DETAILS
HVAC 2.2 HOOD DETAILS & LOAD CALCULATIONS
P1.1 WASTE AND VENT PLAN
P1.2 WATER AND GAS PLAN
P2.1 FIXTURE SCHEDULE AND DETAILS

ELECTRICAL

- E1.1 ELECTRICAL POWER PLAN
E1.2 ELECTRICAL LIGHTING PLAN
E2.1 SCHEDULES, AND ELECTRICAL DETAILS

DEFERRED SUBMITTALS

ROOF/FLOOR TRUSS DRAWINGS AND CALCULATIONS TO BE PROVIDED BY THE MANUFACTURER OF THE TRUSS SYSTEMS.

FIRE SPRINKLER AND FIRE ALARM DRAWINGS AND CALCULATIONS TO BE PROVIDED BY THE INSTALLING CONTRACTOR.

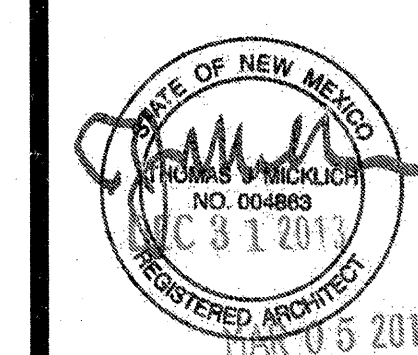
CITY OF ALBUQUERQUE
BUILDING & SAFETY

JUL 16 2013

IB.C.
PLAN CHECK SECTION

REVISIONS	BY
1 CITY REVIEW 3/5/13	AJ

Dra
DESIGN RESOURCES
ARCHITECTS P.C.
1014 S. LA POINTE STREET
BOISE, IDAHO 83706
208.343.5511
www.desresarch.com
administrator@desresarch.com



BEEHIVE HOMES
QUALITY SENIOR LIVING
ENGINEERING
1500 W. BARRETT DR.
MERIDIAN, ID. 83642
PHONE: (208) 888-7145
FAX: (208) 888-7165
richard@karchnerengineering.com

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